

Agenda

Strathfield Local Planning Panel Meeting

Notice is hereby given that a Strathfield Local Planning Panel Meeting will be held at Town Hall (Supper Room), 65 Homebush Road, Strathfield on:

Thursday, 3 June 2021

Commencing at 10:00am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.

TABLE OF CONTENTS

Item Page No.

SLPP AGENDA ITEMS

SLPP - Report No. 17

DA2020/235 - 55 Oxford Road, Strathfield

Lot 1 DP 12512013

SLPP - Report No. 18

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569.....91

TO: Strathfield Local Planning Panel Meeting - 3 June 2021
REPORT: SLPP – Report No. 17
SUBJECT: DA2020/235 - 55 OXFORD ROAD, STRATHFIELD
 LOT 1 DP 1251201
DA NO. DA2020/235

SUMMARY

Proposal:	Alterations and additions to an existing dwelling house including internal layout re-configurations, front and rear extensions, window modifications, new façade treatment and replacement of swimming pool fencing.
Applicant:	MOMA Architects
Owner:	Y S Oh
Date of lodgement:	17 December 2020
Notification period:	13 to 29 January 2021
Submissions received:	Nil
Assessment officer:	M Rivera
Estimated cost of works:	\$400,000.00
Zoning:	R2 – Low Density Residential – SLEP 2012
Heritage:	No
Flood affected:	Yes
Is a Clause 4.6 variation proposed?	Yes – Clause 4.3 Maximum Building Height (pre-existing)
Extent of the variation supported?	23.6% (2.24m)
Peer review of Clause 4.6 variation:	A peer review of the Clause 4.6 variation has been undertaken and the assessment officer's recommendation is supported.
RECOMMENDATION OF OFFICER:	APPROVAL

EXECUTIVE SUMMARY

The proposal involves alterations and additions to an existing three (3) storey dwelling house including internal layout re-configurations, front and rear extensions, window modifications, new façade treatment, replacement of swimming pool fencing, and landscaping works.

The application was publicly notified on 13 January 2021, in Strathfield Council's Community Participation Plan (CPP), with the last date for public submissions being 29 January 2021. No submissions were received during the notification period.

The proposed development is considered acceptable and supportable, generally complying with all of the relevant development standards and controls under the Strathfield Local Environmental 2012 (SLEP 2012) and the Strathfield Consolidated Development Control Plan 2005 (SCDCP 2005). Any

**DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)**

aspects of the proposal that involve numerical variations to the applicable development standards and controls (including maximum building height, minimum combined side setback and minimum landscaped area) are pre-existing. Notwithstanding these variations the proposal provides an opportunity to achieve better congruence with the streetscape whilst introducing an updated contemporary dwelling design and facilitating better quality soft landscaping treatments that improve upon the current development. On balance, the final design of the proposed development is considered an acceptable planning outcome that is consistent with the low density, residential character and garden setting of the site and surrounding locality. Accordingly, the proposed development demonstrates sufficient planning and design merit and thus, the application is recommended for approval.

It is noted that there is no existing Council consent for the existing dwelling house and pool within the site.

The subject application was referred to the Strathfield Local Planning Panel (SLLP) due to the pre-existing variation to the maximum building height provision under Clause 4.3 of the SLEP 2012.

BACKGROUND

17 December 2020	The subject application was lodged.
13 January 2021	The application was placed on publicly notified as per the CPP, with the last date for submissions being 29 January 2021. No submissions were received.
29 January 2021	A site visit was conducted by Council.
19 February 2021	A Deferral Letter was issued to the applicant, raising several issues including floor space ratio (FSR), bulk and scale and landscaped area.
29 March 2021	The applicant submitted an amended design and additional information to Council to address the issues raised in the letter.
4 May 2021	Council provided correspondence to the applicant, advising them of outstanding issues in relation to the amended design such as FSR, bulk and scale, landscaped area and building height variation.
13 and 18 May 2021	The applicant submitted additional information to Council to resolve any outstanding matters.

DESCRIPTION OF THE SITE AND LOCALITY

The subject site is legally described as Lot 1 in DP 1251201 and commonly known as No. 55 Oxford Road, Strathfield. The site is within the R2 – Low Density Residential zone, pursuant to the provisions of SLEP 2012. It is a rectangular shaped allotment that is located on the northern side of Oxford Road and has an area of 774.5m², a maximum depth of 50.785m and a 15.25m wide frontage (refer to Figure 1). The site features a fall of 2.9m towards the rear boundary.

The property is currently occupied by a three (3) storey dwelling house with ancillary structures including an in-ground swimming pool and garden shed (refer to Figures 2 to 4). The site has vehicular access off an existing driveway via Oxford Road. The site is predominantly modified with limited vegetation that comprises some grassed lawn areas in the front and rear yards.

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

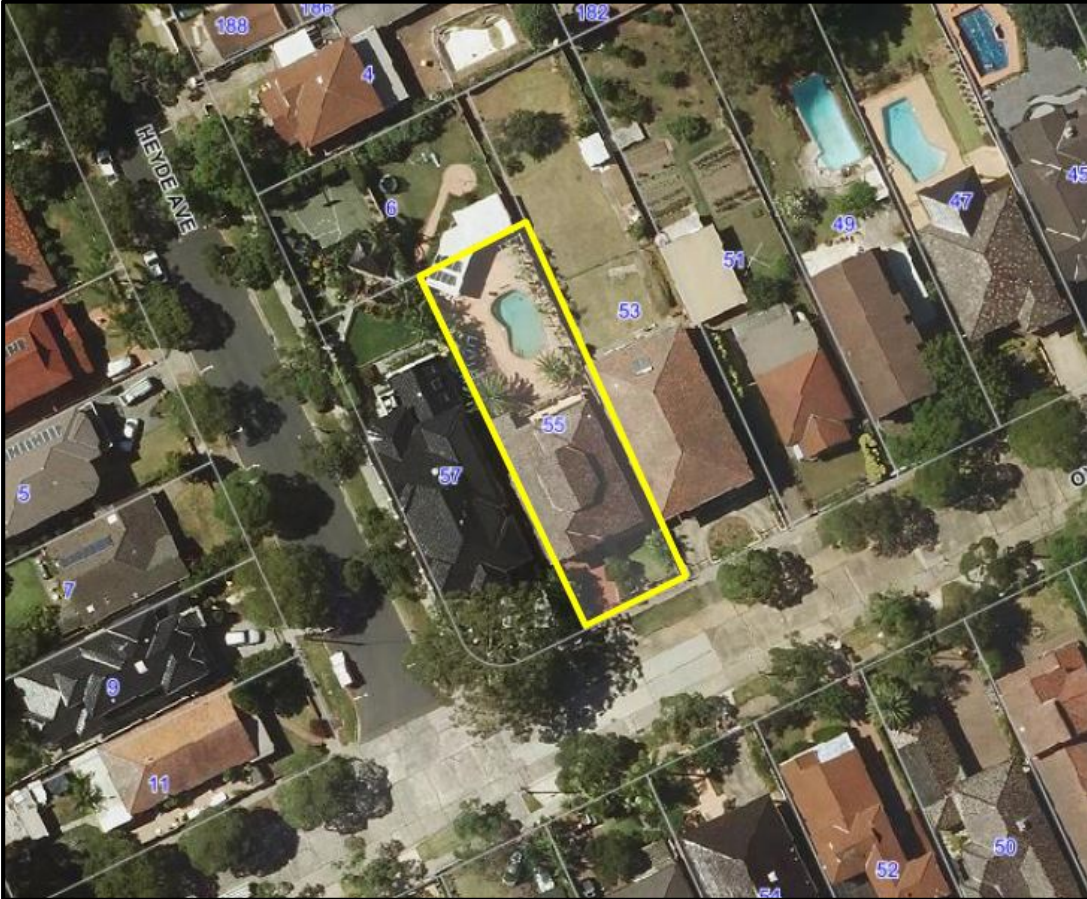


Figure 1: Subject site (shown in yellow) and surrounding context

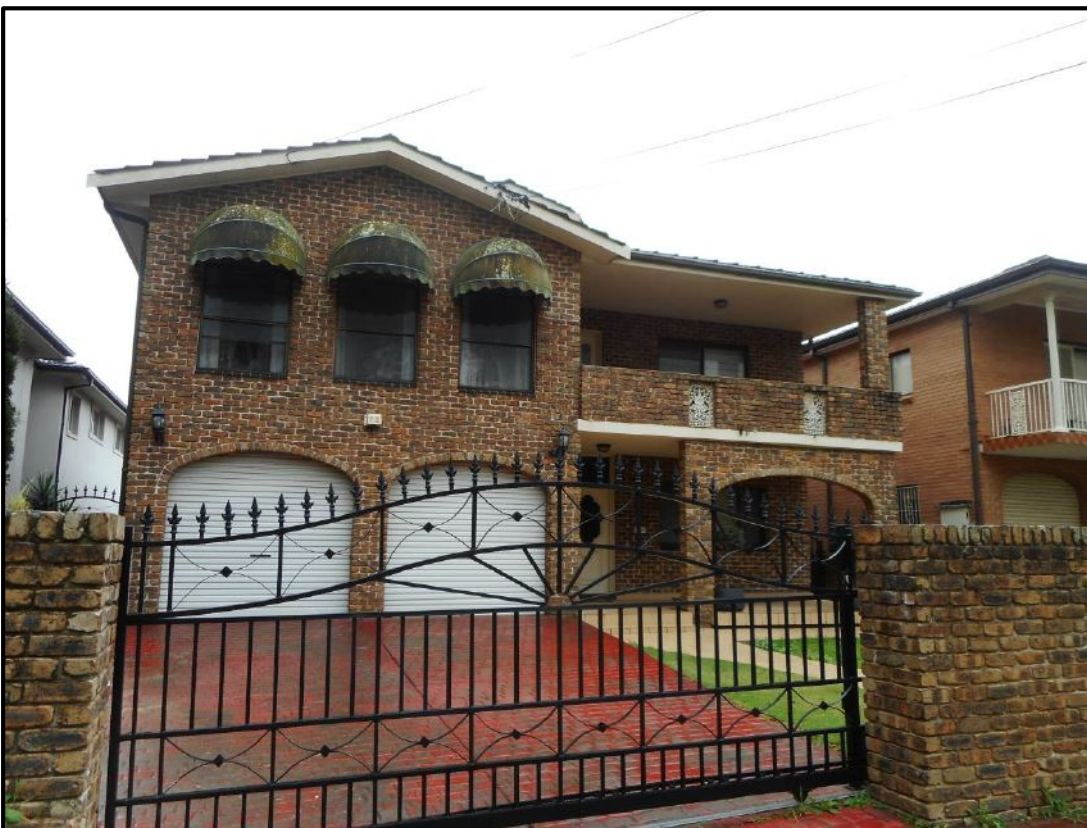


Figure 2: Existing dwelling house and front fencing within subject site

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)



Figure 3: Rear of existing dwelling house within subject site



Figure 4: Rear yard

The surrounding locality is low density residential in character and predominantly consists of multi-storey dwelling houses of varying design, scale and finishes. Most of the housing stock feature pitched roofing, brown/red bricks or neutral rendering finishes and low masonry front fencing (refer to Figure 5).

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

The site is surrounded by the following properties:

- Adjoining the eastern boundary: a two (2) storey dwelling house at No. 53 Oxford Road, Strathfield (refer to Figure 6);
- Adjoining the western boundary: a multi-storey dwelling house at No. 57 Oxford Road, Strathfield (refer to Figure 7);
- Adjoining the northern (rear) boundary: a vacant lot at No. 6 Heyde Avenue, Strathfield; and
- North of the site and across the road: a two (2) storey dwelling house at No. 54 Oxford Road, Strathfield (refer to Figure 8).



Figure 5: Immediate streetscape – northern side of Oxford Road

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)



Figure 6: Existing dwelling house at No. 53 Oxford Road, Strathfield



Figure 7: Existing dwelling house at No. 57 Oxford Road, Strathfield

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)



Figure 8: Existing dwelling at No. 54 Oxford Road, Strathfield

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for the alterations and additions to the existing dwelling house. Specifically, the proposal involves the following alterations and additions:

Lower ground floor

- Extension of rumpus to the rear and addition of a home theatre room and bar area to the lower ground floor level. The newly created living areas of the dwelling house follows the alignment of the verandah (existing hard stand area).
- Two (2) sliding doors are also proposed to the living areas of the lower ground floor level for access to the proposed alfresco/swimming pool area and surveillance to the swimming pool area within the rear yard.

Ground floor

- Remove the existing front and rear balconies;
- Extend the front of Bedroom 1;
- Open plan layout for the newly extended living, dining/kitchen and wet kitchen/laundry;
- Install new stairs to the western side of the dwelling house (replaces the central stair case under the atrium roof);
- Install balcony and alfresco area between the swimming pool area and ground floor living areas to the rear of the dwelling house; and
- Provide a centralised and formalized front porch/entrance is also proposed to the front of the dwelling house.

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)

Swimming pool

The existing kidney shaped in-ground swimming pool is to be retained. The swimming pool fence around the pool area is to be replaced with new fencing that complies with relevant legislation.

First floor

- Enclose the first floor front balcony to create an enlarged bedroom 2 and void over the entry foyer; Extend to provide a walk-in-robe (WIR) and ensuite for the proposed master bedroom 2 over the existing roof area on the north western corner of the dwelling house; and
- Install a first floor rear balcony across the rear elevation of the dwelling house.

Façade and fencing alterations

Façade alterations to adapt to both historical context and contemporary identity of Oxford Road streetscape. The façade alterations include six (6) arched windows to the first floor level, replacement of two (2) single garage doors with a double garage door, render finish to all elevations with a parapet and palisade style front fence with gates to match the new façade of the dwelling house.

Landscaping works

New plantings in the front yard including two (2) trees, screening planting (Lilly Pilly) along the eastern and western edges, stepping stones surrounded by groundcover species and a garden bed with Gardenia in front of bedroom 1 extension.

New plantings in the rear yard including a single tree, stepping stones surrounded by groundcover species, garden beds with succulent species. A large expanse of the existing grassed turf area and the planter boxes with Lilly Pilly hedges will be retained.

No trees (either onsite or within the road reserve) are proposed to be removed.

Floor Plans, Elevations and Section of the proposed development are shown in Figures 9 and 16.

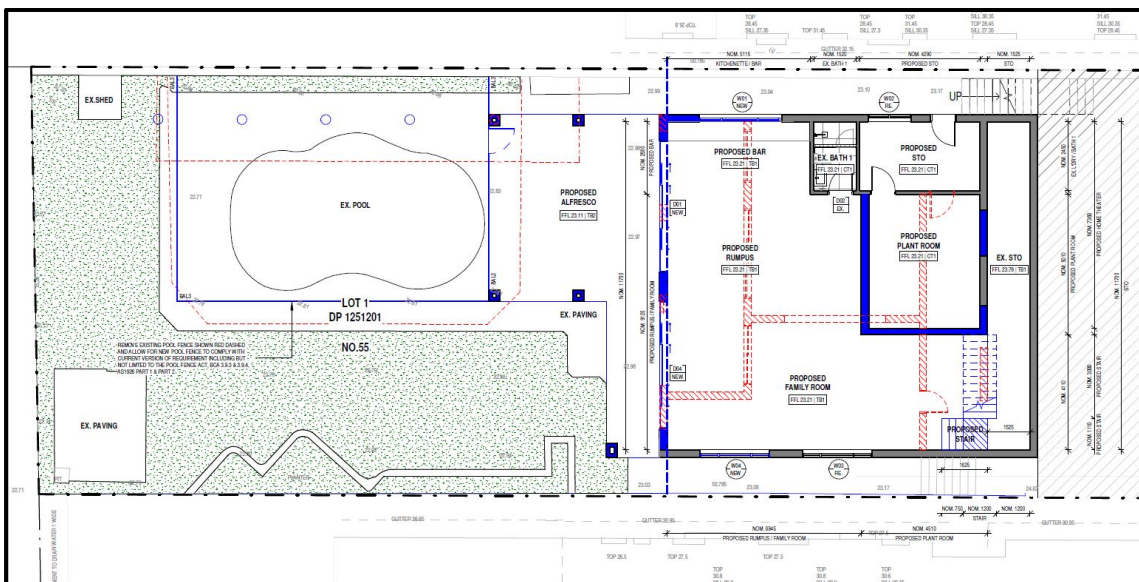


Figure 9: Proposed lower ground floor

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

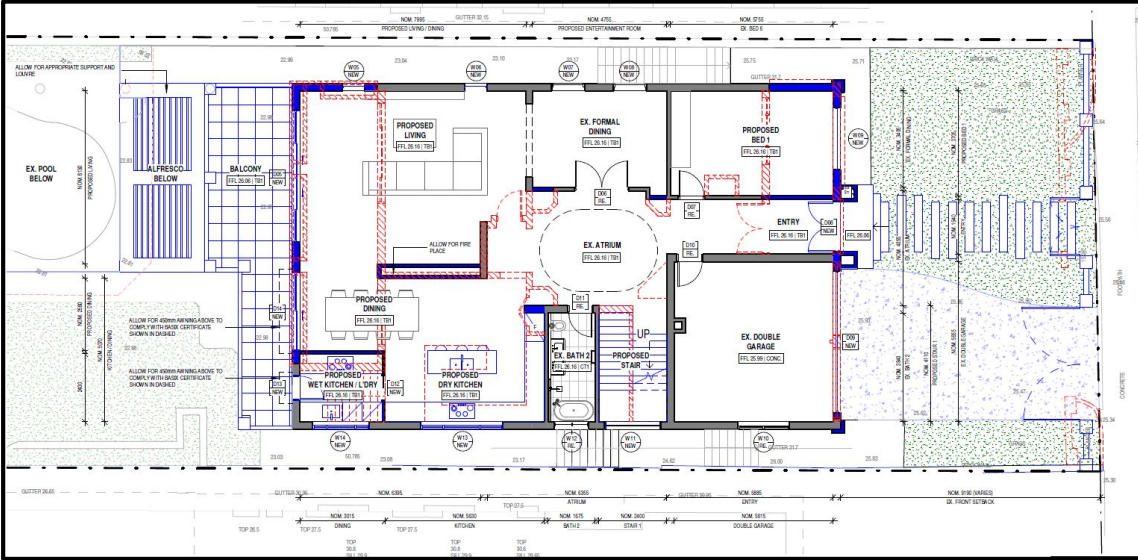


Figure 10: Proposed ground floor

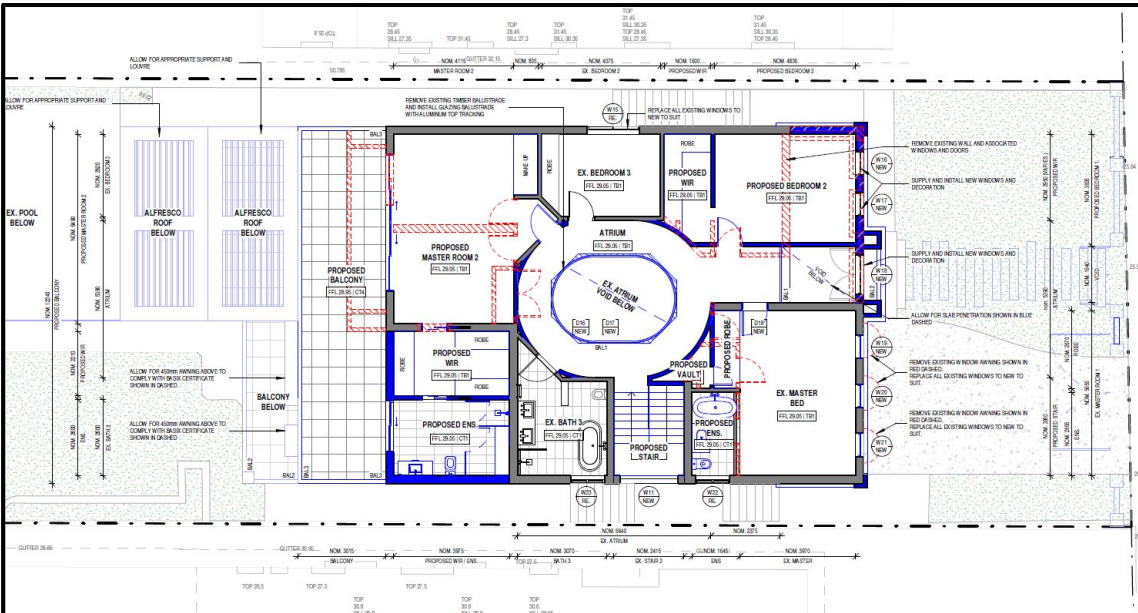


Figure 11: Proposed first floor

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)

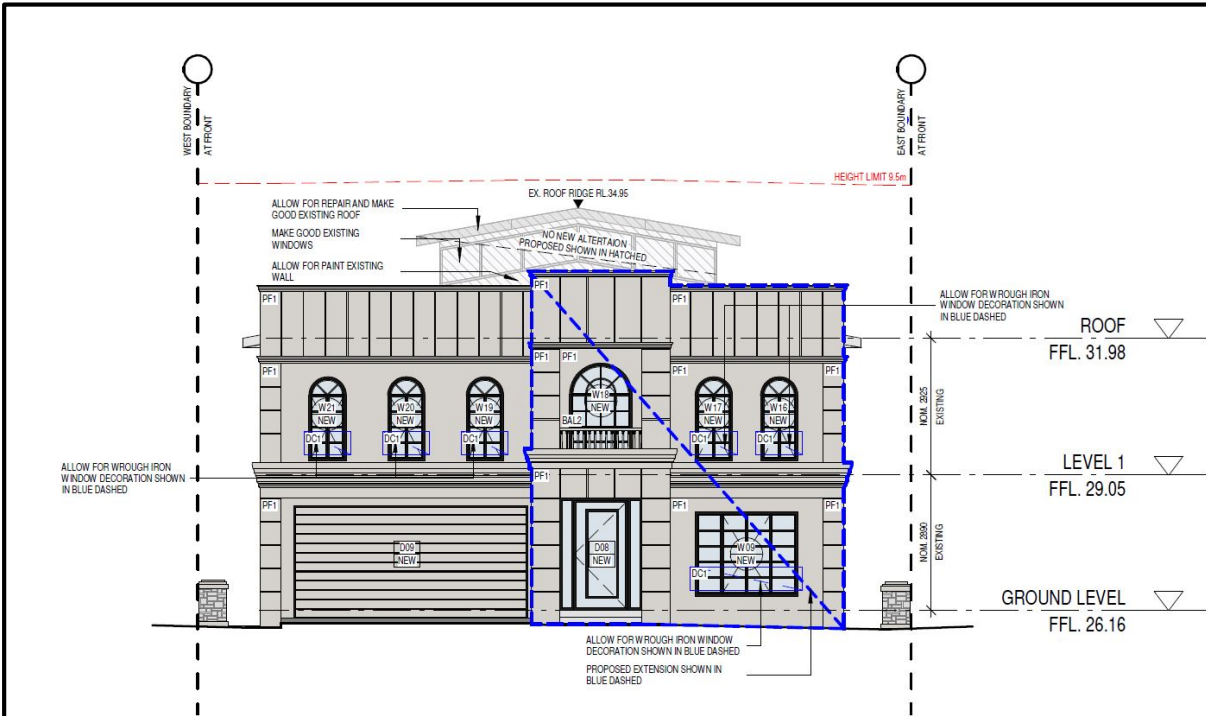


Figure 12: Southern (front) elevation

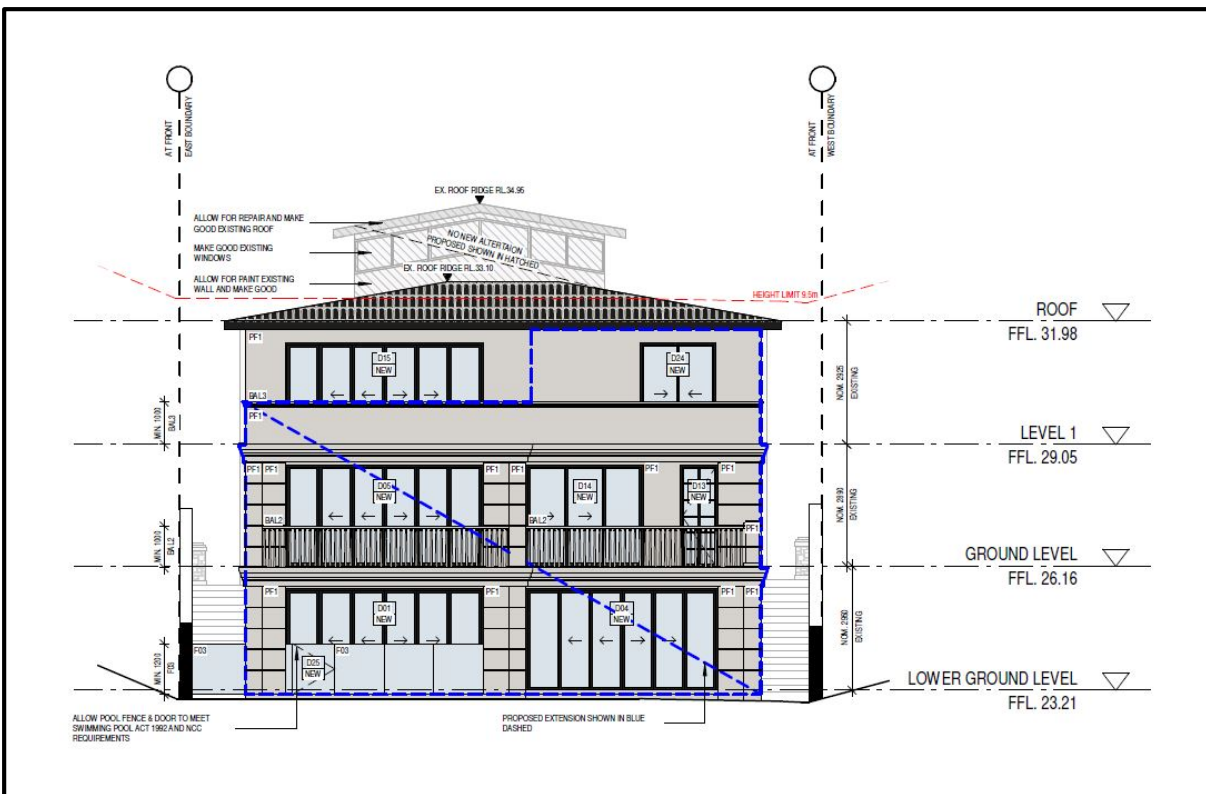


Figure 13: Northern (rear) elevation

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

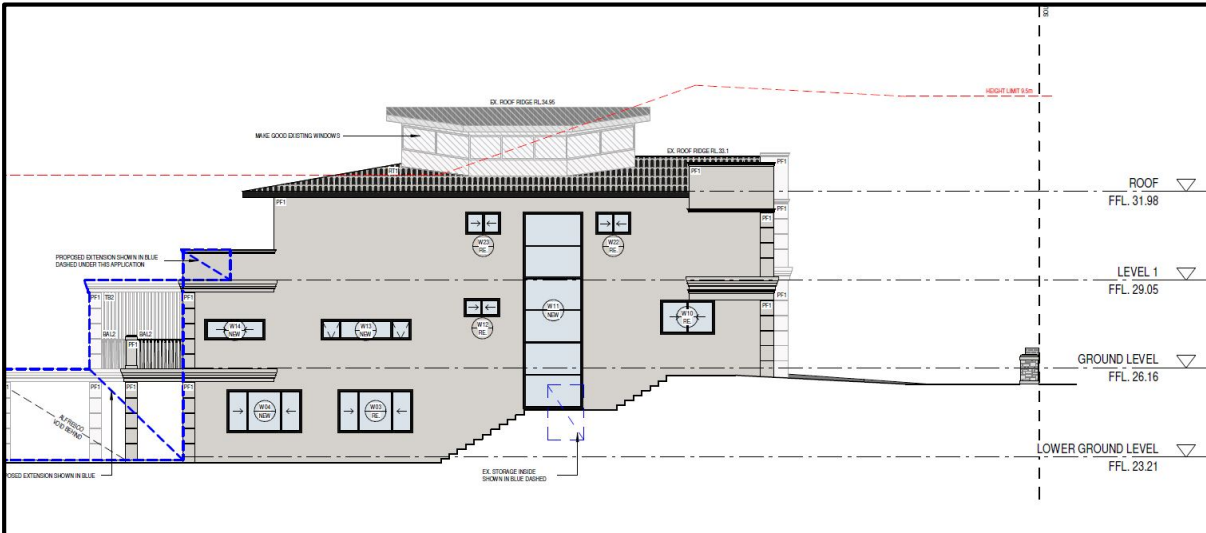


Figure 14: Western elevation

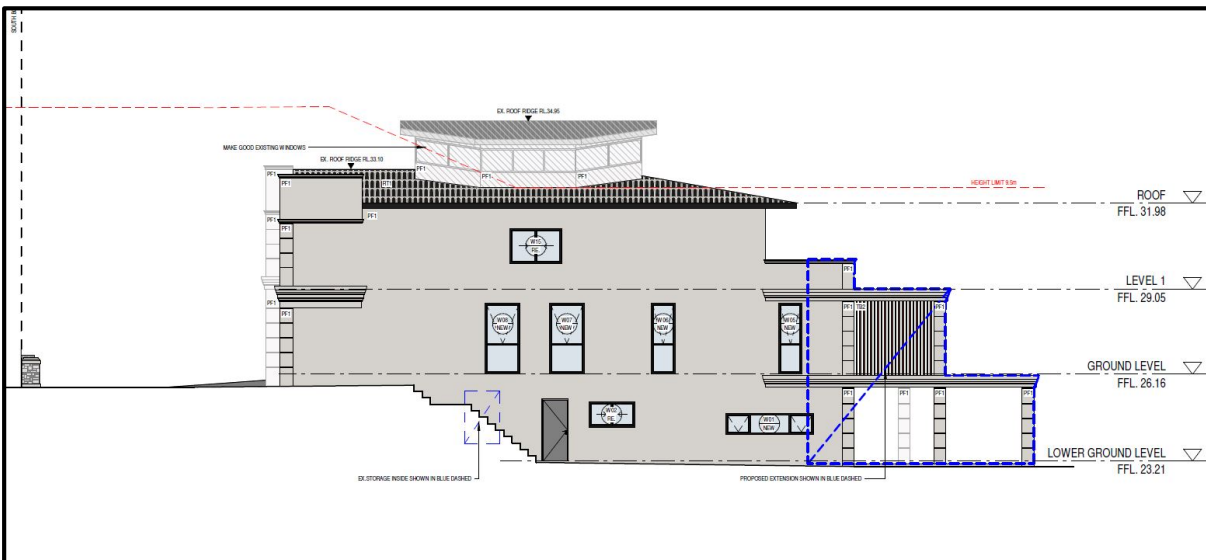


Figure 15: Eastern elevation

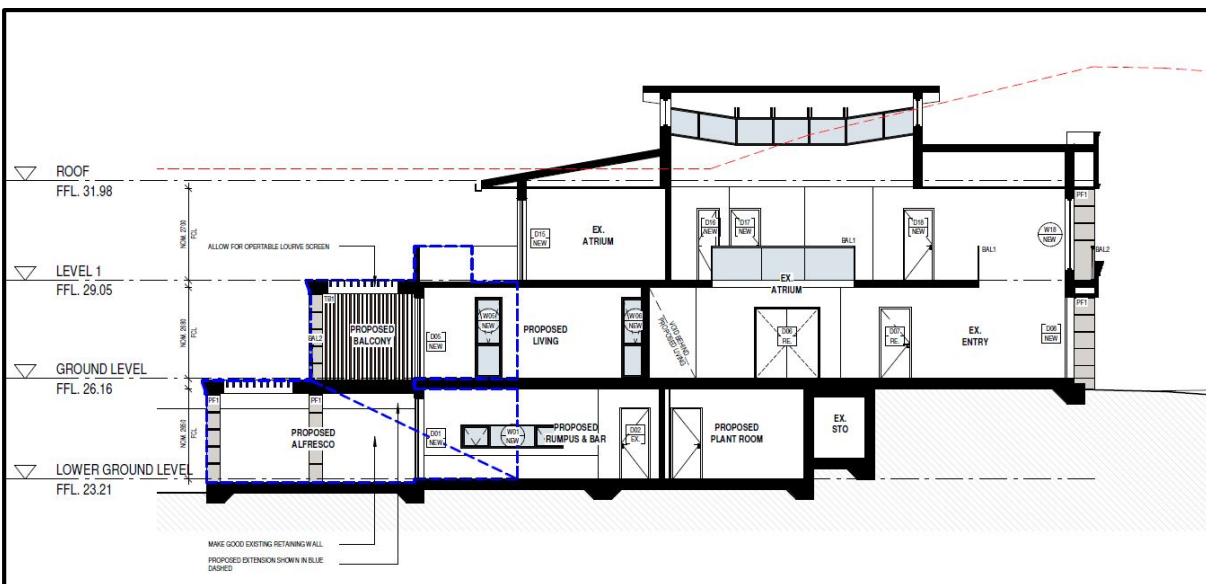


Figure 16: Section

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)

REFERRALS

INTERNAL REFERRALS

Development Control Engineer Comments

Council's Development Control Engineer evaluated the proposal with regard to the flood affectation of the site and the proposed stormwater system. Council's Development Control Engineer confirmed that there are no objections to the proposal, subject to the imposition of recommended conditions of consent.

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within Section 4.15 of the *Environmental Planning and Assessment Act 1979* as relevant to the development application:

4.15(1)(a) the provisions of:

(i) any environmental planning instrument

STATE ENVIRONMENTAL PLANNING POLICY (SEPP) – BASIX 2004

In accordance with the BASIX SEPP all new housing in NSW is required to meet a designated target for energy and water reduction.

A BASIX Certificate was submitted as part of the application which indicates that the proposal meets the required reduction targets. An appropriate condition of consent will be imposed to ensure future compliance with these targets.

STATE ENVIRONMENTAL PLANNING POLICY NO 55 – REMEDIATION OF LAND

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration. A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations and the existing land use (as a dwelling house with ancillary structures) will be retained by the proposal.

The objectives outlined within SEPP 55 are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017

The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site. The proposal involves additional landscaped areas and no loss of trees. As such, it achieves the aims/objectives of the SEPP.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN 2012 (SLEP 2012)

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl. 1.2(2) Aims

Complies

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)

(a)	To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield	Yes
(b)	To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development	Yes
(c)	To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community	Yes
(d)	To provide opportunities for economic growth that will enhance the local community	Yes
(e)	To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use	Yes
(f)	To identify and protect environmental and cultural heritage	Yes
(g)	To promote opportunities for social, cultural and community activities	Yes
(h)	To minimise risk to the community by identifying land subject to flooding and restricting incompatible development	Yes

Permissibility

The subject site is zoned R2 – Low Density Residential under the SLEP 2012.

Dwelling houses are permissible within the R2 – Low Density Residential zone with consent and is defined under SLEP 2012 as follows:

“Dwelling house means a building containing one dwelling”

The proposed development for the purpose of additions and alterations to an existing dwelling house is consistent with the definition above and is permissible within the R2 Low Density Residential zone with consent.

Zone Objectives

An assessment of the proposal against the objectives of the R2 – Low Density Residential zone is included below:

Objectives	Complies
➤ To provide for the housing needs of the community within a low density residential environment.	Yes
➤ To enable other land uses that provide facilities or services to meet the day to day needs of residents.	Yes
➤ To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas.	N/A

Comments: The proposal retains a low density residential land use and continues to ensure that the housing needs of the community are met and preserved within the immediate locality.

Part 4: Principal development standards

An assessment of the proposal against the relevant provisions contained within Part 4 of the SLEP 2012 is provided below.

Height of building

Cl.	Standard	Controls	Proposed	Complies
4.3	Height of building	9.5m	11.74m (23.6% or 2.24m)	No

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

	Objectives	Complies
(a)	To ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area	Yes
(b)	To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area	Yes
(c)	To achieve a diversity of small and large development options.	Yes

Comments: The roof ridge of the existing dwelling house has a height of 11.74m, which represents a variation of 23.6% or 2.24m to the maximum building height provision under Clause 4.3. It is noted that this variation is pre-existing and the proposed additions and alterations do not involve any changes to the existing building height of the dwelling house. Any elements of the proposal that are extend beyond the existing footprint of the dwelling house is significantly lower than the existing roof ridge and demonstrates compliance with Clause 4.3. In light of the above, the proposed development demonstrates consistency with the objectives of this clause.

A detailed discussion of the pre-existing variation and an assessment of this variation and the proposal against Clause 4.6 is contained below.

Floor space ratio

Cl.	Standard	Controls	Proposed	Complies
4.4	Floor space ratio	Max 0.575:1 (445.34m ²)	0.575:1 (445m ²)	Yes

	Objectives	Complies
(a)	To ensure that dwellings are in keeping with the built form character of the local area	Yes
(b)	To provide consistency in the bulk and scale of new dwellings in residential areas	Yes
(c)	To minimise the impact of new development on the amenity of adjoining properties	Yes
(d)	To minimise the impact of development on heritage conservation areas and heritage items	Yes
(e)	In relation to Strathfield Town Centre: <ul style="list-style-type: none"> i. to encourage consolidation and a sustainable integrated land use and transport development around key public transport infrastructure, and ii. to provide space for the strategic implementation of economic, social and cultural goals that create an active, lively and people-oriented development 	Yes
(f)	In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor	Yes

Comments: Floor space ratio (FSR) was raised as an issue to the applicant and further clarification and amendments to the design were required by the applicant to confirm existing spaces within the dwelling house as well as the new plant room, the proposed storage room and the existing basement storage.

The applicant provided additional information to satisfy assessment of the FSR and the following considerations are noted:

- The stairs are included in the FSR calculation once on the ground floor;
- The existing atrium void space will be increased to approximately 13m² and will not be included in the FSR calculation;
- The basement storage is an existing space that is below ground and has a maximum protrusion of 0.8m above natural ground level. Accordingly, the storage area will not be counted in the FSR calculation;

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

- The plant room is considered a reasonable size and can be excluded from the FSR calculation;
- The above ground storage room is an existing space but must be included in the FSR calculation given it is not basement storage.

In light of the above considerations, the proposed development, as amended, complies with the maximum floor space ratio (FSR) prescribed under Clause 4.4 and is consistent with the relevant objectives of the standard.

Clause 4.6 Exceptions to Development Standards

Under Clause 4.6 of the SLEP 2012, the consent authority may consider a variation, where that variation would achieve a better outcome.

As demonstrated in the table above, the proposed development fails to comply with Clause 4.3 – Maximum Building Height development standard of the SLEP 2012. The area of non-compliance relates to the roof ridge of the existing dwelling.

Clause 4.6(3) of the SLEP 2012 states the following:

“Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:

- (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case; and*
- (b) that there are sufficient environmental planning grounds to justify contravening the development standard.”*

The applicant has provided a written request that seeks to justify the proposed contravention of Clause 4.3 – Maximum Building Height development standard. An excerpt of the request is contained below:

The variation to the 9.5m height standard is 2.24m measured to the existing atrium roof form at the northern rear portion of the roof of the dwelling house. The variation to the existing dwelling house is 23% to the atrium roof.

Pursuant to clause 4.6(3)(a) of the LEP, the variation to the height of buildings development standard is acceptable in the circumstances of this case and compliance with the development standard is considered unreasonable and unnecessary because the proposed alterations and additions to the existing dwelling house does not alter the atrium roof and achieves the objectives of the height of buildings standard, notwithstanding non-compliance with the standard.

Pursuant to clause 4.6(3)(b) of the LEP, there are sufficient environmental planning grounds to justify the variation to the height of buildings development standard because:

- *The height of the proposed parapets, rests at RL 33.2. This is less than the current RL of the atrium roof form at RL 34.95 where the dwelling exceeds the 9.5 height limit. Therefore, the proposal results in an overall improvement to the streetscape appearance of the site, albeit that the existing non-compliant height of the atrium to the northern rear portion of the dwelling house.*
- *The subject site falls away from the street by approximately 2.93m from the south eastern side of the front boundary (RL25.64 to AHD) to the north western rear*

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)

boundary (RL22.71 to AHD). The existing dwelling house, to which the proposed alterations and additions relate, was designed with uniformly levelled floor and is not designed to follow the contours of the land (e.g. stepped elevations). As such the existing non-compliance with the atrium roof form was inevitable at the time of construction.

- From the street frontage, the dwelling itself will go almost unnoticed, with the majority of the façade of the dwelling screening the atrium roof form. The only visual element that will be relevant from the street is the southern portion of the atrium, which is located under the 9.5m height limit.
- Further, the existing dwelling has a minimum 9.19m setback from the street frontage and would have a very limited visual effect. The building line of the dwelling house is also generally be consistent with the prevailing building setback along Oxford Road, particularly that to the west and east of the site, which are also set back a modest distance from the street.
- The existing landscaping setting within the front yard is maintained and consistent with the established streetscape character of the neighbourhood. At least 50% of the front setback area is landscaped and comprises garden area that will soften the view of the site from the street.
- Therefore, from Oxford Road, it is considered that the impact of the proposal will be extremely limited and a somewhat softer visual form will be provided than the existing structures within the streetscape.
- In terms of the effect on No. 53 (to the east) and No. 57 (to the west) regarding bulk and scale, the position of built form at the existing levels will remain the same. While there will be additional parapets in the periphery of the building, it is considered that this will have limited effect when viewed from the dwellings at No. 53 and No. 57.
- No additional shadows will be cast as a result of the proposal and therefore will not compromise the amenity of the neighbouring developments.

In relation to clause 4.6(4)(a)(ii) of the SLEP 2012, the proposed residential alterations and additions to the existing dwelling house is in the public interest because the development achieves the objectives of the applicable height of buildings standard (addressed above) and is consistent with the objectives for development in the R2 – Low Density Residential zone as addressed above

In addition to the above reasons, the proposal is also in the public interest because:

- *There is an existing non-compliance with the building height with the atrium roof form of the dwelling. No changes are proposed for the atrium, particularly the uppermost height at RL34.95 as verified by a registered surveyor. It would be unreasonable to insist on demolishing this part of the dwelling just for the sake of strict compliance with the maximum building height development standard, as any demolition of the existing roof may cause detrimental structural damages and significant alterations to the entire roof and structural elements of the existing dwelling house.*
- *The proposed development is indicative of and consistent with developments located in the vicinity of the subject site. The existing developments in the vicinity of the subject site are multi-levelled dwelling houses of similar bulk and scale. It is noted that a number of dwelling house developments on this side of Oxford Road has an increased building height resulting from the natural contours of land also.*

Clause 4.6(4) of the SLEP 2012 states the following:

“Development consent must not be granted for a development that contravenes a development standard unless:

(a) the consent authority is satisfied that:

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

- (i) *the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3)*

The applicant's written request to justify the contravention of the maximum building height standard adequately addresses the matters required to be demonstrated in subclause 4.6(3), specifically, that compliance with the standard is unnecessary or unreasonable in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the development standard. The written request is considered to provide sufficient substantive information on the environmental planning grounds relating to streetscape, bulk and scale, and environmental and social impacts.

- (ii) *the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.*

Objectives of Clause 4.3

The proposal is considered to be consistent with the objectives of the development standard in that:

Objective (a): The proposed development does not exacerbate the existing non-compliant height of the atrium roof form at the centre of the dwelling house.

As the variation relates to the existing non-compliant height with minimal changes in height elsewhere of the dwelling, the dwelling house on the site is considered to be generally compatible with the appearance of the existing area.

Objective (b): There are no changes to the existing atrium roof form at the northern portion of the roof of the dwelling house. All new parapets in the periphery of the dwelling have a maximum height of 7.25m measured from the NGL which are below the maximum 9.5m height limit.

Objective (c): The proposed development does not seek to change the current low-density residential development in the form of a dwelling house.

Objectives of the R2 – Low Density Residential zone

The proposal is generally consistent with the relevant objectives of the R2 zone in that:

- The proposed development including the existing atrium roof form is a building form and scale that is suitable for the R2 – Low Density Residential zone and contributes to the housing needs of the community.
- The subject site is not listed as an item of local or state heritage significance and heritage conservation area. The site is located more than 100m and outside the visual catchment of the Redmyre Road conservation area, which is listed as local heritage items under Strathfield Local Environmental Plan (SLEP) 2012. Nevertheless, the proposal is unlikely to cause any detrimental impacts on the Redmyre Road conservation area in terms of the street layout, fabric, setting and views of the heritage items given the building separation and site orientation.

- (b) *the concurrence of the Secretary has been obtained.*"

The SLPP may assume the concurrence of the Director-General under the Planning Circular PS 18-003 issued on 21 February 2018.

In conclusion, the applicant's written request to justify the contravention of Clause 4.3 – Maximum Building Height development standard is considered to be well-founded in that the applicant has

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

satisfactorily demonstrated that compliance with the standard is unnecessary or unreasonable in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the development standard.

Part 5: Miscellaneous Provisions

None of the provisions contained within Part 5 of the SLEP 2012 are triggered by the proposal.

Part 6: Local Provisions

The relevant provisions contained within Part 6 of the SLEP 2012 are addressed below as part of this assessment:

6.1 Acid sulfate soils

The subject site is identified as within Acid Sulfate Soils (ASS) – Class 5 land and the provisions of Clause 6.1 are applicable. The objectives of this clause are to ensure that development does not disturb, expose or drain acid sulfate soils and cause environmental damage. Within Class 5, the trigger under SLEP 2012 is works within 500m of adjacent Class 1, 2, 3 or 4 land that is below 5m AHD and is likely to lower the water table below 1m AHD on adjacent Class 1, 2, 3 or 4 ASS land. Given the subject land is not located within 500m of Class 1, 2, 3, or 4 ASS land, the proposed development is not required to be accompanied by an Acid Sulfate Soils Management Plan, and therefore, satisfies the requirements of Clause 6.1.

6.2 Earthworks

Any earthworks for the proposed development will be minimal as the final design of the new additions relate appropriately to the natural topography of the site. A condition of consent is recommended to ensure appropriate management of soils is undertaken during earthworks.

6.3 Flood planning

Council records indicate that the majority of the subject site is affected by the 1 in 100 year flood event. Given the proposal involves additions and alterations to a dwelling house, the provisions under Clause 6.3 are triggered. Council's Development Control Engineer reviewed the proposal against these provisions and confirmed compliance, subject to conditions of consent.

6.4 Essential services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development.

4.15 (1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

4.151)(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN 2005 (SCDCP 2005)

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

PART A – DWELLING HOUSES AND ANCILLARY STRUCTURES

2: Architectural Design & Streetscape Presentation

2.1	Objectives	Satisfactory
A.	To ensure that development respects the predominant height, scale, character, type, form, colour, materials and architectural qualities of the existing dwelling house (in the case of alterations and additions) and surrounding neighbourhood especially any adjoining or nearby heritage item or heritage conservation area.	Yes
B.	To achieve quality architecture in new development through the appropriate composition and articulation of building elements.	Yes
C.	To ensure that the dominant building rhythm of the streetscape is reflected in the building design in terms of the spacing and proportion of the built elements.	Yes
D.	To ensure that new dwellings have facades, which define, address and enhance the public domain.	Yes
E.	To encourage contemporary architecture that is innovative, uses high quality detailing, and incorporates elements characteristic of Strathfield.	Yes
F.	To promote the continuance of pyramidal roof forms within Strathfield where they are already prevalent.	Yes
G.	To retain a feeling of openness and space between built elements by maintaining landscaped setbacks and preserve the appearance of dwellings set in the treelined streets and park-like environment.	Yes
H.	To reduce the use of highly reflective colours and materials that create visual prominence.	Yes
I.	To ensure fencing is sympathetic to the design of the dwelling and the street and enhances the character of both the individual house and street whilst maintaining casual surveillance of the neighbourhood.	Yes
J.	To protect and retain the amenity of adjoining properties.	Yes
2.2	Development Controls	Complies
	Streetscape Presentation	
.1.	2 Consistently occurring building features integrated within dwelling design.	Yes
	3 Consideration of streetscape elements	Yes
	4 Integrated security grilles/screens, ventilation louvres and garage doors	Yes
	Scale, Massing & Rhythm of Street	
.2.	1 Scale, massing, bulk and layout complement the existing streetscape and the dominant building rhythm	Yes
	2 Building height and mass maintains amenity to adjacent properties open space or the public domain	Yes
.3.	Building Forms	
	1 Building form articulated.	Yes
	Roof Forms	
	1 Roof form complements predominant form in the locality	Yes
.4.	2 Roof form minimises bulk and scale of building and remains an important architectural element in the street.	Yes
	3 First floor additions complement the architectural style of the ground floor and delineate the existing roof form, slope and ridge	Yes

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)

4	Roof structures are not visible from the public domain	Yes
<i>Materials</i>		
5	Materials compatible with the existing dwelling house, adjoining dwelling houses and the streetscape (type, form and colour)	Yes
6	Monotone face brick walls and terracotta tiles for roofs where common in the streetscape	Yes
7	New buildings and facades do not result in glare (Reflectivity Report may be required)	Yes
<i>Colours</i>		
8	New development incorporates traditional colour schemes	Yes
9	The external colours integrate harmoniously with the external design of the building	Yes

Comments: The proposed development is appropriately designed; with the built form, shape, colouration and materials that are complimentary to the streetscape and surrounding locality. The architectural elements presented to public domain and surrounding neighbours borrows familiar and commonly occurring elements in current housing stock along the Oxford Road as the proposal results in an updated French Provincial style whilst incorporating beige rendered walls, black metal framed arched and square windows with wrought iron detail and charcoal grey roof tiles, and retaining the multi-level form of the current dwelling house. The overall design will be similar to west-adjointing dwelling house at No. 57 Oxford Road and ensures an acceptable contemporary update of the façade is created within the locality.

The scale and massing of the overall scheme is appropriate as it is predominantly contained within the existing dwelling house and features a similar scale and gross floor area. It is noted that the internal dwelling extensions will occupy existing built-up zones (i.e. lower ground floor verandah, ground floor terrace and front verandah, first floor balcony). The balcony extensions are similar to the rear-facing balconies of adjacent neighbours and accordingly, are appropriately separated.

4: Building Envelope

4.1	Objectives	Satisfactory
A.	To ensure that dwellings are compatible with the built form of the local area and that overall bulk and scale, size and height of dwellings relative to natural ground level responds to the adjoining dwellings, topography and desired future character.	Yes
B.	To minimise impact on the amenity of adjoining properties.	Yes
C.	To establish and maintain the desired setbacks from the street and define the street edge.	Yes
D.	To create a perception or reinforce a sense of openness in the locality.	Yes
E.	To maintain view corridors between dwellings	Yes
F.	To assist in achieving passive surveillance whilst protecting visual privacy.	Yes
G.	To provide a transitional area between public and private space.	Yes
4.2	Development Controls	Complies
.1.	Floor Space Ratio	

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)

	1	Floor Space Ratio permissible pursuant to SLEP 2012	Yes
	2	Development compatible with the lot size	Yes
<i>Building Height</i>			
	1	Height of building permissible pursuant to SLEP 2012	No
.2.	2	Height of outbuildings, detached garages and carports is 3.5m (max) measured at the highest point on the roof above NGL	Yes
	3	Dwelling houses and any ancillary structures 2-storeys (max)	Yes
	4	Building height responds to the gradient of the site to minimise cut and fill	Yes
<i>Street Setbacks</i>			
.3.1.	1	Setbacks consistent with minimum requirements of Table A.1 <ul style="list-style-type: none"> • Lower ground floor: >10m • Ground floor and first floor: 9.19m 	Yes
<i>Side and Rear Setbacks</i>			
.3.2.	1	A combined side setback of 20% of the width of the block (incorporating a 1.2m min side setback on each side). <ul style="list-style-type: none"> • East side: 1.4m (min.) • West side: 1.5m (min.) • Combined: 2.9m (19%). 	No – combined setback Pre-existing and acceptable on merit Yes – min. side setback
	2	A rear setback of 6m (min) <ul style="list-style-type: none"> • Lower ground floor pergola: 16m • Ground floor balcony: >19m 	Yes

Comments: As mentioned above, the proposed development features an identical maximum building height and comparable FSR as the existing dwelling house. All spaces that contribute to gross floor area are wholly contained within either the footprint of the existing dwelling house or any built-up zone – the only protrusions relate to the lower ground floor pergola and rear-facing balconies. Therefore, the proposed development features the same front and side setbacks as the existing dwelling. It is noted that the existing dwelling does not comply with the above combined side setback control. Given that this variation is pre-existing and will not result in any unreasonable/unacceptable impacts, this is considered acceptable on merit. It is also noted that the proposed development is sufficiently setback from both the front and rear boundaries.

5: Landscaping

5.1	Objectives	Satisfactory
A.	To encourage landscaping that is appropriate to the style and scale of the dwelling and adjoining development, and to the streetscape.	Yes
B.	To enhance the existing streetscape and promote a scale and density of planting that softens the visual impact of buildings, structures, vehicle circulation and ancillary areas.	Yes
C.	To preserve existing landscape elements on site (such as existing trees) and encourage their integration into the design of proposals.	Yes

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)

D.	To ensure adequate deep soil planting is retained on each allotment.	Yes	
E.	To ensure developments make an equitable contribution to the landscape setting of the locality.	Yes	
F.	To ensure both existing and new landscaping provides suitable shade and facilitates convective cooling breeze paths in summer.	Yes	
G.	To encourage the use of native flora such as open woodland canopy trees, to provide a habitat for native fauna.	Yes	
H.	To ensure that landscaped areas are designed to minimise water use.	Yes	
I.	To provide functional private open spaces for active or passive use by residents.	Yes	
J.	To provide private open areas with provision for clothes drying facilities screened from the street and lane or a public place.	Yes	
K.	To ensure the protection of trees during construction	Yes	
L.	To ensure suitable fencing is provided to reduce acoustic impacts and enhance visual privacy between neighbouring residents whilst enabling front fences passive surveillance of the street.	Yes	
M.	To maximise the amenity of existing and proposed developments, including solar access, privacy and open space.	Yes	
5.2	Development Controls	Complies	
.1.	<i>Landscaped area</i>		
	1	Landscaped area in accordance with Table A.3 Min. 43% (330.035m²)	No 29.6% (229.6m²) Pre-existing and acceptable on merit
	2	At least 50% of the minimum landscaped area located behind the building line to the rear boundary	Yes
	3	At least 50% of the front yard maintained as deep soil soft landscaping	Yes
	4	Minimise hard surface area (concrete/brick/stone paving and bitumen). Run-off directed to permeable surfaces.	Yes
	5	Planting areas soften the built form	Yes
	6	Front gardens respond and contribute to the garden character of Strathfield.	Yes
	7	Retain and reinforce the prevailing streetscape and surrounding locality	Yes
	8	Plant species must be retained, selected and planted to improve amenity	Yes
.2.	<i>Tree Protection</i>		
	3	Development provides for the retention and protection of existing significant trees No trees will be impacted as there are no trees within the entire premises and there are no street trees in front of the site.	Yes
	6	Opportunities for planting new canopy trees within the front setback	Yes, to be conditioned

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

	7	At least one (1) canopy tree provided in the rear yard.	Yes, to be conditioned
	8	Trunk of a proposed canopy tree planted 4m (min) from built structures, or 3m (min) from pier beam footings	Yes
	11	25% (min) of canopy trees and other vegetation shall be locally sourced indigenous species	Yes
<i>Private Open Space</i>			
	1	Provided in a single parcel rather than a fragmented space, directly accessible from internal living areas	Yes
	2	Includes a deep soil area compliant with the minimum landscaped area.	Yes
.3.	3	Terraces and decks (at least 10m ²) with one length or width 3m (min) and directly accessible from an internal living area. Decks cannot be located more than 500mm above NGL	Yes
	4	Unless 3m (min) width, areas within setbacks are not to be included as private open space	Yes
	5	Private open space located at the rear of the property.	Yes
<i>Fencing</i>			
	1	Fencing designed to be compatible and sympathetic to the style of the dwelling, adjoining properties and the streetscape	Yes
.4.	3	Fencing forward of FBL shall not exceed 1.5m. Solid components shall not exceed 0.7m above NGL with the exception of brick piers	Yes, to be conditioned
	7	Front fences visually permeable	Yes
	11	Solid fences adjoining driveways are provided with 1m x 1m (min) splay	Yes, to be conditioned
	14	Stormwater flows through or under fencing on sloping sites	Yes

Comments: The proposed development generally complies with the relevant requirements associated with landscaped area, tree protection and private open spaces. The proposed development fails to meet the minimum landscaped area control. It is noted that the existing development is currently non-compliant with this control due to the establishment of ancillary structures such as the existing swimming pool, pool surrounds, paved areas and garden shed. The proposed development will not result in further loss of landscaped area (as existing) and the rear encroachment of the new pergola on the lower ground will be situated on existing paving. The pre-existing variation to the minimum landscaped area control is considered to have merit given that the proposed development will improve upon the quality and form of landscaped areas by incorporating new plantings in both the front and rear yards. To reinforce the improved landscaping, conditions will be imposed to ensure canopy tree species are provided within the site.

The existing front fencing is proposed to be updated with palisade fencing and masonry columns to complement the French Provincial style of the new dwelling façade (refer to Figure 9).

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)



Figure 9: Proposed Front Fencing in the Schedule of Materials and Finishes

The applicant did not provide details of the fencing heights; however, the fencing does appear to be visually permeable and appropriate with regard to the flood affectation of the site. To ensure the new fencing will have a maximum height of 1.5m and comprises a 1m x 1m splay between the internal driveway, conditions will be imposed.

6: Solar Access

6.1 Objectives		Satisfactory
A.	To ensure the design of new dwelling houses and alterations and additions maximises solar access to living areas and open space areas.	Yes
B.	To minimise overshadowing of adjoining properties.	Yes
6.2 Development Controls		Complies
Sunlight Access		
.1.	1 New dwellings - 3 hours solar access between 9.00am and 3.00pm on June 21 to the windows of habitable rooms and 50% of private open space	Yes
	2 Alterations or Additions – maintain 3 hours solar access between 9.00am and 3.00pm on June 21 to the windows of habitable rooms and to the majority of private open space	Yes
	3 50% of the principal private open space of any adjoining premises receives 3 hours solar access between 9.00am and 3.00pm on June 21	Yes
	4 The proposed development does not further reduce the amount of solar access	Yes

Comments: The proposed development demonstrates compliance with the relevant requirements associated with solar access. The south-north orientation of the site combined with the proposal being predominantly contained within the footprint of the existing dwelling house ensures any overshadowing impacts are near identical to the existing dwelling house. The proposed balcony extensions and new pergola are significantly lower than the current roof ridge and will not contribute to any excessive or unreasonable levels of overshadowing.

7: Privacy

7.1 Objectives		Satisfactory
A.	Development that is designed to provide reasonable privacy to adjacent properties	Yes
B.	To maintain reasonable sharing of views from public places and living areas	Yes

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)

C.	To ensure that public views and vistas are protected, maintained and where possible, enhanced	Yes
D.	To ensure that canopy trees take priority over views	Yes
E.	To ensure that the siting and design of buildings minimises noise impacts from abutting roads, rail corridors and other noise-generating land uses	Yes
7.2	Development Controls	Complies
.1.	<i>Visual Privacy</i>	
	1 Protect POS, bedrooms, balconies and living rooms of proposed and any existing adjoining dwellings from direct overlooking	Yes
	2 Provide adequate separation of buildings	Yes
	3 Ensure elevation of finished floor levels above NGL is not excessive	Yes
	4 Improve privacy to adjacent properties with screen planting	Yes
.2.	<i>Windows</i>	
	1 Windows do not directly face the windows, balconies and courtyards of adjoining dwelling	Yes
	2 A window within 9m of another window in a habitable room of an adjoining dwelling is offset by 0.5m (min) or a sill height of 1.7m (min) above the FFL	Yes
	3 Windows directly facing balconies or courtyards are narrow, incorporate obscure glazing and/or a sill height of 1.7m (min) above FFL	Yes
.3.	<i>Elevated Decks Verandahs and Balconies</i>	
	1 Elevated decks, verandahs and upper storey balconies not permitted on side boundaries (exceptions apply)	Yes
	2 Elevated decks, verandahs and balconies incorporate privacy screens	No, acceptable on merit
	3 Rear balconies (no more than 1m (depth) x 2m (length) permitted if the balcony does not unreasonably impact on adjoining premises	No, acceptable on merit
	4 Balconies extending the full width of the front façade are not permitted	Yes
.4.	<i>Acoustic Privacy</i>	
	2 Noise-sensitive rooms located away from noise sources	Yes

Comments:The proposed development complies with the relevant requirements for visual and acoustic privacy. It is noted that the site features in unique context in that a number of properties along Oxford Road feature rear-facing balconies that overlook neighbouring properties. This includes the dwelling houses at No. 55 and 53 Oxford Road (refer to Figures 10 to 12).

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)



Figure 10: Existing first floor balconies within the subject site and No. 53 Oxford Road, Strathfield – note the eastern view of No. 53 Oxford Road



Figure 11: Existing first floor balcony within the subject site and western view of No. 57 Oxford Road, Strathfield

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)



Figure 12: Existing ground floor balconies within the subject site and No. 53 Oxford Road, Strathfield

Ground Floor Windows

It is noted that some of the windows of the dwelling house will be retained. The new windows in the dry kitchen/wet kitchen/laundry are splash-back windows. The new window in the stairwell is considered large as it occupies all three (3) levels and will have privacy issues. A condition is recommended to ensure this entire window is frosted.

The east-facing windows in the living room align with the balcony and window of No. 53 Oxford Road. To minimise privacy impacts it is recommended that these windows are frosted to at least 1.6m sill height. The glass sliding door openings are recessed and away from property boundaries and will not result in unreasonable amenity impacts.

First Floor Windows

The entire first floor features bedrooms, bathrooms, walk-in-ropes and a stairwell. These spaces are considered low activity areas and will not likely result in unacceptable privacy impacts. It is noted that the only new windows proposed at this level are either within the stairwell or face Oxford Road.

Balconies

The balcony on the first floor is 3.015m wide by 12.24m long. To minimise potential overlooking a condition is recommended to provide privacy screens on both eastern and western sides. These screens must comprise of a height of 1.6m measured from the finished floor level.

The balcony on the ground floor is 3m wide (max.) by 12m long (max.). A floor to ceiling privacy screen is proposed on the eastern side to minimise potential overlooking from this space. To further minimise potential overlooking a condition is recommended to provide privacy screen on the western side. This screen must feature a height of 1.6m measured from the finished floor level.

It is further noted that the balconies are generally in alignment with the rear encroachment of the existing balconies/building line of the adjoining neighbours at No. 53 and 57 Oxford Road (refer to

DA2020/235 - 55 Oxford Road, Strathfield
 Lot 1 DP 1251201 (Cont'd)

Figure 13). As mentioned above, the new balconies are considered extensions of the ground floor and first floor balconies of the existing dwelling house within the subject site. Accordingly, the proposed balconies are considered contextually appropriate and acceptable, subject to conditions to further reduce potential overlooking.

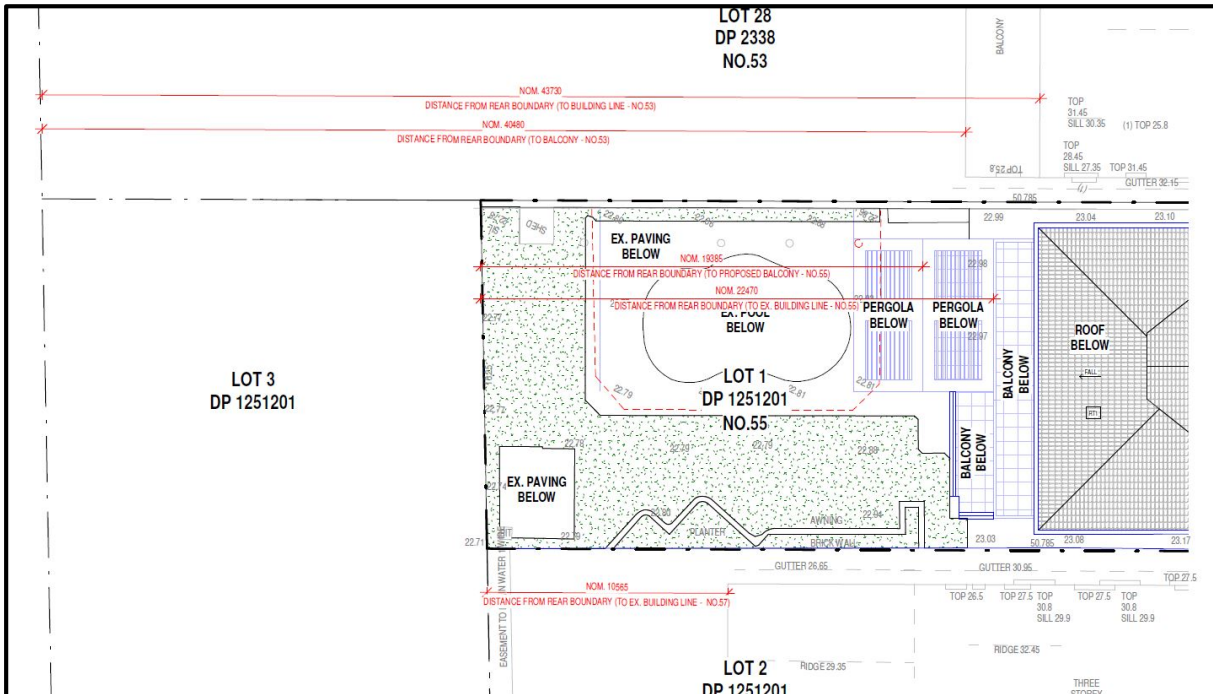


Figure 13: Rear setback distances of the proposed balconies and adjoining neighbours.

9: Altering Natural Ground Level (Cut and Fill)

9.1 Objectives		Satisfactory
A.	To maintain existing ground levels and minimise cut and fill to reduce site disturbance.	Yes
B.	To ensure existing trees and shrubs are undisturbed, ground water tables are maintained and impacts on overland flow/drainage are minimised.	Yes
9.2 Development Controls		Complies
1	Fill limited to 1m (max) above NGL	Yes
2	Clean fill used only	Yes
3	Cut and fill batters stabilised consistent with the soil properties	Yes
4	Vegetation or structural measures are implemented when the site is disturbed.	Yes
5	Areas of excavation setback from property boundaries in line with building setback controls. No excavation permitted within the minimum required setbacks.	Yes
6	The work does not affect or undermine the soil stability or structural stability of buildings and Council assets on adjoining properties.	Yes
7	A dilapidation report for all buildings which adjoin proposed excavation areas as required	Yes
8	Avoid excessive fill that creates the potential for overlooking of adjoining properties	Yes

Comments: The proposed development involves minimal excavation/ground disturbance and complies with the relevant requirements associated with cut and fill.

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

10: Water and Soil Management

10.1	Objectives	Satisfactory	
A.	To encourage the incorporation of Water Sensitive Urban Design (WSUD) and Botany Improvement Plan principles in the development.	Yes	
B.	To ensure compliance with Council's Stormwater Management Code	Yes	
C.	To ensure compliance with the NSW State Government's Flood Prone Lands Policy.	Yes	
D.	To ensure that appropriate soil erosion and sediment control measures are implemented on all sites that involve soil disturbances during construction.	Yes	
E.	To ensure new building work does not detrimentally affect the existing drainage system of any area of the Municipality.	Yes	
F.	To ensure that new development in areas that may be affected by acid sulphate soils do not adversely impact the underlying ground conditions, soil acidity and water quality.	Yes	
G.	To appropriately manage stormwater and overland flow to minimise damage to occupants and property	Yes	
10.2	Development Controls	Complies	
.1.	<i>Stormwater Management and Flood Prone areas</i>		
	1	Applicant contacted Council regarding site being flood prone land	Yes
	2	Compliance with Council's Stormwater Management Code	Yes
	3	Flood affected properties comply with Council's Interim Flood Prone Lands Policy (Flood Prone Areas & Through Site Drainage)	Yes
	4	Minimum habitable floor height advice obtained for flood affected sites	Yes
	5	A drainage/flood report prepared by a hydraulics engineer submitted for sites affected by overland flows\ There are no changes to finished floor levels of the existing dwelling house – a flood report was not considered a requirement for this proposal. Therefore, this is acceptable.	No, acceptable on merit
.2.	<i>Acid Sulfate Soils</i>		
	1	Site managed consistent with the provisions contained in Clause6.1 SLEP 2012	Yes
.3.	<i>Soil Erosion and Sediment Control</i>		
	1	Soil erosion and sediment control measures detailed and implemented prior to the commencement of work.	Yes
	2	Sediment control measures applied	Yes
	3	Plans provided detailing stormwater quality treatment	Yes

Comments:The proposed development will connect to the stormwater system of the existing dwelling. This system is capable of facilitating appropriate stormwater disposal and demonstrates compliance with the relevant stormwater and water and soil management controls.

11: Access, Safety and Security

11.1	Objectives	Satisfactory
------	------------	--------------

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

A.	To encourage the incorporation of crime prevention principles in the design of the proposed developments.	Yes
B.	To increase the safety and perception of safety in public and semi-public spaces.	Yes
C.	To provide passive surveillance of the public domain to promote a safe pedestrian environment whilst maintaining the privacy of residents	Yes
D.	To ensure the safety of pedestrians by separating pedestrian access from vehicular access.	Yes

11.2	Development Controls	Complies
-------------	-----------------------------	-----------------

	<i>Address and Entry Sightlines</i>		
.1.	1	Occupants able to overlook public places to maximise passive surveillance	Yes
	2	Landscaping design around dwellings and ancillary structures to accommodate plant maturation	Yes
	3	External lighting enhance safe access and security and light spill does not adversely impact on adjoining properties.	Yes
	4	Crime Prevention through Environmental Design (CPTED) principles incorporated.	Yes
	<i>Pedestrian Entries</i>		
.2.	1	Pedestrian entries and vehicular entries suitably separated	Yes
	2	Dwelling entrances easily identifiable	Yes
	3	House numbers are to be clearly visible from the street	Yes

Comments:The proposed alterations and additions to the existing dwelling house will retain the clearly defined and identifiable pedestrian and vehicular access and entries. The front entrance will remain as an opening that faces Oxford Road and will be visible from this street. The overall scheme has been improved in terms of passive surveillance with a number of new windows facing Oxford Road – ensuring the dwelling house is adequately designed to formalise access and ensures that the above access, safety and security requirements are met.

13: Ecologically Sustainable Development

13.1	Objectives	Satisfactory
A.	To encourage passive and active strategies in the design of dwellings and ancillary structures that promotes the achievement of ecologically sustainable practices and BASIX requirements.	Yes
B.	To ensure dwellings are designed to allow sufficient natural ventilation and lighting whilst minimising heat gain during summer and maximising solar access during winter, thereby reducing the need for artificial cooling and heating.	Yes
C.	To minimise the over use of Sydney's limited high quality domestic water supply by ensuring new dwellings incorporate water storage tanks for use in toilet flushing, landscape irrigation and to encourage new dwellings, additions and alterations to incorporate water saving devices and water conservation strategies.	Yes
D.	To encourage the use of new technology that reduces energy consumption, minimises greenhouse emissions and results in cost savings	Yes
E.	To encourage the re-use of building materials, thereby reducing waste to landfill, transportation costs, conserving raw materials and reducing energy expenditure. (Refer to Part H Waste Minimisation and Management of SCDCP 2005).	Yes
13.2	Development Controls	Complies
.1.	Natural Lighting and Heating	

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

	1	Living areas facing north, sleeping areas facing east/south, and utility areas orientated west/south to maximise winter solar access.	Yes
	2	Trees planted to the north of the dwelling must be deciduous to allow solar access during the winter	Yes
	3	Materials used of high thermal mass	Yes
	<i>Natural Cooling and Ventilation</i>		
.2.	1	Windows and walls on northern facades shaded by shading devices, trees, eaves and louvres sympathetic to the dwelling	Yes
	2	Windows positioned to capture breezes and allow for cross-ventilation	Yes

Comments: The proposed development complies with the relevant requirements under the SCDPC 2005 in relation to ecologically sustainable development.

PART H – WASTE MANAGEMENT (SCDCP 2005)

A Waste Management Plan was submitted as part of the development application and has demonstrated compliance with the relevant controls.

4.15 (1)(a)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under Section 7.4 of the *Environmental Planning and Assessment Act 1979*.

4.15 (1)(a)(iv) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii). It does involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

All likely impacts have been addressed elsewhere in the report, or are considered to be satisfactory and thus, do not warrant further consideration.

4.15 (1)(c) the suitability of the site for the development

The proposed development is considered to be suitable for the site given that it involves additions and alterations to an existing dwelling house that does not change its use as a dwelling house. This ensures that the low density residential character of the locality is preserved. The subject site does not have any significant environmental constraints that would prevent the development of a single dwelling house. Therefore, the site is suitable for the proposed development.

4.15 (1)(d) any submissions made in accordance with this Act or the regulations

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

The application was notified in accordance with the CPP from 13 to 29 January 2021, with no submissions received.

4.15 (1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is not considered to be contrary to the public interest.

DEVELOPMENT CONTRIBUTIONS

Section 7.12 (previously Section 94A) of the *Environmental Planning and Assessment Act 1979* relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. Section 7.12 of the *Environmental Planning and Assessment Act 1979* reads as follows:

“A consent authority may impose, as a condition of development consent, a requirement that the applicant pay a levy of the percentage, authorised by a contributions plan, of the proposed cost of carrying out the development.”

STRATHFIELD INDIRECT DEVELOPMENT CONTRIBUTIONS PLAN

The proposed development has a value of greater as \$100,000. In order to provide additional public facilities and infrastructure to meet the demand created by development, the proposed development will attract Section 7.12 Indirect Contributions in accordance with the Strathfield Indirect Development Contributions Plan (3 September 2010). This contribution is based on the proposed cost of works for the development and has been calculated at 1% of \$400,000 (the estimated cost of development identified in the development application). Therefore, the Section 94 Indirect Contributions for the proposed development is **\$4,000.00**

CONCLUSION

The application has been assessed having regard to Section 4.15 of the *Environmental Planning and Assessment Act 1979*, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions of consent.



Signed: Miguel Rivera
Senior Planner

PEER REVIEW

The content and recommendation of the development assessment report has undergone peer review and is satisfactory for consideration by the Panel.

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

Signed: Joseph Gillies
Senior Planner

RECOMMENDATION

In consideration of the written request made by the applicant pursuant to Clause 4.6 of the Strathfield Local Environmental Plan 2012, the consent authority is satisfied that compliance with the development standard contained in Clause 4.3 Maximum Building Height of the SLEP 2012 is well-founded and that there are sufficient environmental planning grounds to justify contravening the development standard.

That Development Application No. DA2020/235 for alterations and additions to an existing dwelling house including internal layout re-configurations, front and rear extensions, window modifications, new façade treatment and replacement of swimming pool fencing at 55 Oxford Road, Strathfield be **APPROVED**, subject to the following conditions:

REASONS FOR CONDITIONS

The conditions of consent are imposed for the following reasons:

- 1) To ensure compliance with the terms of the relevant Environmental Planning Instrument and/or Building Code of Australia and/or Council's codes, policies and specifications.
- 2) To protect the environment.
- 3) To ensure that there is no unacceptable impact on the amenity of the area, or to private and public property.
- 4) It is in the public interest.

DEVELOPMENT DETAILS

1. Approved Plans & Documentation

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Plan – Site/Roof	A 1.00	18/05/21	A4	MOMA Architects
Plan – Lower Ground Level	A 1.01	18/05/21	A4	MOMA Architects
Plan – Ground Level	A 1.02	18/05/21	A4	MOMA Architects
Plan – Level 1	A 1.03	18/05/21	A4	MOMA Architects
Elevation – North	A 2.00	18/05/21	A4	MOMA Architects
Elevation – South	A 2.01	18/05/21	A4	MOMA Architects
Elevation – West	A 2.02	18/05/21	A4	MOMA Architects
Elevation – East	A 2.03	18/05/21	A4	MOMA Architects
Section – Long Section	A 3.00	18/05/21	A4	MOMA Architects
Section – Short Section	A 3.01	18/05/21	A4	MOMA Architects
Schedule of Materials and Finishes	A 6.00	18/05/21	A4	MOMA Architects
Notes and Standard Details	Sheet 1 of 5	08/12/20	A	NITMA Consulting Pty Ltd

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

Erosion and Sediment Control Plan	Sheet 2 of 5	08/12/20	A	NITMA Consulting Pty Ltd
First Floor Drainage Plan	Sheet 3 of 5	08/12/20	A	NITMA Consulting Pty Ltd
Ground Drainage Plan	Sheet 4 of 5	08/12/20	A	NITMA Consulting Pty Ltd
Lower Ground Drainage Plan	Sheet 5 of 5	08/12/20	A	NITMA Consulting Pty Ltd
Hardscape Plan	LPDA 21 – 224 / 1	02/03/21	A	Conzept Landscape Architects
Landscape Plan	LPDA 21 – 224 / 2	02/03/21	A	Conzept Landscape Architects
Details	LPDA 21 – 224 / 3	02/03/21	A	Conzept Landscape Architects
Specification	LPDA 21 – 224 / 4	02/03/21	A	Conzept Landscape Architects
BASIX Certificate	A397119	08/12/20	-	LC Consulting Engineers
Site Waste Minimisation and Management Plan	-	08/12/20	-	Eric Km

SEPARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

2. Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) Placing or storing materials or equipment;
- (b) Placing or storing waste containers or skip bins;
- (c) Erecting a structure or carrying out work
- (d) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (e) Pumping concrete from a public road;
- (f) Pumping water from the site into the public road;
- (g) Constructing a vehicular crossing or footpath;
- (h) Establishing a “works zone”;
- (i) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

- (j) Stormwater & ancillary works in the road reserve; and
- (k) Stormwater & ancillary to public infrastructure on private land
- (l) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

3. Building – Hoarding Application

Prior to demolition of the buildings on the site, or the commencement of work above ground level, a separate application for the erection of an 'A class' (fence type) or a 'B class' (overhead type) hoarding or 'C type' scaffold, in accordance with the requirements of SafeWork NSW, must be erected along that portion of the footways/roadway where the building is within 3 metres of the street boundary.

An application for this work under Section 68 of the [Local Government Act 1993](#) and the Roads Act 1993 must be submitted for approval to Council.

The following information is to be submitted with a Hoarding Application under Section 68 of the [Local Government Act 1993](#) and Section 138 of the [Roads Act 1993](#):

- (a) A site and location plan of the hoarding with detailed elevation, dimensions, setbacks, heights, entry and exit points to/from the site, vehicle access points, location of public utilities, electrical overhead wire protection, site management plan and builders sheds location; and
- (b) Hoarding plan and details that are certified by an appropriately qualified engineer; and
- (c) The payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges (available at www.strathfield.nsw.gov.au) before the commencement of work; and
- (d) A Public Risk Insurance Policy with a minimum cover of \$20 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained a copy provided to Council. The Policy is to note Council as an interested party.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

4. Sydney Water – Tap in™

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

PRIOR TO THE ISSUE OF THE CONSTRUCTION CERTIFICATE

5. Fees to be Paid

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://portal.longservice.nsw.gov.au/bci/levy/	\$1,400.00
Security Damage Deposit	\$8,100.00
Tree Bond	\$3,000.00
Administration Fee for Damage Deposit	\$127.00
Administration Fee for Tree Bond	\$127.00
DEVELOPMENT CONTRIBUTIONS	
Indirect (Section 7.12) Contributions	\$4,000.00

General Fees

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

A Section 7.12 contribution has been levied on the subject development pursuant to the Strathfield Section 94A Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council prior to the release of the Construction Certificate.

Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

6. Required Design Changes

The following changes are required to be made and shown on the Construction Certificate plans:

Eastern and Western Elevation	The Eastern and Western Elevations are to be amended and annotated to reflect the correct eastern/western aspects of the development.
Front Fencing	Details including top of column and top of fence RL's, heights, specific colours and materials of any new front fencing approved by this consent is to be incorporated in amended architectural plans. The maximum height of the entire front fence including gates must be 1.5m measured from natural ground level.
Stairwell Window	The entire stairwell window must comprise of frosted glazing to minimise overlooking from this window.
East-facing Windows in Living Room	The east-facing windows in the living room (ground floor) must comprise of frosted glazing to at least 1.6m sill height.
First Floor Balcony	Privacy screens must be installed along the entire eastern and western extent of the first floor balcony. Privacy screens must be 1.6m high, measured from the finished floor level of the balcony.
Ground Floor Balcony	A privacy screen must be installed along the entire western extent of the first floor balcony. This screen must be 1.6m high, measured from the finished floor level of the balcony.
New Trees	The Landscape Plan must be amended to change the species of new trees proposed within the site to at least two (2) different species of trees listed in Strathfield Council's Recommended Tree List that are capable of reaching a mature height of at least 10m.

7. Damage Deposit – Minor Works

In order to insure against damage to Council property the following is required:

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

- (a) Pay Council, before the issue of the Construction Certificate, a damage security deposit for the cost of making good any damage caused to any Council property as a result of the development: \$8,100.00.
- (b) Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where required: \$127.00.
- (c) Submit to Council, before the commencement of work, a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

8. Tree Bond

A tree bond of \$3,000.00 (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A request for refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

9. Site Management Plan – Minor Development

A Site Management Plan detailing all weather access control points, sedimentation controls, waste management plans, fencing, builder's site sheds office, amenities, materials storage and unloading arrangements must be submitted with the application for the Construction Certificate.

10. BASIX Commitments

The approved BASIX Certificate shall be submitted to the Accredited Certifier with the application for a Construction Certificate.

All measures and commitments as detailed in the BASIX Certificate No. A397119 must be implemented on the plans lodged with the application for the Construction Certificate.

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

11. Site Management Plan

Minor Development

A Site Management Plan detailing all weather access control points, sedimentation controls, waste management plans, fencing, builder's site sheds office, amenities, materials storage and unloading arrangements must be submitted with the application for the Construction Certificate.

12. Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

- (a) Compliance with the approved Erosion & Sediment Control Plan
- (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- (c) All clean water run-off is diverted around cleared or exposed areas
- (d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- (e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- (f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- (g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- (h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004](#).

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

13. Stormwater System

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

14. Compliance with Swimming Pool Act 1992

The alterations and additions to the dwelling house and/or the construction of the new dwelling house subject of this consent must not generate any non-compliances with the Swimming Pools Act 1992, Swimming Pool Regulation 2018 and the Building Code of Australia. Details of compliance to be illustrated on the plans lodged with the application for the Construction Certificate.

15. Structural Details

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

Engineer's details prepared by a practising Structural Engineer being used to construct all reinforced concrete work, structural beams, columns & other structural members.

The details are to be submitted to the Principal Certifying Authority for approval prior to construction of the specified works.

A copy shall be forwarded to Council where Council is not the PCA.

16. Engineer's Certificate

A certificate from a professional Engineer specialising in structural engineering certifying the structural adequacy of the existing structure, to support all proposed additional superimposed loads shall be submitted to the Certifying Authority prior to the issue of the Construction Certificate.

17. Tree Removal/Pruning Prohibited

This consent does not approve the removal or pruning (branches or roots) of any trees on the subject property, Council's public footway, public reserves or on neighbouring properties.

18. General Tree Protection Measures

- (a) All trees to be retained shall be protected and maintained during demolition, excavation and construction of the site.
- (b) The tree protection measures must be undertaken in accordance *AS4970 -2009 Protection of trees on development sites*.
- (c) Details of the tree protection measures to be implemented must be provided with the application for a Construction Certificate by a suitably qualified Arborist (AQF Level 5 or above in Arboriculture).
- (d) The Arborist must be present on-site during the stages of construction when works are being undertaken that could impact on the tree canopy or root zone within the tree protection zone to implement the tree protection measures as required.
- (e) Unless otherwise specified in AS 4970-2009, a protective fence consisting of 1.8 metres high, fully supported chainmesh fence shall be erected around the base of the tree. The distance of the fence from the base of each tree is to be in accordance with the TPZ listed in the table above. A layer of organic mulch 100 millimetres thick shall be placed over the protected area and no soil or fill should be placed within the protection area.
- (f) No services shall be installed within the TPZ of the tree unless approved by Council. This fence shall be kept in place during demolition, construction and also have a sign displaying 'Tree Protection Zone' attached to the fence and must also include the name and contact details of the Project Arborist.

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATION)

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

19. Demolition & Asbestos

The demolition work shall comply with the provisions of Australian Standard AS2601:2001 – Demolition of Structures, NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#). The work plans required by AS2601:2001 shall be accompanied by a written statement by a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the safety statement shall be submitted to the PCA prior to the commencement of works.

For demolition work which involves the removal of asbestos, the asbestos removal work must be carried out by a licensed asbestos removalist who is licensed to carry out the work in accordance with the NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#) unless specified in the Act and/or Regulation that a license is not required.

All demolition work including the removal of asbestos, shall be undertaken in accordance with the [Demolition Code of Practice](#) (NSW Work Cover July 2015)

Note: Copies of the Act, Regulation and Code of Practice can be downloaded free of charge from the SafeWork NSW website: www.SafeWork.nsw.gov.au.

20. Demolition Notification Requirements

The following notification requirements apply to this consent:

- (a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.
- (b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Council advising of the demolition date, details of the SafeWork licensed asbestos demolisher and the list of residents advised of the demolition.
- (c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm is to be erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.

21. Demolition Work Involving Asbestos Removal

Work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 458 of the [Work Health and Safety Regulation 2011](#).

22. Dial Before Your Dig

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

DURING CONSTRUCTION

23. Site Sign – Soil & Erosion Control Measures

Prior to the commencement of works (including demolition and excavation), a durable site sign, issued by Council in conjunction with this consent, must be erected in a prominent location on site. The site sign warns of the penalties which apply to pollution, storing materials on road or footpath and breaches of the conditions relating to erosion and sediment controls. The sign must remain in a prominent location on site up until the completion of all site and building works.

24. Hours of Construction for Demolition and Building Work

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays.

No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

25. Ground Levels and Retaining Walls

The ground levels of the site shall not be excavated, raised or filled, or retaining walls constructed on the allotment boundary, except where indicated on approved plans or approved by Council.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

26. BASIX Certificate

All energy efficiency measures as detailed in the approved BASIX Certificate in the plans approved with the Development Consent, must be implemented before issue of any Occupation Certificate.

27. Stormwater Certification of the Constructed Drainage Works (Minor)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

28. Stormwater Drainage Works – Works As Executed

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;
- (b) The structural adequacy of the On-Site Detention system (OSD);
- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

29. Requirements Prior to the Issue of the Occupation Certificate

The following shall be completed and or submitted to the PCA prior to the issue of the Occupation Certificate:

- (a) All the stormwater/drainage works shall be completed in accordance with the approved Construction Certificate plans prior to the issue of the Occupation Certificate.
- (b) Work as Executed Plans prepared by a Chartered Professional Engineer or a Registered Surveyor when all the site engineering works are complete shall be submitted to the PCA prior to the issue of the Occupation Certificate.

30. Stormwater Drainage Works – Works As Executed

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;
- (b) The structural adequacy of the On-Site Detention system (OSD);
- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

Council's Engineering Services section must advise in writing that they are satisfied with the Works- As-Executed prior to the issue of an Occupation Certificate.

OPERATIONAL CONDIITONS (ON-GOING)

31. Swimming Pools – Resuscitation Notice

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

An expired air resuscitation warning notice complying with the [Swimming Pools Act 1992](#) must be affixed in a prominent position adjacent to the pool.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

32. Requirement for a Construction Certificate

The erection of a building must not commence until a Construction Certificate has been issued.

33. Appointment of a PCA

The erection of a building must not commence until the applicant has:

- (a) appointed a PCA for the building work; and
- (b) If relevant, advised the PCA that the work will be undertaken as an Owner -Builder.

If the work is not going to be undertaken by an Owner - Builder, the applicant must:

- (c) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- (d) notify the PCA of the details of any such appointment; and
- (e) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

34. Notification of Critical Stage Inspections

No later than two days before the building work commences, the PCA must notify:

- (a) The consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) The applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

35. Notice of Commencement

The applicant must give at least two days notice to the Council and the PCA of their intention to commence the erection of a building.

36. Critical Stage Inspections

The last critical stage inspection must be undertaken by the PCA. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 162A of the [Environmental Planning and Assessment Regulation 2000](#).

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

37. Notice to be Given Prior to Critical Stage Inspections

The principal contractor for a building site, or the owner-builder, must notify the PCA at least 48 hours before each required inspection needs to be carried out.

38. Occupation Certificate

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS

Prescribed conditions are those which are mandated under Division 8A of the [Environmental Planning and Assessment Regulation 2000](#) and given weight by Section 4.17(11) of the Environmental Planning and Assessment Act 1979.

Detailed below is a summary of all the prescribed conditions which apply to development in New South Wales. Please refer to the full details of the prescribed conditions as in force, at www.legislation.nsw.gov.au.

39. Clause 97A – BASIX Commitments

This Clause requires the fulfilment of all BASIX Commitments as detailed in the BASIX Certificate to which the development relates.

40. Clause 98 – Building Code of Australia & Home Building Act 1989

Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the [Home Building Act 1989](#) relates, there is a requirement for a contract of insurance to be in force before any work commences.

41. Clause 98A – Erection of Signs

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the PCA and the Principal Contractor.

42. Clause 98B – Home Building Act 1989

If the development involves residential building work under the [Home Building Act 1989](#), no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the [Home Building Act 1989](#).

43. Clause 98E – Protection & Support of Adjoining Premises

If the development involves excavation that extends below the level of the base of the footings of a building on adjoining land, this prescribed condition requires the person who benefits from the development consent to protect and support the adjoining premises and where necessary underpin the adjoining premises to prevent any damage.

44. Clause 98E – Site Excavation

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

Excavation of the site is to extend only to that area required for building works depicted upon the approved plans. All excess excavated material shall be removed from the site.

All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.

All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.

If the soil conditions require it, retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil shall be provided and adequate provision shall be made for drainage

ADVICES

45. Access to NSW Legislations (Acts, Regulations and Planning Instruments)

NSW legislation can be accessed free of charge at www.legislation.nsw.gov.au

46. Long Service Levy

The Long Service Corporation administers a scheme which provides a portable long service benefit for eligible workers in the building and construction industry in NSW. All benefits and requirements are determined by the Building and Construction Industry Long Service Payments Act 1986. More information about the scheme and the levy amount you are required to pay to satisfy a condition of your consent can be found at <http://www.longservice.nsw.gov.au>.

The required Long Service Levy payment can be direct to the Long Service Corporation via their web site <https://online.longservice.nsw.gov.au/bci/levy>. Payments can only be processed on-line for the full levy owing and where the value of work is between \$25,000 and \$6,000,000. Payments will be accepted for amounts up to \$21,000, using either MasterCard or Visa.

47. Site Safety Fencing

Site fencing must be erected in accordance with SafeWork Guidelines, to exclude public access to the site throughout the demolition and/or construction work, except in the case of alterations to an occupied dwelling. The fencing must be erected before the commencement of any work and maintained throughout any demolition and construction work.

A demolition licence and/or a high risk work license may be required from SafeWork NSW (see www.SafeWork.nsw.gov.au).

48. Register your Swimming Pool

All swimming pools in NSW are required to be registered. Fines apply for pools that are not registered. To register please visit: www.swimmingpoolregister.nsw.gov.au

49. Noise

Council will generally enforce noise related conditions in accordance with the *Noise Guide for Local Government* (<http://www.environment.nsw.gov.au/noise/nglg.htm>) and the *Industrial Noise Guidelines* (<http://www.environment.nsw.gov.au/noise/industrial.htm>) publish by the Department of Environment and Conservation. Other state government authorities also regulate the Protection of the Environment Operations Act 1997.

DA2020/235 - 55 Oxford Road, Strathfield
Lot 1 DP 1251201 (Cont'd)

Useful links relating to Noise:

- a) Community Justice Centres—free mediation service provided by the NSW Government (www.cjc.nsw.gov.au).
- b) Department of Environment and Conservation NSW, Noise Policy Section web page (www.environment.nsw.gov.au/noise).
- c) New South Wales Government Legislation home page for access to all NSW legislation, including the *Protection of the Environment Operations Act 1997* and the *Protection of the Environment Noise Control Regulation 2000* (www.legislation.nsw.gov.au).
- d) Australian Acoustical Society—professional society of noise-related professionals (www.acoustics.asn.au/index.php).
- e) Association of Australian Acoustical Consultants—professional society of noise related professionals (www.aaac.org.au).
- f) Department of Gaming and Racing - (www.dgr.nsw.gov.au).

ATTACHMENTS

1. Architectural Plans
2. Landscape Plans
3. Stormwater Plans
4. Waste Management Plan
5. BASIX Certificate



t: (02) 8091 5511
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 8d / 277 lane cove road, macquarie park NSW 2113

DEVELOPMENT APPLICATION

PROPOSED RESIDENTIAL ADDITION / ALTERATION
 55 Oxford Road, Strathfield
 ISSUE (A4)

PLANNING SUMMARY

SITE AREA: 774.5m²

REQUIREMENTS	CONTROL	PROPOSED	COMPLIANCE
DCP	STRATHFIELD DCP 2005		
ZONING	R2: LOW DENSITY RESIDENTIAL		
FSR	SITE AREA: 700-799 m ² MAX. FSR = 0.575 : 1 = 445.3 m ²	LOWER GROUND LEVEL = APPROX. 102.5 m ² GROUND LEVEL = APPROX. 184.0 m ² LEVEL 1 = APPROX. 158.3 m ² TOTAL = APPROX. 444.8 m ² NOTE: INTERNAL EXTENSION WAS PROPOSED WITHIN EXISTING BUILDING FOOTPRINT.	✓
LANDSCAPE AREA	MIN. 43% OF THE SITE = 333.035 m ² EX. LANDSCAPE AREA = 211.649 m ²	UNCHANGED	N/A
HEIGHT OF BUILDING	9.5m	UNCHANGED	N/A
FRONT SETBACK	MIN. 9m	APPROX. 9m (EXISTING - NOT CHANGED)	✓
REAR SETBACK	MIN. 6m	APPROX. 22.1m (EXISTING - NOT CHANGED)	✓
SIDE SETBACK	MIN. 1.2m	APPROX. 1.5m / 1.3m (EXISTING - NOT CHANGED)	✓
PRIVATE OPEN SPACE	MIN. 10 m ²	APPROX. 320 m ² (EXISTING - NOT CHANGED)	✓

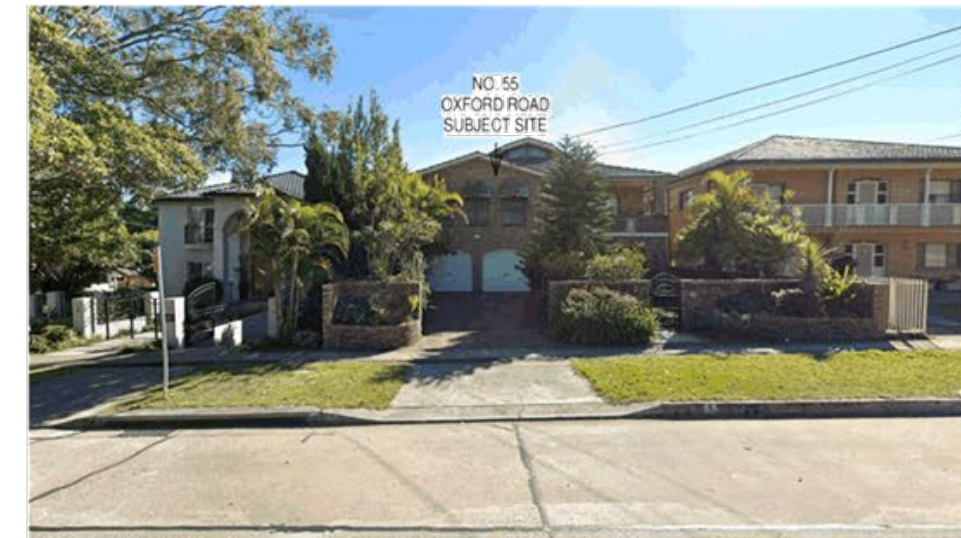
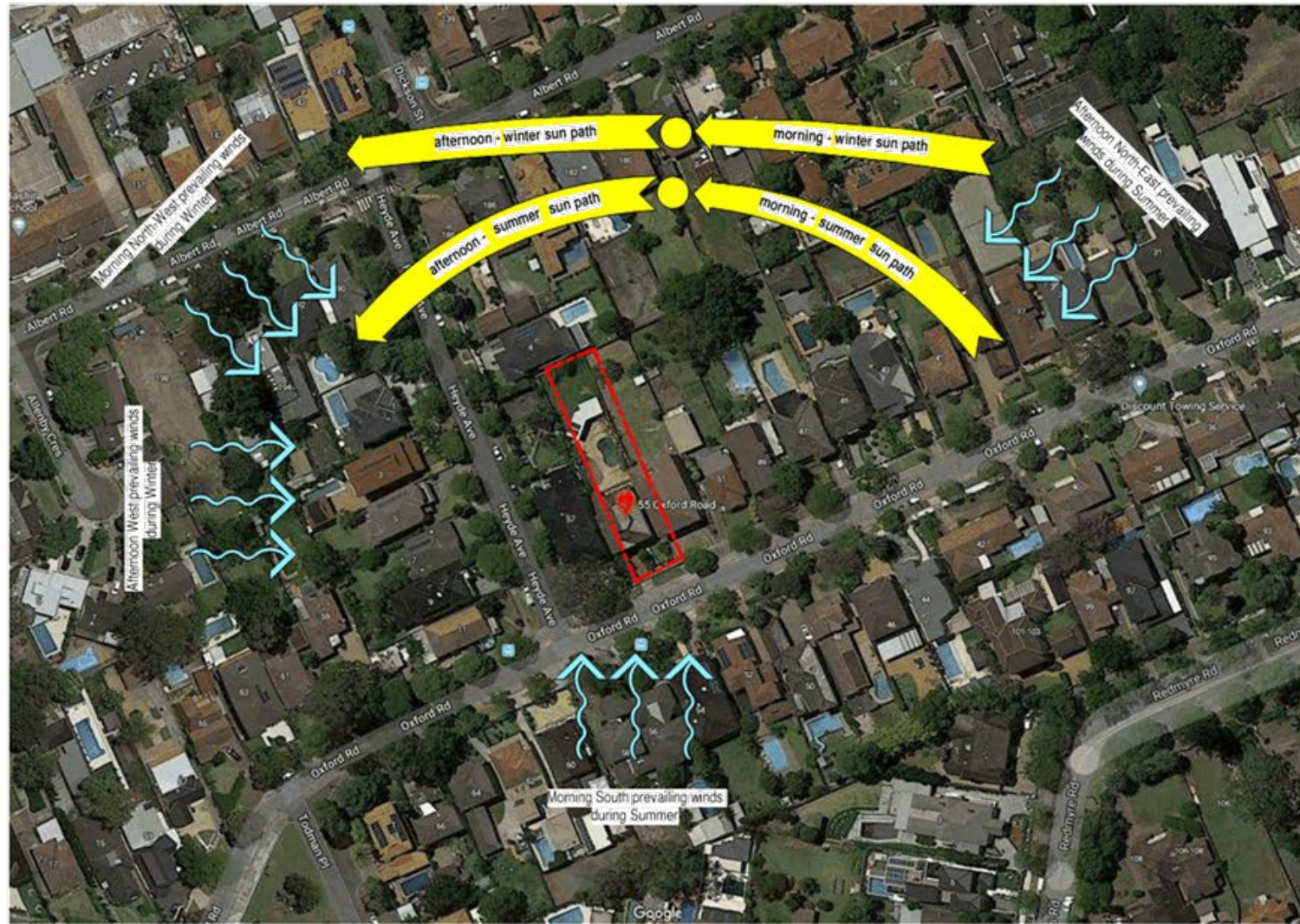
DRAWING LIST

NO.	DRAWING NAME
A 0.00	COVER
A 0.01	SITE ANALYSIS
A 1.00	PLAN - SITE/ROOF
A 1.01	PLAN - LOWER GROUND LEVEL
A 1.02	PLAN - GROUND LEVEL
A 1.03	PLAN - LEVEL 1
A 2.00	ELEVATION - NORTH
A 2.01	ELEVATION - SOUTH
A 2.02	ELEVATION - WEST
A 2.03	ELEVATION - EAST
A 3.00	SECTION - LONG SECTION
A 3.01	SECTION - SHORT SECTION
A 5.00	SHADOW STUDY 21ST JUNE
A 5.01	SHADOW STUDY 21ST DECEMBER
A 6.00	SCHEDULE OF MATERIALS & FINISHES
A 7.00	DIAGRAM - FSR CALCULATION - EXISTING
A 7.01	DIAGRAM - FSR CALCULATION - PROPOSAL
A 7.02	DIAGRAM - REAR BUILDING LINE RELATION

**STRATHFIELD COUNCIL
 RECEIVED**

**DA2020/235
 18 May 2021**

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION



SUBJECT SITE

Legend:

Site location

Note:
REFER TO GROUND FLOOR PLAN AND SURVEY DRAWINGS FOR DIMENSIONS AND BEARINGS

**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**

STREETSCAPE



STREETSCAPE 1



STREETSCAPE 2



STREETSCAPE 3

ARCHITECTS
mo
MA

t: (02) 8056 7464
w: www.themoma.com.au
e: info@themoma.com.au
a: suite 20, 33 Waterloo rd, Macquarie Park NSW 2113

Nominated Architects
Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

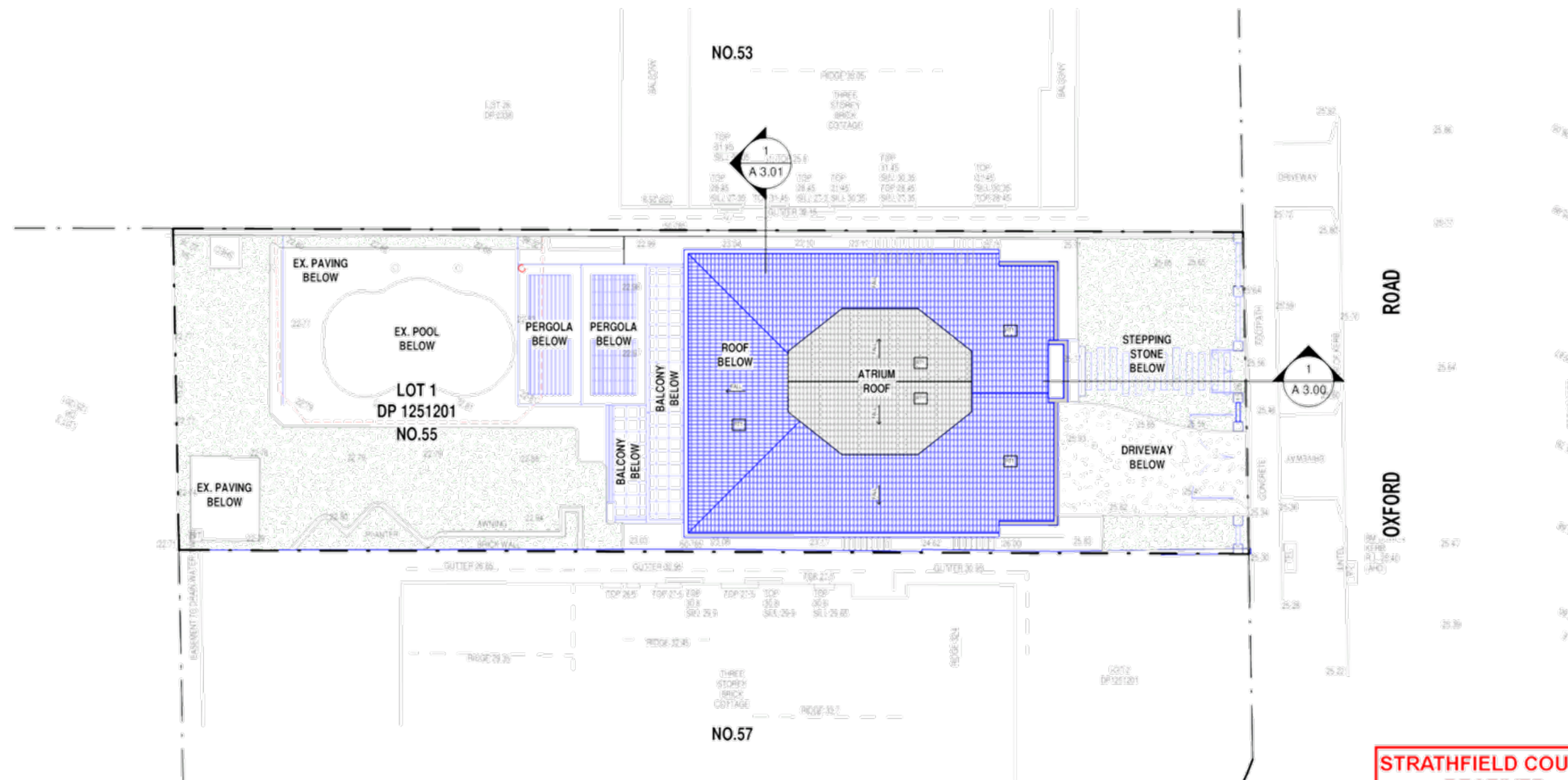
Client Name
Lab Strathfield Pty Ltd

Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SET-OUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

Drawing Title
SITE ANALYSIS

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1 : 10 @A3	A 0.01	DA	A4



1 PLAN - SITE/ROOF
1 : 200

**STRATHFIELD COUNCIL
RECEIVED**

DA2020/235
18 May 2021

Legend:

	TO BE DEMOLISHED
	SLAB INFILL TO MATCH LEVEL
	EXISTING WALL
	PROPOSED WALL
	PROPOSED FITTINGS



t: (02) 8056 7464
w: www.themoma.com.au
e: info@themoma.com.au
a: suite 20, 33 waterloo rd, macquarie park nsw 2113
Nominated Architects
Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

Client Name
Lab Strathfield Pty Ltd

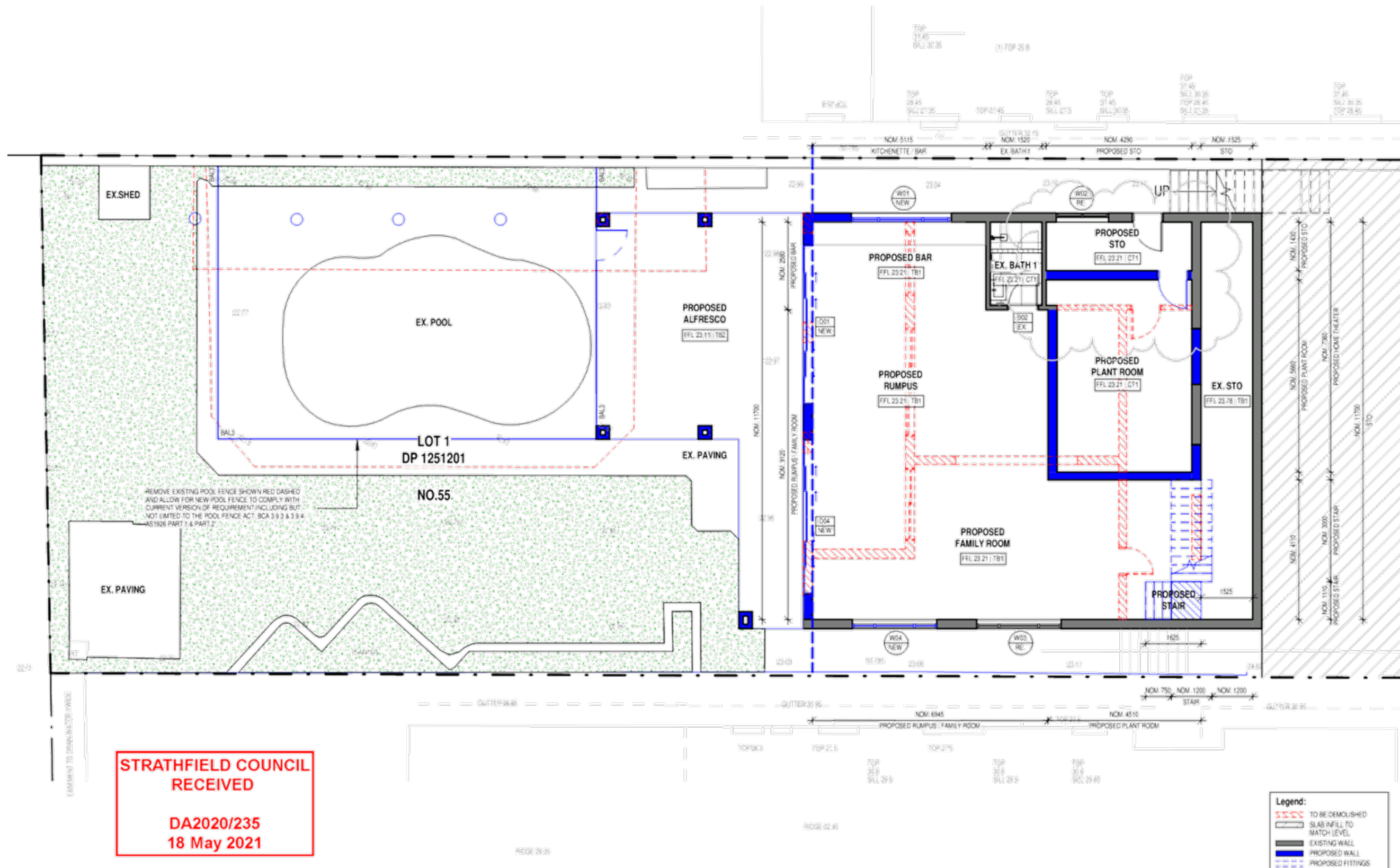
Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.



Drawing Title
PLAN - SITE/ROOF

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	As indicated	A 1.00	DA	A4



ARCHITECTS
mo
MA
 t: (02) 8056 7464
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 20, 33 waterloo rd, macquarie park nsw 2113
 Nominated Architects
 Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

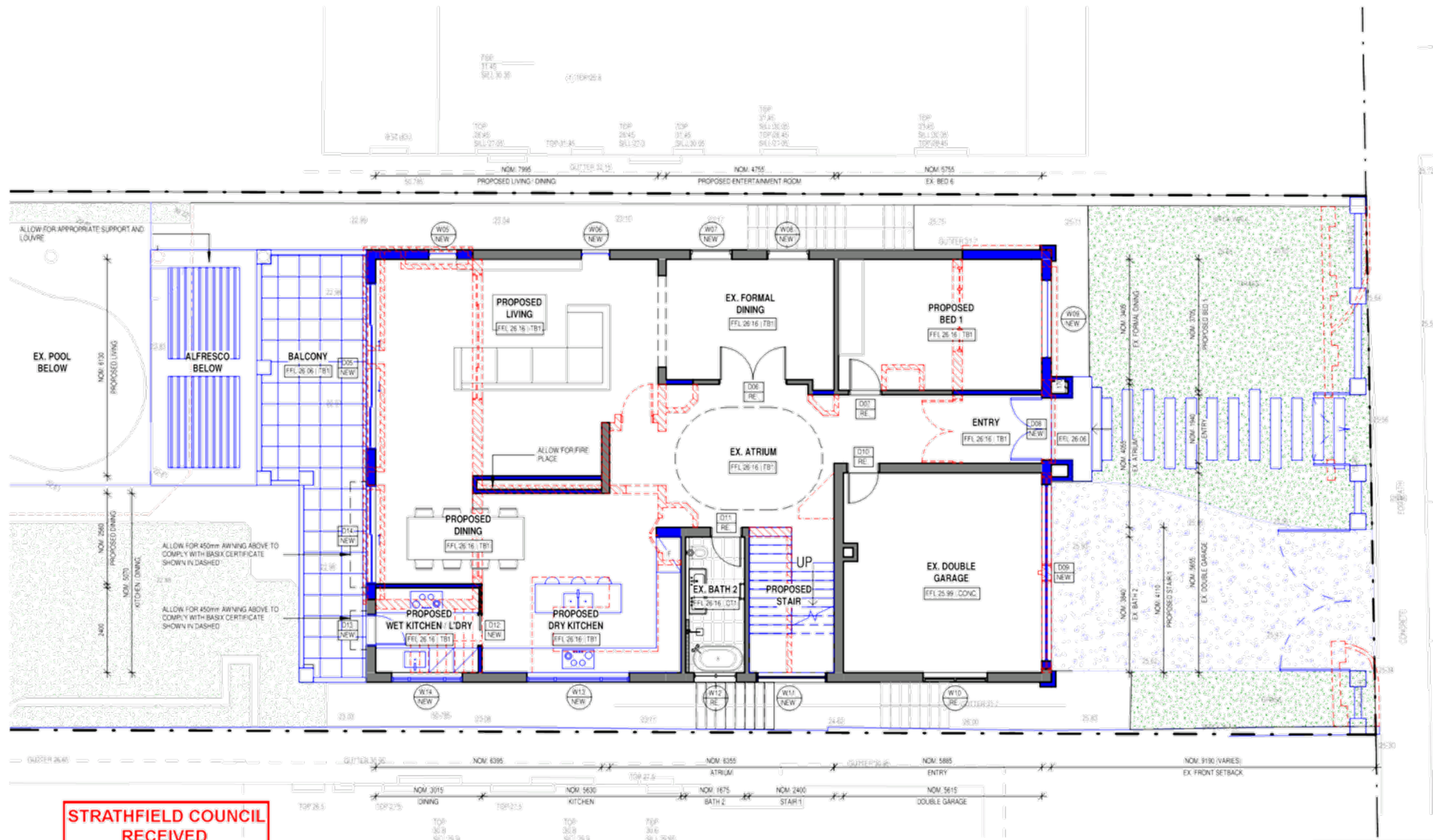
Client Name
Lab Strathfield Pty Ltd
 Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SET-OUT, WORK ORDER, MANUFACTURE OF ANY ITEM.
 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.



Drawing Title
PLAN - LOWER GROUND LEVEL

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1:100@A3	A 1.01	DA	A4



STRATHFIELD COUNCIL RECEIVED

DA2020/235
18 May 2021

Legend:

- TO BE DEMOLISHED
- SLAB INFILL TO MATCH LEVEL
- EXISTING WALL
- PROPOSED WALL
- PROPOSED FITTINGS

ARCHITECTS
moMA

t: (02) 8056 7464
w: www.themoma.com.au
e: info@themoma.com.au
a: suite 20, 33 waterloo rd, macquarie park nsw 2113

Nominated Architects
Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

Client Name
Lab Strathfield Pty Ltd

Project Name
55 Oxford Road, Strathfield

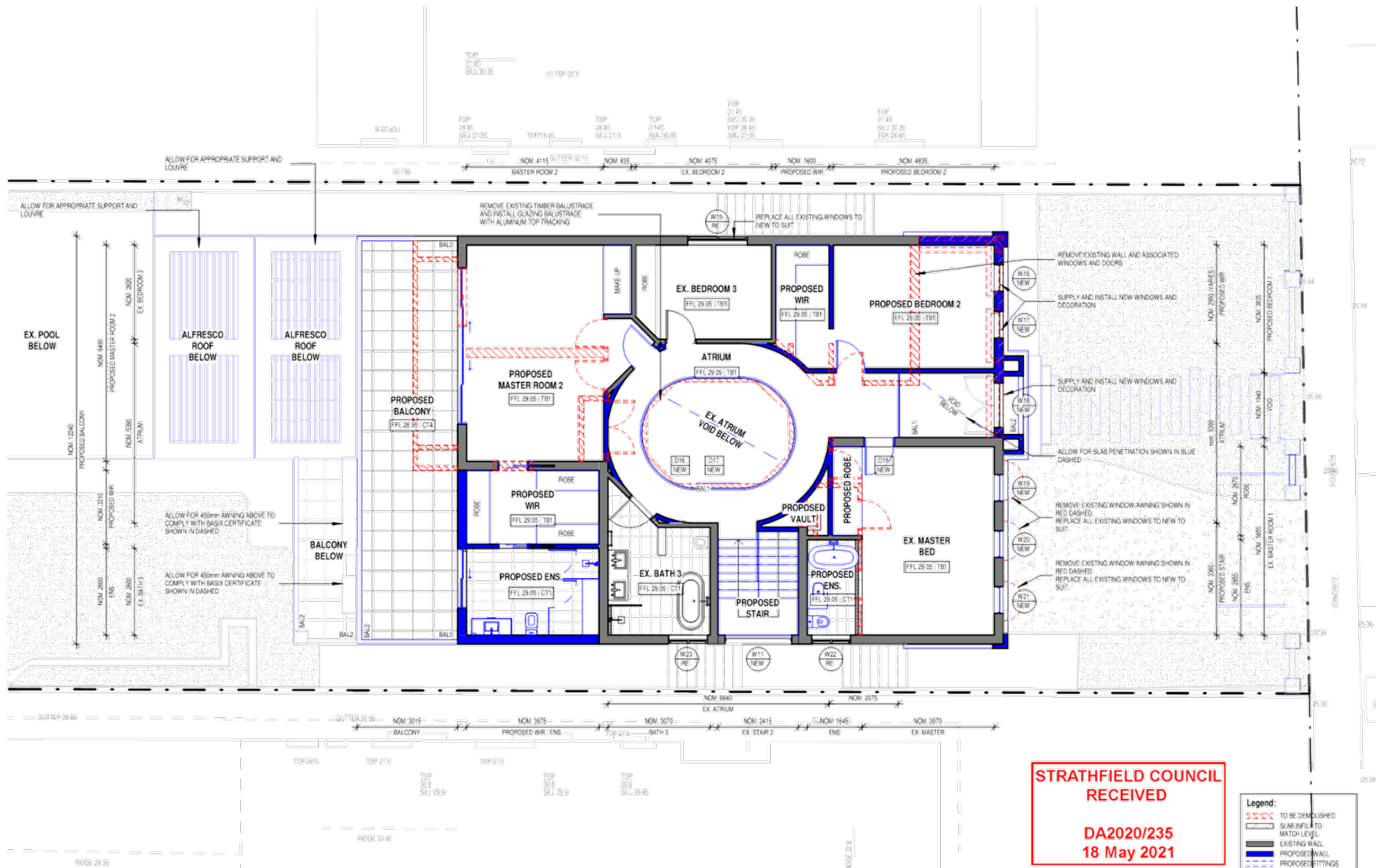
DISCLAIMER:

1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK ORDER, MANUFACTURE OF ANY ITEM.
3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.



Drawing Title
PLAN - GROUND LEVEL

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1:100@A3	A 1.02	DA	A4



t: (02) 8056 7464
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 20, 33 waterloo rd, macquarie park nsw 2113
 Nominated Architects
 Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

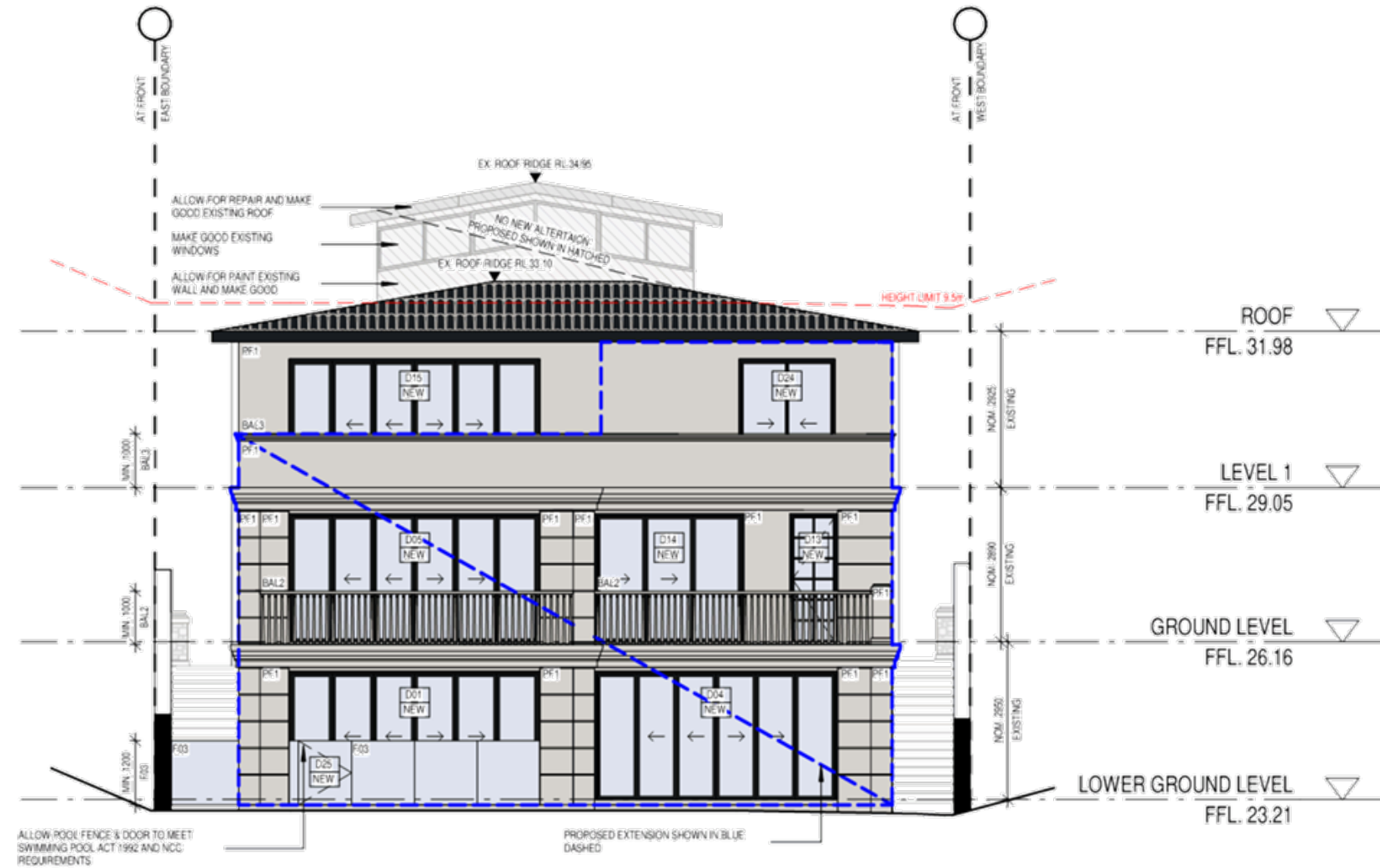
Client Name
Lab Strathfield Pty Ltd
 Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.



Drawing Title
PLAN - LEVEL 1

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1:100@A3	A 1.03	DA	A4



**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**



t: (02) 8056 7464
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 20, 33 waterloo rd, macquarie park nsw 2113
 Nominated Architects
 Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

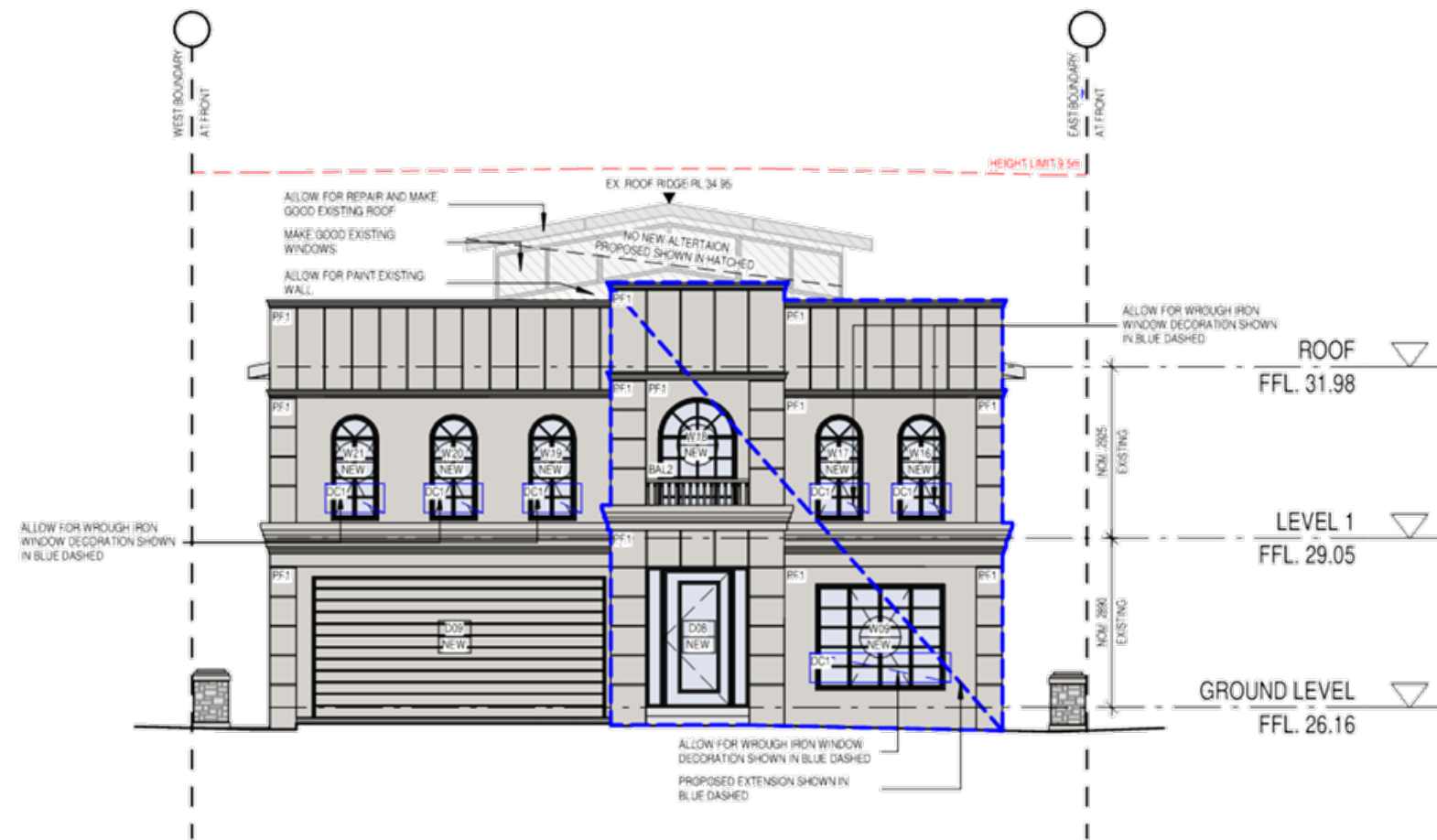
Client Name
Lab Strathfield Pty Ltd
 Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION

Drawing Title
ELEVATION - NORTH

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1:100@A3	A 2.00	DA	A4



**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**



t: (02) 8056 7464
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 20, 33 waterloo rd, macquarie park nsw 2113

Nominated Architects
 Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

Client Name
Lab Strathfield Pty Ltd

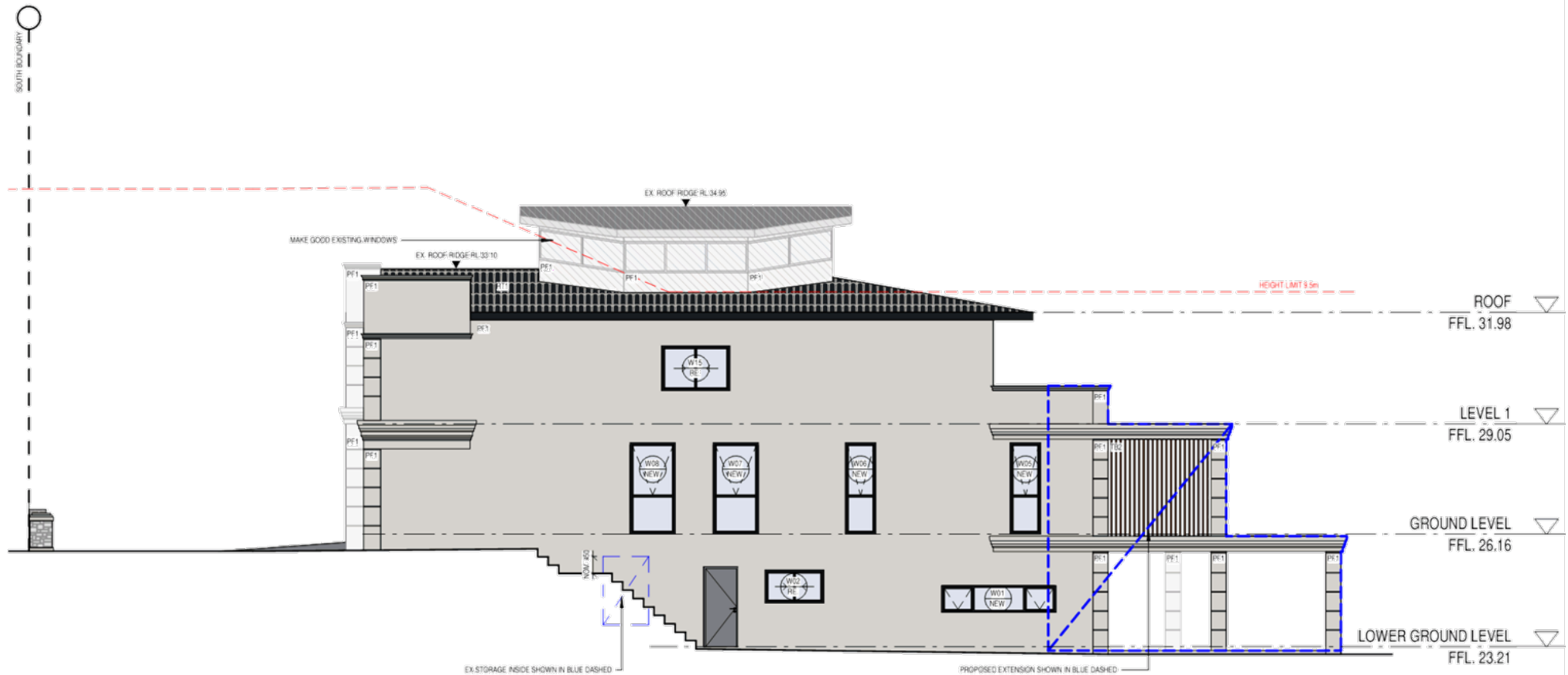
Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION

Drawing Title
ELEVATION - SOUTH

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1 : 100@A3	A 2.01	DA	A4



**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**



t: (02) 8056 7464
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 20, 33 waterloo rd, macquarie park nsw 2113
 Nominated Architects
 Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

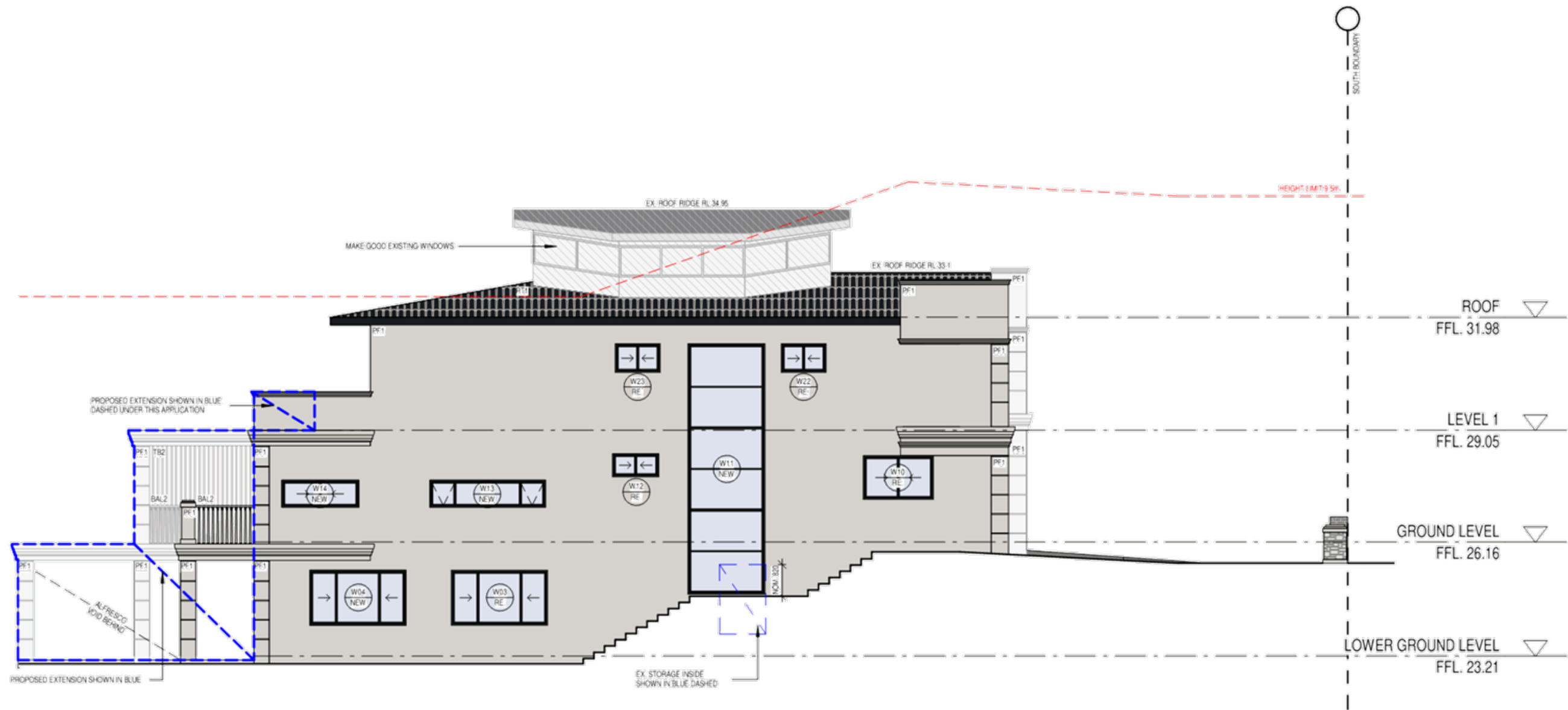
Client Name
Lab Strathfield Pty Ltd
 Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION

Drawing Title
ELEVATION - WEST

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1 : 100@A3	A 2.02	DA	A4



**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**



t: (02) 8056 7464
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 20, 33 waterloo rd, macquarie park nsw 2113
 Nominated Architects
 Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

Client Name
Lab Strathfield Pty Ltd

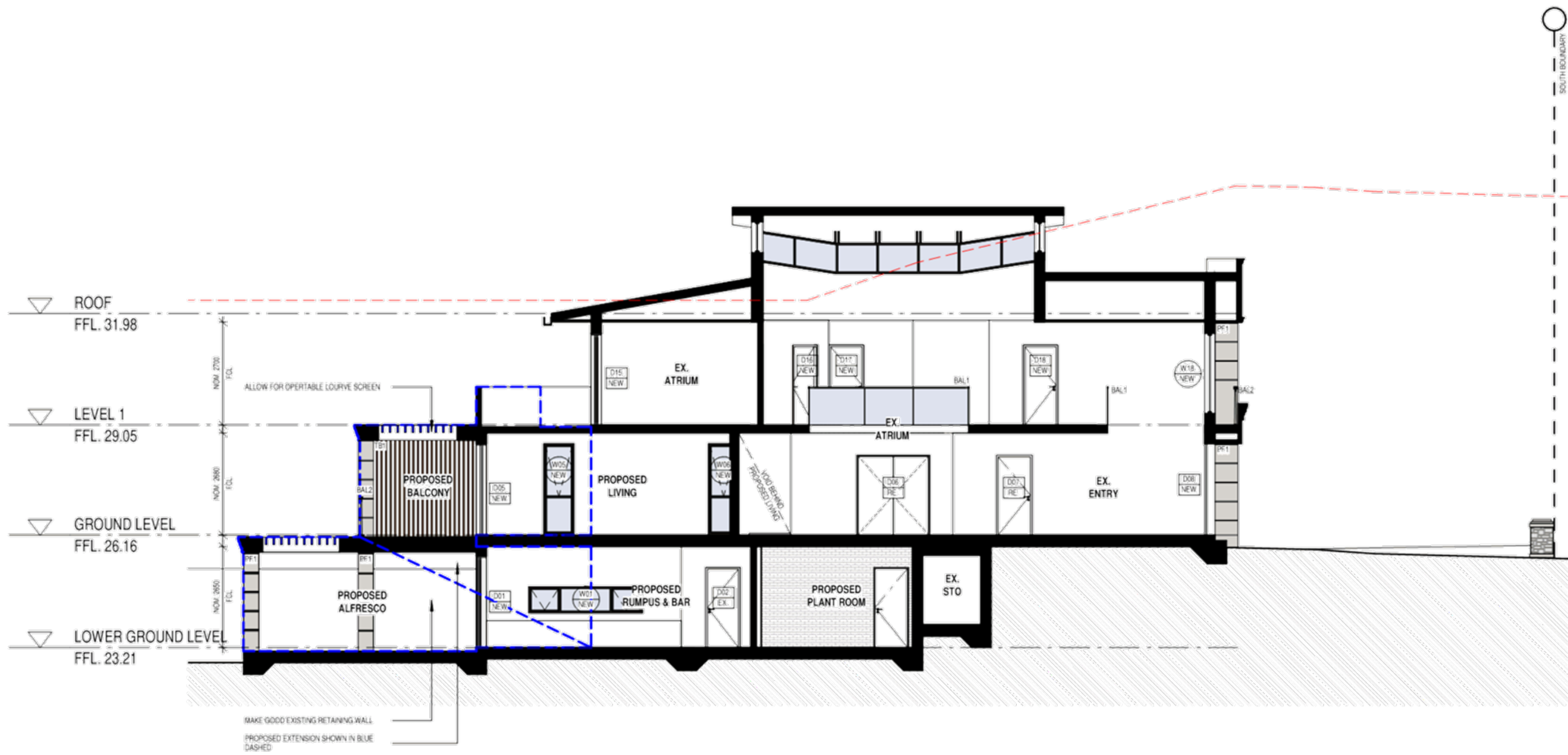
 Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK ORDER, MANUFACTURE OF ANY ITEM.
 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION

Drawing Title
ELEVATION - EAST

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1:100@A3	A 2.03	DA	A4



**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**

	t: (02) 8056 7464 w: www.themoma.com.au e: info@themoma.com.au a: suite 20, 33 waterloo rd, macquarie park nsw 2113	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Issue</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>ISSUE FOR DA SUBMISSION</td> <td>01/12/2020</td> </tr> <tr> <td>A1</td> <td>ISSUE FOR RFI</td> <td>02/03/2021</td> </tr> <tr> <td>A2</td> <td>ISSUE FOR RFI</td> <td>03/03/2021</td> </tr> <tr> <td>A3</td> <td>ISSUE FOR RFI</td> <td>10/05/2021</td> </tr> <tr> <td>A4</td> <td>ISSUE FOR RFI</td> <td>18/05/2021</td> </tr> </tbody> </table>	Issue	Description	Date	A	ISSUE FOR DA SUBMISSION	01/12/2020	A1	ISSUE FOR RFI	02/03/2021	A2	ISSUE FOR RFI	03/03/2021	A3	ISSUE FOR RFI	10/05/2021	A4	ISSUE FOR RFI	18/05/2021	Client Name Lab Strathfield Pty Ltd Project Name 55 Oxford Road, Strathfield	DISCLAIMER: 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY. 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM. 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.	Drawing Title SECTION - LONG SECTION <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Job No.</th> <th>Scale</th> <th>Drawing No.</th> <th>Stage</th> <th>ISSUE</th> </tr> </thead> <tbody> <tr> <td>A20037</td> <td>1:100@A3</td> <td>A 3.00</td> <td>DA</td> <td>A4</td> </tr> </tbody> </table>	Job No.	Scale	Drawing No.	Stage	ISSUE	A20037	1:100@A3	A 3.00	DA	A4
	Issue	Description	Date																														
A	ISSUE FOR DA SUBMISSION	01/12/2020																															
A1	ISSUE FOR RFI	02/03/2021																															
A2	ISSUE FOR RFI	03/03/2021																															
A3	ISSUE FOR RFI	10/05/2021																															
A4	ISSUE FOR RFI	18/05/2021																															
Job No.	Scale	Drawing No.	Stage	ISSUE																													
A20037	1:100@A3	A 3.00	DA	A4																													
Nominated Architects Henry Huang NSW.8992 Eric Kim NSW.9185																																	



**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**



t: (02) 8056 7464
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 20, 33 waterloo rd, macquarie park nsw 2113
 Nominated Architects
 Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

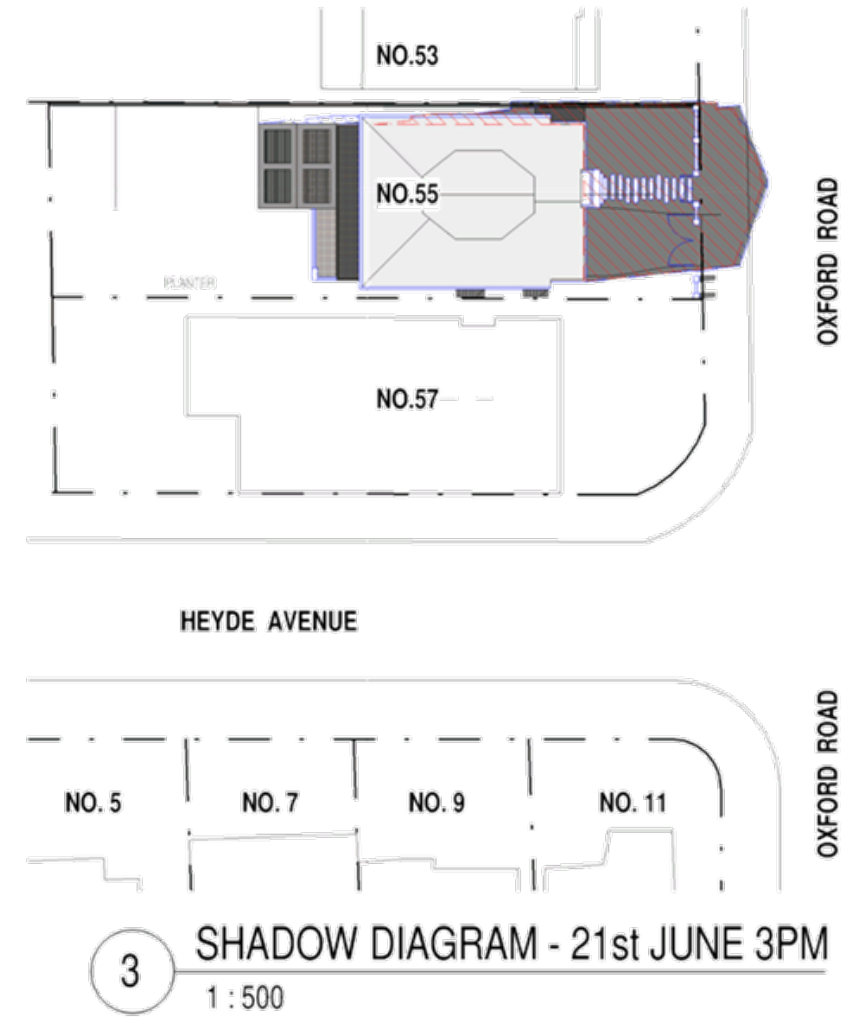
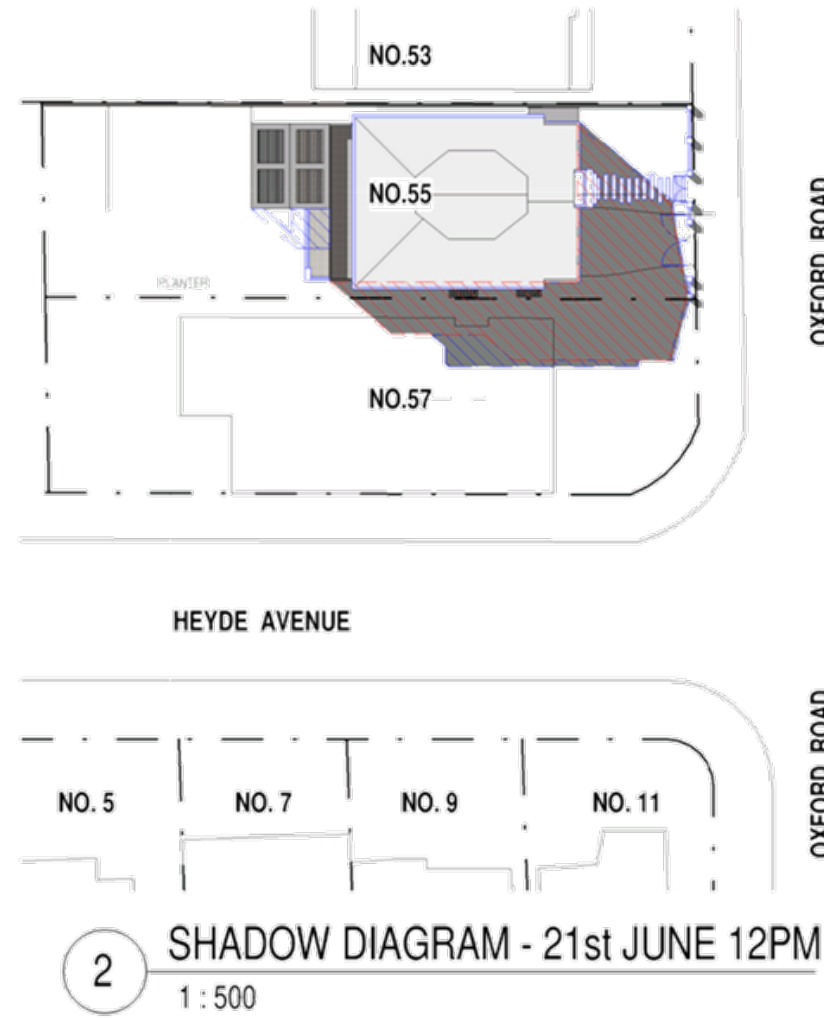
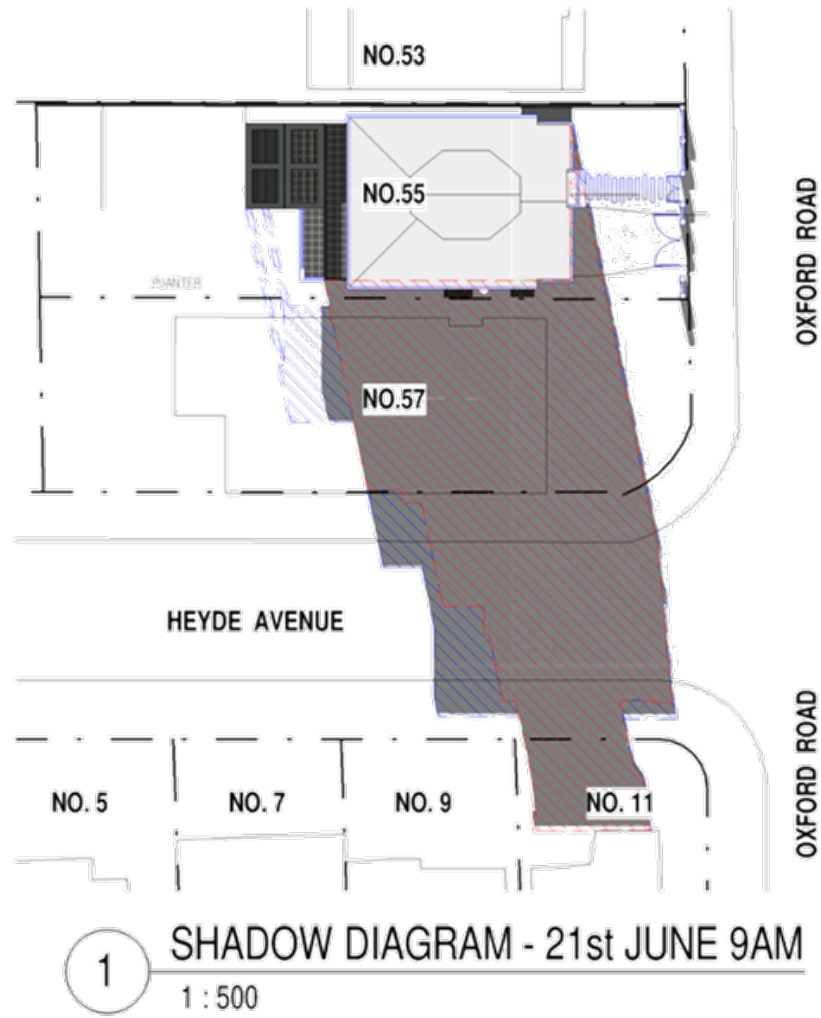
Client Name
Lab Strathfield Pty Ltd
 Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

FOR INFORMATION ONLY
 NOT FOR CONSTRUCTION

Drawing Title
SECTION - SHORT SECTION

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1:100@A3	A 3.01	DA	A4



**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**

Legend:
 EXISTING SHADOW
 SHADOW CREATED BY NEW ADDITION AND ALTERATION



t: (02) 8056 7464
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 20, 33 waterloo rd, macquarie park nsw 2113
 Nominated Architects
 Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

Client Name
Lab Strathfield Pty Ltd

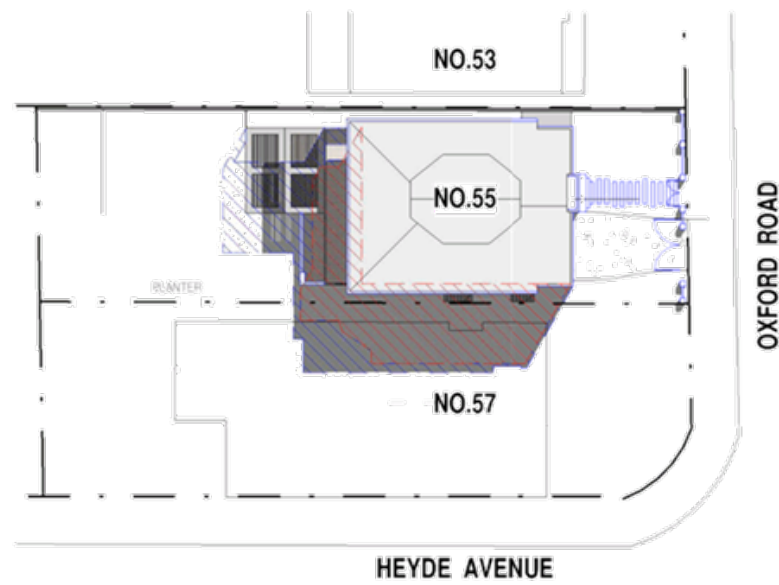
Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

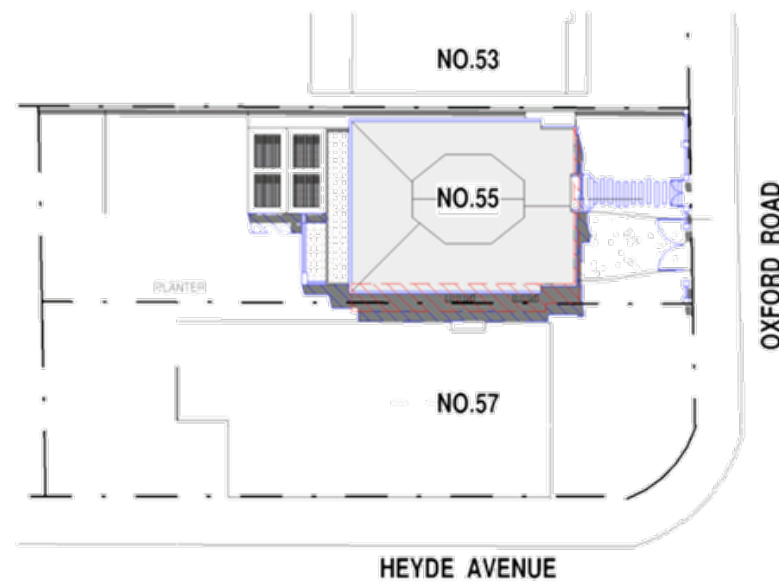


Drawing Title
SHADOW STUDY 21ST JUNE

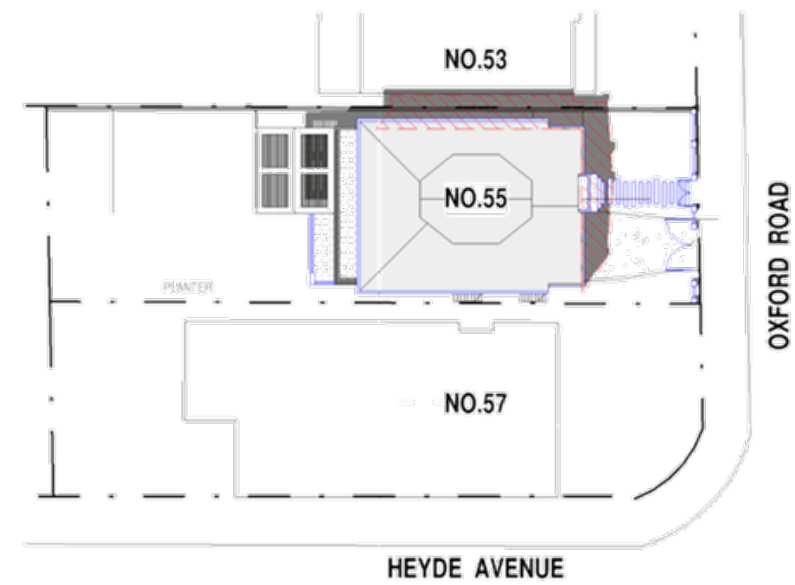
Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	As indicated	A 5.00	DA	A4



1 SHADOW DIAGRAM - 21st DECEMBER 9AM
1 : 500



2 SHADOW DIAGRAM - 21st DECEMBER 12PM
1 : 500



3 SHADOW DIAGRAM - 21st DECEMBER 3PM
1 : 500

**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**

ARCHITECTS
mo
MA
 t: (02) 8056 7464
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 20, 33 waterloo rd, macquarie park nsw 2113
 Nominated Architects
 Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

Client Name
Lab Strathfield Pty Ltd

 Project Name
55 Oxford Road, Strathfield

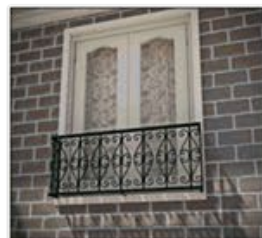
DISCLAIMER:
 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MO MA PTY LTD.



Drawing Title SHADOW STUDY 21ST DECEMBER				
Job No. A20037	Scale 1 : 500@A3	Drawing No. A 5.01	Stage DA	ISSUE A4



PF1
PAINT FINISH (BEIGE)



DC1
WROUGHT IRON DECORATION



RT1
ROOF TILE



RD1
GARAGE/ROLLER DOOR

**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**



t: (02) 8056 7464
w: www.themoma.com.au
e: info@themoma.com.au
a: suite 20, 33 waterloo rd, macquarie park nsw 2113
Nominated Architects
Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

Client Name
Lab Strathfield Pty Ltd

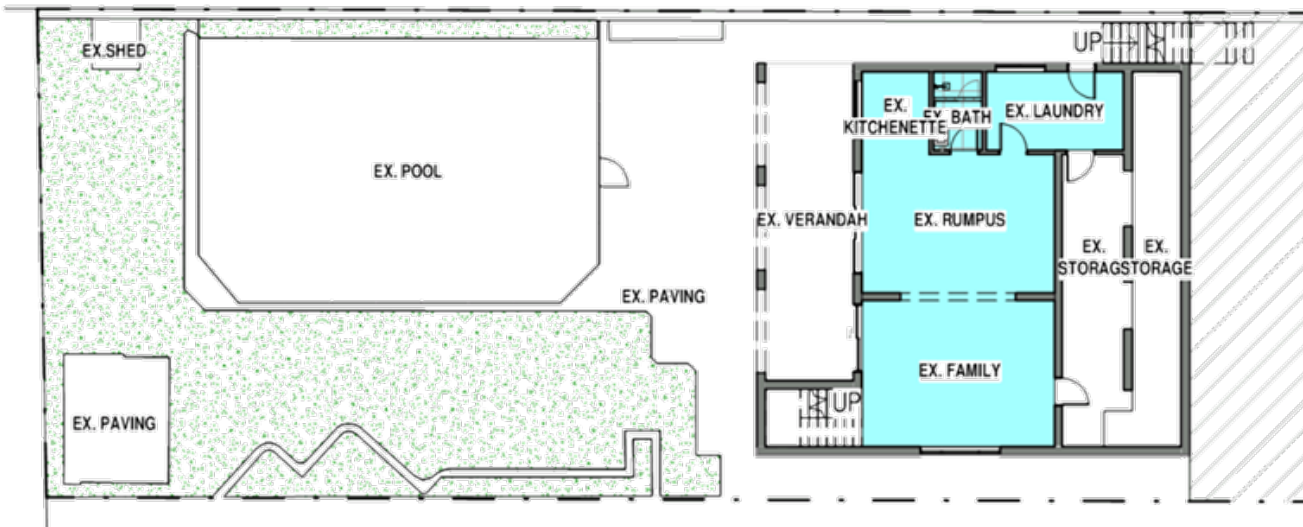
Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

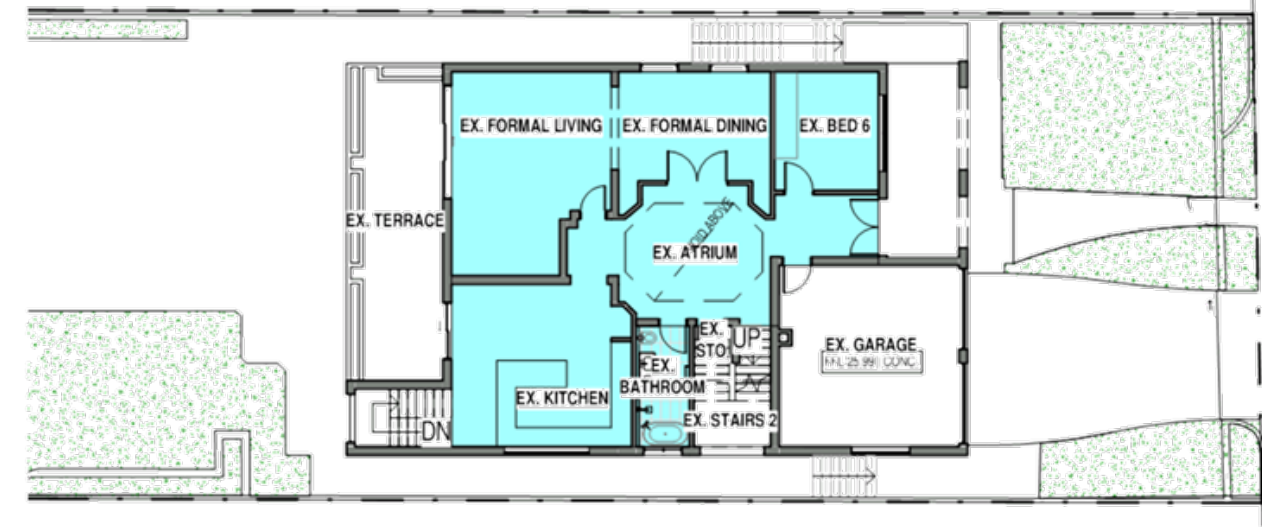
FOR INFORMATION ONLY
NOT FOR CONSTRUCTION

Drawing Title
SCHEDULE OF MATERIALS & FINISHES

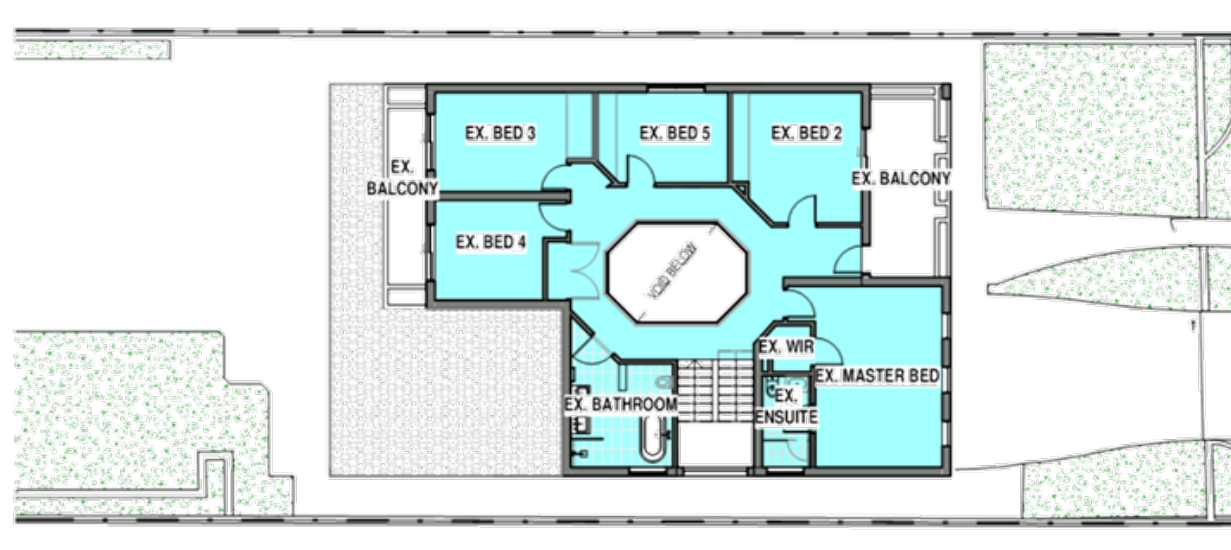
Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1:50 @A3	A 6.00	DA	A4



1 EXISTING - LOWER GROUND LEVEL
1 : 200



2 EXISTING - GROUND LEVEL
1 : 200



3 EXISTING - LEVEL 1
1 : 200

GFA SUMMARY (ORIGINAL)

STRATHFIELD LEP 2012 REQUIREMENTS:

SITE AREA: 774.5 SQM
FSR: 700-799SQM = 0.575 : 1
MAX GFA: 445.3 SQM

EXISTING GROSS FLOOR AREA

LOWER GROUND LEVEL: 75.7 SQM
GROUND LEVEL: 128.4 SQM
LEVEL 1: 128.6 SQM

TOTAL EXISTING GFA: 332.7 SQM

**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**



t: (02) 8056 7464
w: www.themoma.com.au
e: info@themoma.com.au
a: suite 20, 33 waterloo rd, macquarie park nsw 2113
Nominated Architects
Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

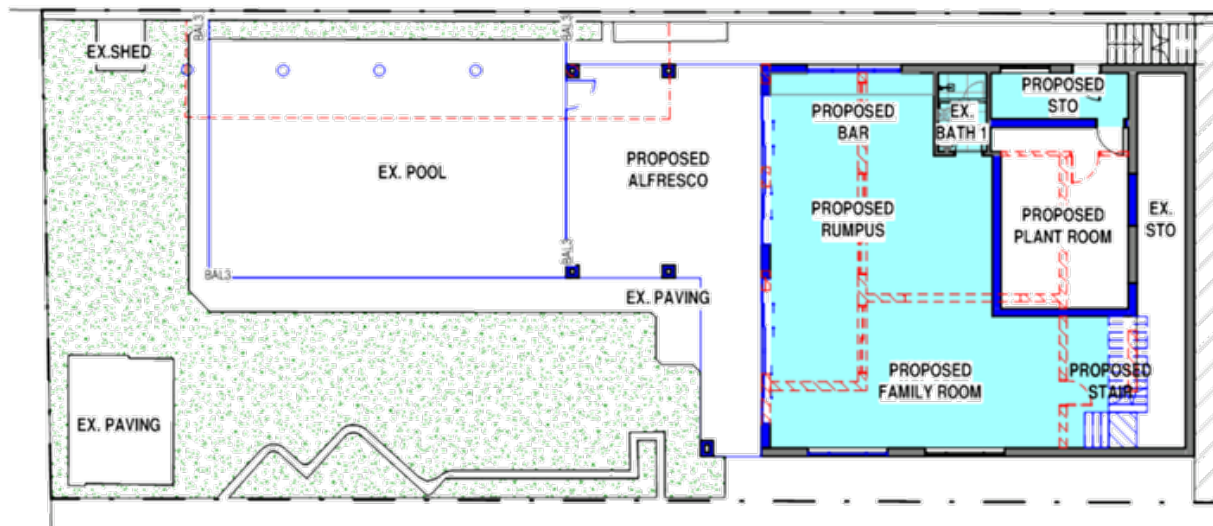
Client Name
Lab Strathfield Pty Ltd
Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK ORDER, MANUFACTURE OF ANY ITEM.
3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

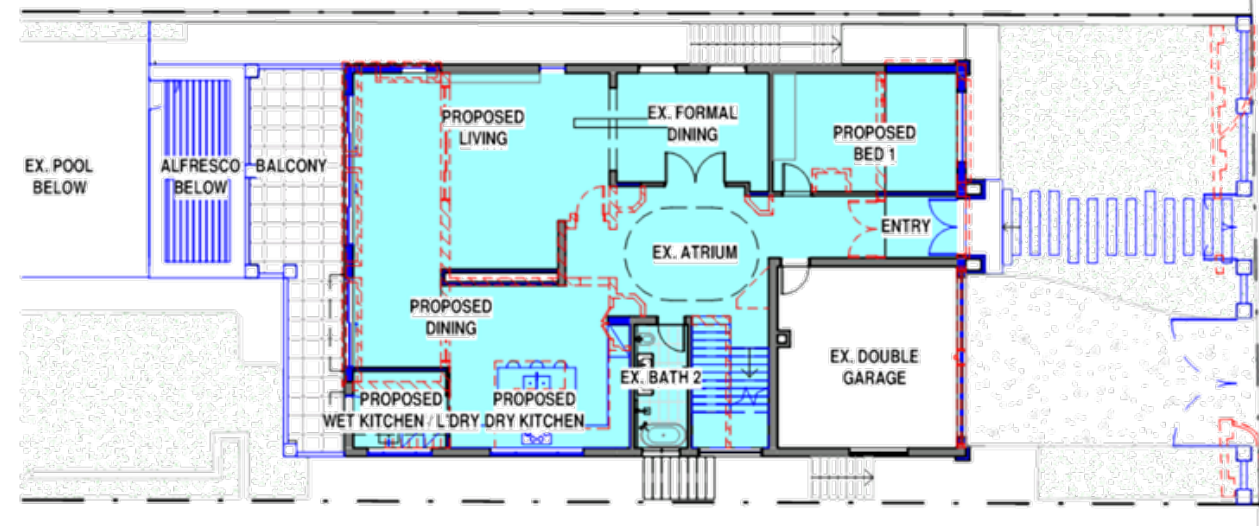
FOR INFORMATION ONLY
NOT FOR CONSTRUCTION

Drawing Title
DIAGRAM - FSR CALCULATION - EXISTING

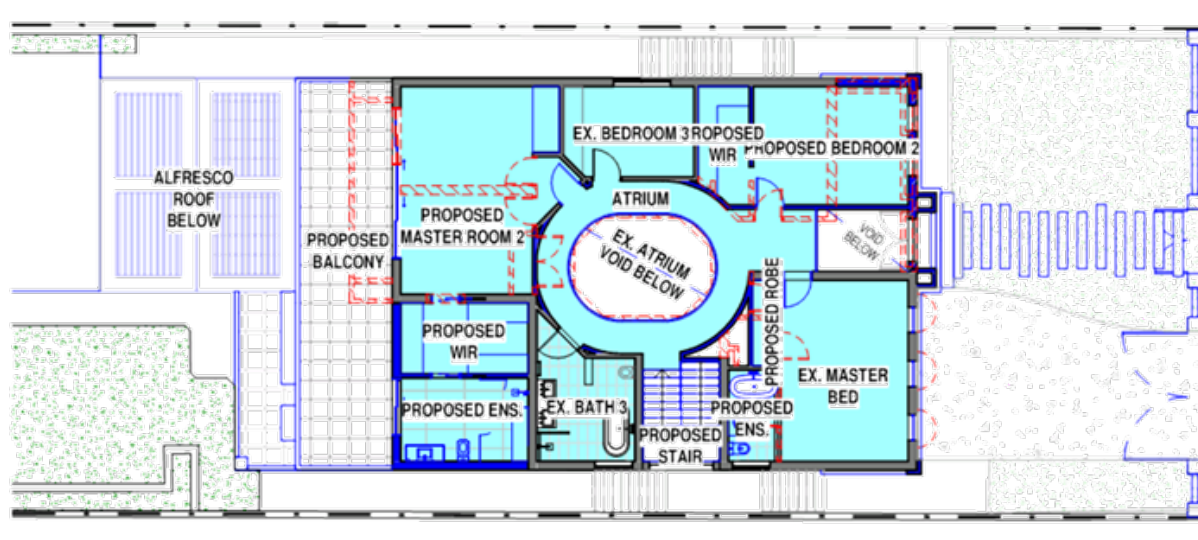
Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1 : 200@A3	A 7.00	DA	A4



1 PROPOSED - LOWER GROUND LEVEL
1 : 200



2 PROPOSED - GROUND LEVEL
1 : 200



3 PROPOSED - LEVEL 1
1 : 200

GFA SUMMARY (PROPOSAL)

STRATHFIELD LEP 2012 REQUIREMENTS:

SITE AREA: 774.5 SQM
FSR: 700-799SQM = 0.575 :1
MAX GFA: 445.3 SQM

PROPOSED GROSS FLOOR AREA

LOWER GROUND LEVEL: 102.5 SQM
GROUND LEVEL: 184 SQM
LEVEL 1: 158.3 SQM

TOTAL PROPOSED GFA: 444.8 SQM

**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**

Legend:
GFA AREA



t: (02) 8056 7464
w: www.themoma.com.au
e: info@themoma.com.au
a: suite 20, 33 waterloo rd, macquarie park nsw 2113
Nominated Architects
Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

Client Name
Lab Strathfield Pty Ltd

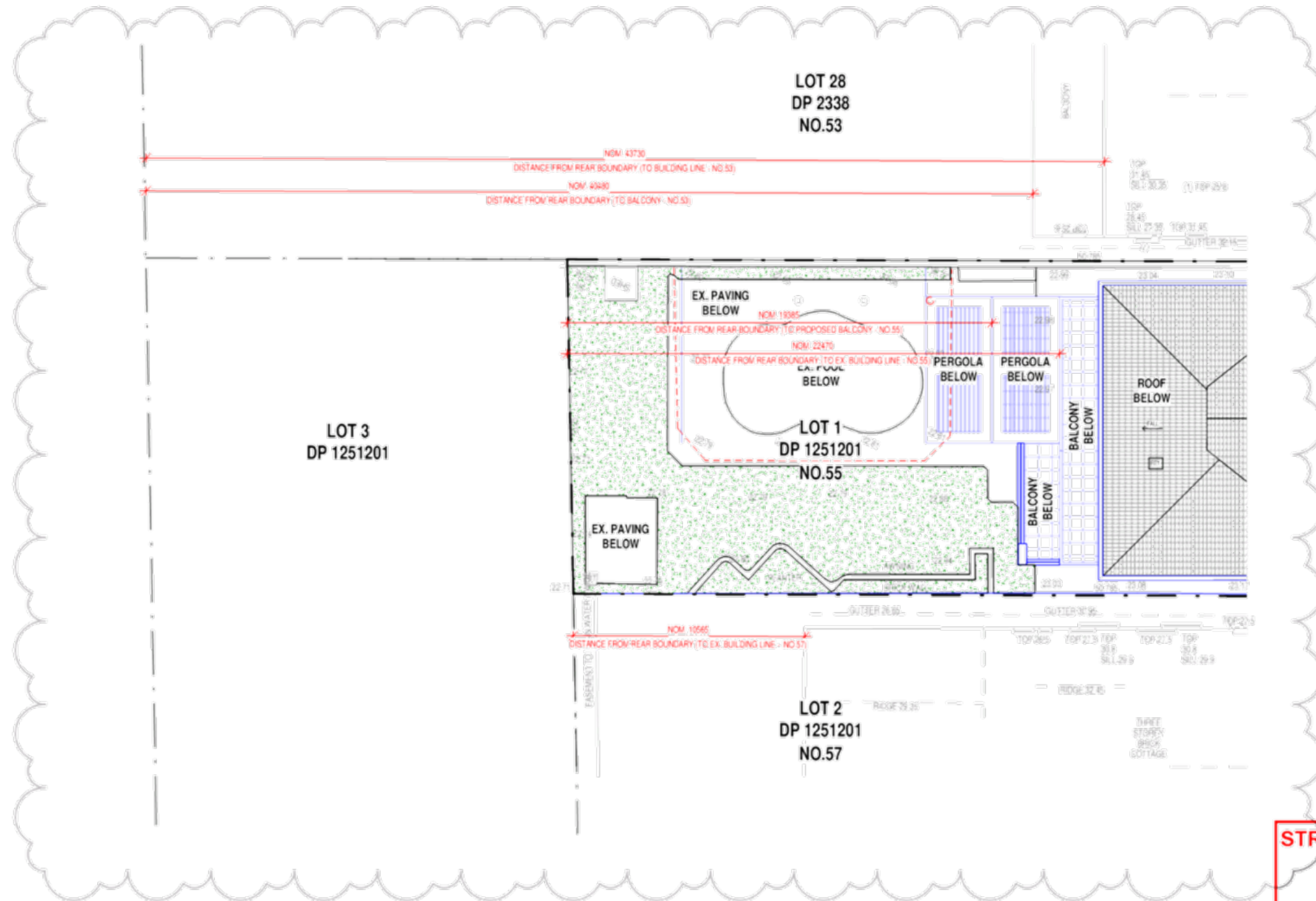
Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

FOR INFORMATION ONLY
JOB NO. 202007001

Drawing Title
DIAGRAM - FSR CALCULATION - PROPOSAL

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	As indicated	A 7.01	DA	A4



**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
18 May 2021**



t: (02) 8056 7464
 w: www.themoma.com.au
 e: info@themoma.com.au
 a: suite 20, 33 waterloo rd, macquarie park nsw 2113

Nominated Architects
 Henry Huang NSW.8992 Eric Kim NSW.9185

Issue	Description	Date
A	ISSUE FOR DA SUBMISSION	01/12/2020
A1	ISSUE FOR RFI	02/03/2021
A2	ISSUE FOR RFI	03/03/2021
A3	ISSUE FOR RFI	10/05/2021
A4	ISSUE FOR RFI	18/05/2021

Client Name
Lab Strathfield Pty Ltd

Project Name
55 Oxford Road, Strathfield

DISCLAIMER:
 1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
 2. VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SETOUT, WORK, ORDER, MANUFACTURE OF ANY ITEM.
 3. COPYING OR THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF MOMA PTY LTD.

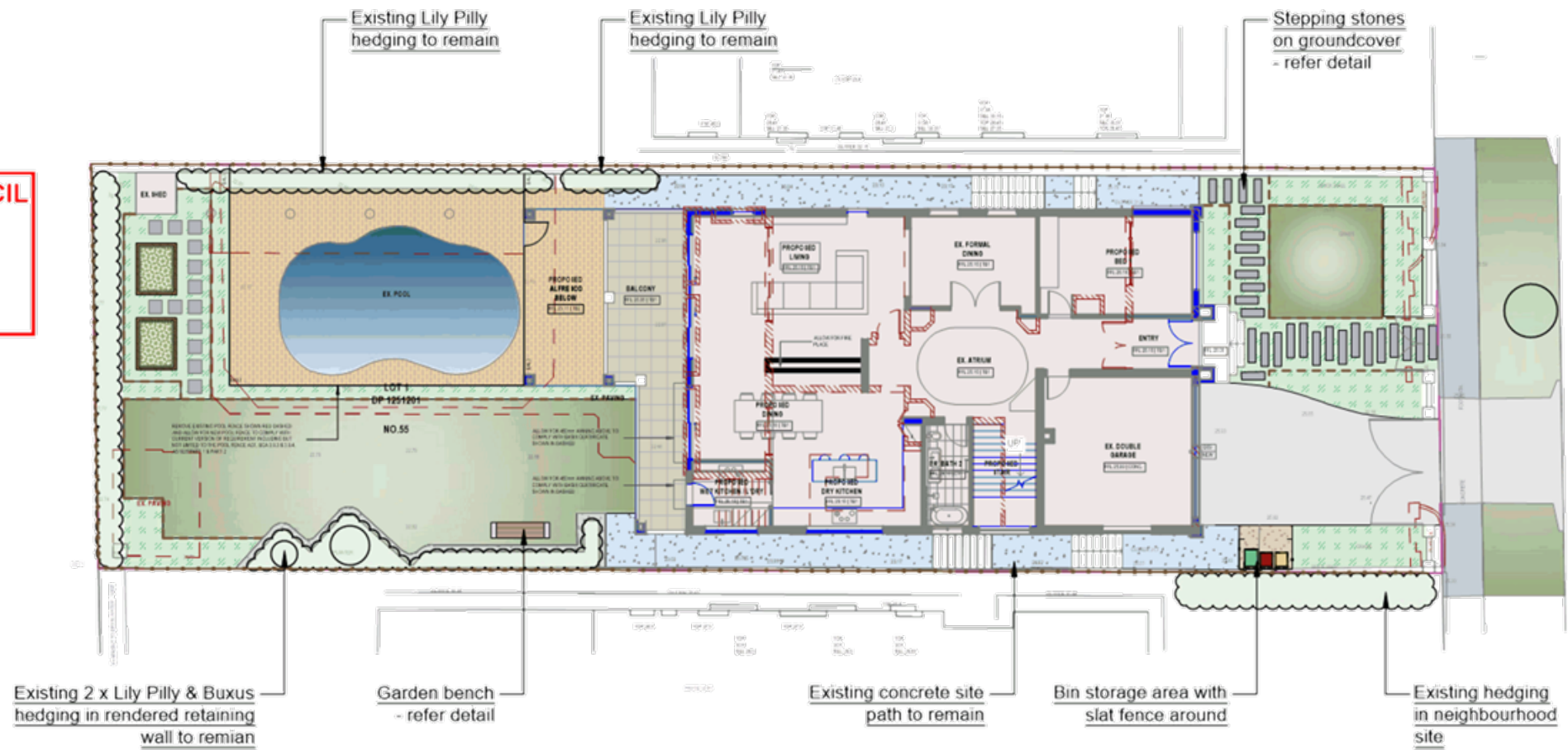


Drawing Title
DIAGRAM - REAR BUILDING LINE RELATION

Job No.	Scale	Drawing No.	Stage	ISSUE
A20037	1 : 200@A3	A 7.02	DA	A4

**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235
13 May 2021**



LOCATION PLAN

Scale: NTS



OTHER LANDSCAPE ITEMS

- Steel Garden Edging - refer detail
- Turf area - refer detail
- Stepping stones on turf - refer detail
- Deco-granite surface finish
- Retaining / raised planter wall - refer detail
- 1.2m Pool Gate and fence - colour and style to be nom. by client
- 1.8m Gate and fence - colour and style to be nom. by client
- Trees proposed to be removed and replaced with new landscaping
- Existing trees proposed to be retained and protected

LANDSCAPE CALCULATIONS

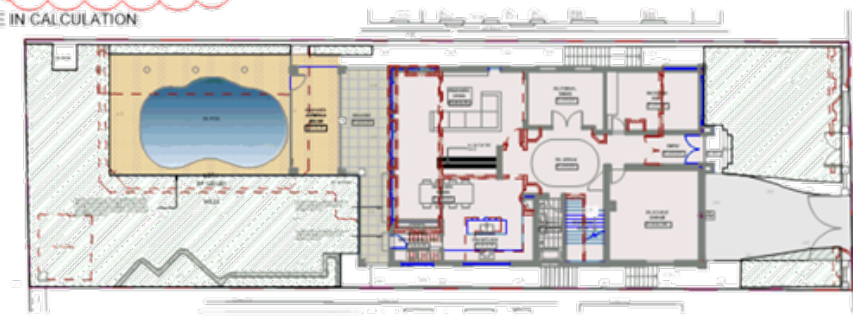
SITE AREA: 774.5m²

REQUIRED LANDSCAPE AREA: 332.82m² (43%)

PROPOSED LANDSCAPE AREA: 261.8m² (33.8%)

(NOT COMPLIANT)

LANDSCAPE AREA INCLUDE IN CALCULATION



General Notes:

Figure dimensions for reference only. All dimensions are to the centre of the line unless otherwise indicated. All dimensions are to the centre of the line unless otherwise indicated. All dimensions are to the centre of the line unless otherwise indicated. All dimensions are to the centre of the line unless otherwise indicated.

Copyright Suburban Enterprises Pty Ltd Trading as CONCEPT

(ABN: 75 623 4025 830)

This drawing is intended to be used as a guide only. It is not intended to be used as a legal document. It is not intended to be used as a legal document. It is not intended to be used as a legal document.

ASA Associate

www.dahelreyoudig.com.au

Bar Scale

REV	DATE	NOTATION/AMENDMENT
A	02.03.21	Preliminary plan prepared for review

SOUND	STRATHFIELD
CLIENT	LAB STRATHFIELD PTY LTD
ARCHITECT	MOMA ARCHITECTS
STATUS	ISSUE
DA - ISSUE A	

www.concept.net.au
enquiries@concept.net.au

Phone: 9522 5312
Suite 101, 506 Miller St,
CAMBERLEY NSW 2062

HARDSCAPE PLAN

PROPOSED RESIDENTIAL ALTERATION AND ADDITION

55 OXFORD ROAD STRATHFIELD

DAWG NO:	LPDA 21 - 224 / 1
SCALE:	1:200 @ A3
DATE:	MARCH 2021
DRAWN:	R.H.
CHECKED:	R.F.

LEGEND & SCHEDULE

NOTES:
 1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
 2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTES PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
 3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS.
 5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
 6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES

Botanical Name: *Magnolia 'Teddy bear'*
Common Name: Magnolia Teddy bear (Exotic)
Pot size: 45L
Mature H x S: 6m x 4m
Qty Required: 2

Botanical Name: *Dracaena draco*
Common Name: Dragon's-blood Tree
Pot size: 75L
Mature H x S: 2.5m x 1.6m
Qty Required: 1

SHRUBS AND HEDGES

Botanical Name: *Syzygium 'Resilience'*
Common Name: Resilience Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 3m x 2m
Qty Required: 5

Botanical Name: *Syzygium 'Cascade'*
Common Name: Cascade Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 2.5m x 1.8m
Qty Required: 11

Botanical Name: *Nandina 'Obsession'*
Common Name: Nandina Obsession (Exotic)
Pot size: 200mm
Mature H x S: 0.7m x 0.6m
Qty Required: 16

Botanical Name: *Gardenia augusta 'True love'*
Common Name: Gardenia (Exotic)
Pot size: 300mm
Mature H x S: 1m x 1m
Qty Required: 4

ACCENT PLANTS

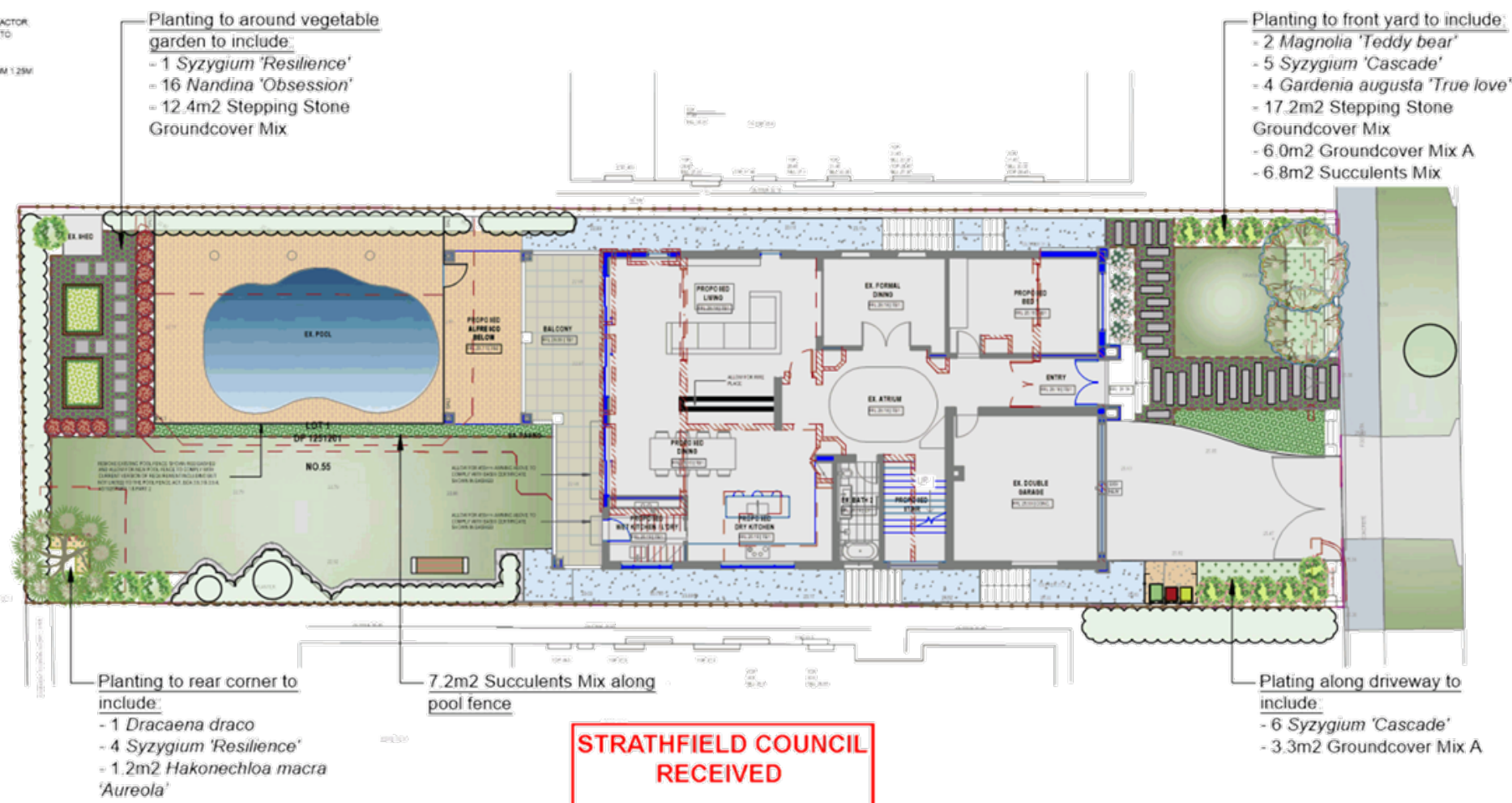
Succulents Mix:
Echeveria agavoides 'Maria'
Aeonium arboreum
Aloe 'Pink Blush'
Senecio serpens
Pot size: 140mm
Mature H x S: 0.3m x 0.3m
Qty Required: 5/m² (14.0m² total)

GRASSES / GROUNDCOVERS

Botanical Name: *Hakonechloa macra 'Aureola'*
Common Name: Gold Japanese forest grass (Exotic)
Pot size: 140mm
Mature H x S: 0.3m x 0.3m
Qty Required: 5/m² (1.2m² total)

Stepping Stone Groundcover Mix:
Viola hederacea
Dichondra repens
Pot size: 140mm
Mature H x S: 0.25m x 0.75m
Qty Required: 9/m² (29.6m² total)

Groundcover Mix A:
Dianella caerulea 'Little jess'
Trachelospermum jasminoides
Myoporum parvifolium 'Yareena'
Pot size: 140mm
Mature H x S: < 5m
Qty Required: 5/m² (9.3m² total)



STRATHFIELD COUNCIL
 RECEIVED
 DA2020/235
 13 May 2021

SAMPLE IMAGES

Images are diagrammatic only, and final planting species may vary, as determined by Council Approval



LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

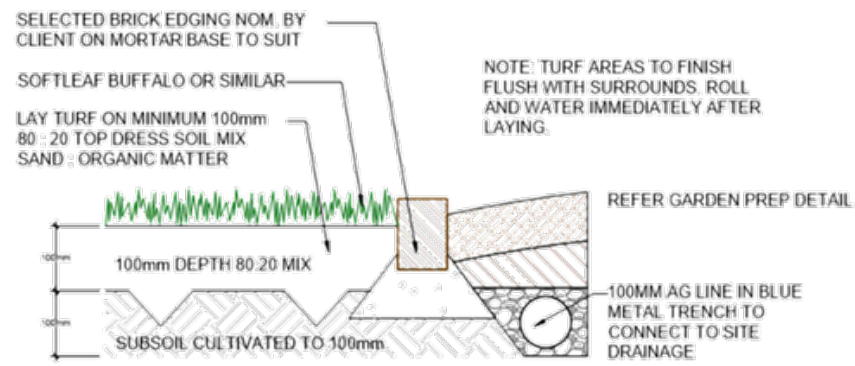
This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to *Strathfield* Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters 'Plant Selector' web site one-drip rated native plants (acceptable for BASIX planting).

The Design & location of new letter boxes shall be in accordance with Australia Post's 'Requirements for Delivery of Mail to Residential Premises' published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

Strathfield approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. *Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.*

<p>General Notes: Figure dimensions for reference only. All dimensions are in millimetres unless otherwise stated. Copyright Subphoenix Enterprises Pty Ltd Trading as CONCEPT (ABN: 75 621 455 910)</p>			<p>Bar Scale</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>NOTATION/AMENDMENT</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>02.03.21</td> <td>Preliminary plan prepared for review</td> </tr> </tbody> </table>	REV	DATE	NOTATION/AMENDMENT	A	02.03.21	Preliminary plan prepared for review	<table border="1"> <tr> <td>COUNCIL</td> <td>STRATHFIELD</td> </tr> <tr> <td>CLIENT</td> <td>LAB STRATHFIELD PTY LTD</td> </tr> <tr> <td>ARCHITECT</td> <td>MOMA ARCHITECTS</td> </tr> <tr> <td>STATUS</td> <td>ISSUE</td> </tr> <tr> <td>DA - ISSUE A</td> <td></td> </tr> </table>	COUNCIL	STRATHFIELD	CLIENT	LAB STRATHFIELD PTY LTD	ARCHITECT	MOMA ARCHITECTS	STATUS	ISSUE	DA - ISSUE A		<p>Phone: 9522 5312 Suite 101, 506 Miller St CAMBERLEY NSW 2062</p>	<p>LANDSCAPE PLAN PROPOSED RESIDENTIAL ALTERATION AND ADDITION 55 OXFORD ROAD STRATHFIELD</p>	<table border="1"> <tr> <td>DATE</td> <td>LPDA 21 - 224 / 2</td> </tr> <tr> <td>SCALE</td> <td>1:200 @ A3</td> </tr> <tr> <td>DATE</td> <td>MARCH 2021</td> </tr> <tr> <td>DRAWN</td> <td>R.H</td> </tr> <tr> <td>CHECKED</td> <td>R.F</td> </tr> </table>	DATE	LPDA 21 - 224 / 2	SCALE	1:200 @ A3	DATE	MARCH 2021	DRAWN	R.H	CHECKED	R.F
REV	DATE	NOTATION/AMENDMENT																																
A	02.03.21	Preliminary plan prepared for review																																
COUNCIL	STRATHFIELD																																	
CLIENT	LAB STRATHFIELD PTY LTD																																	
ARCHITECT	MOMA ARCHITECTS																																	
STATUS	ISSUE																																	
DA - ISSUE A																																		
DATE	LPDA 21 - 224 / 2																																	
SCALE	1:200 @ A3																																	
DATE	MARCH 2021																																	
DRAWN	R.H																																	
CHECKED	R.F																																	



TYPICAL TURF AND BRICK EDGE DETAIL

SCALE: 1:10

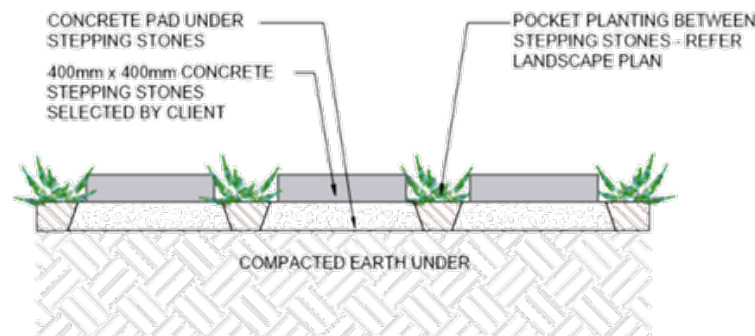


PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

TREE PROTECTION ZONE

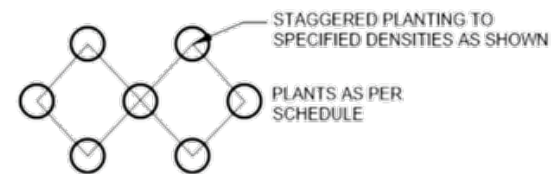
N.T.S

STEPPING STONES IN NATURAL DEEP-SOIL DESIGNED TO PROVIDE PRACTICAL ACCESS WHILE RETAINING A PERMEABLE ZONE & MINIMIZING STORM WATER RUN-OFF



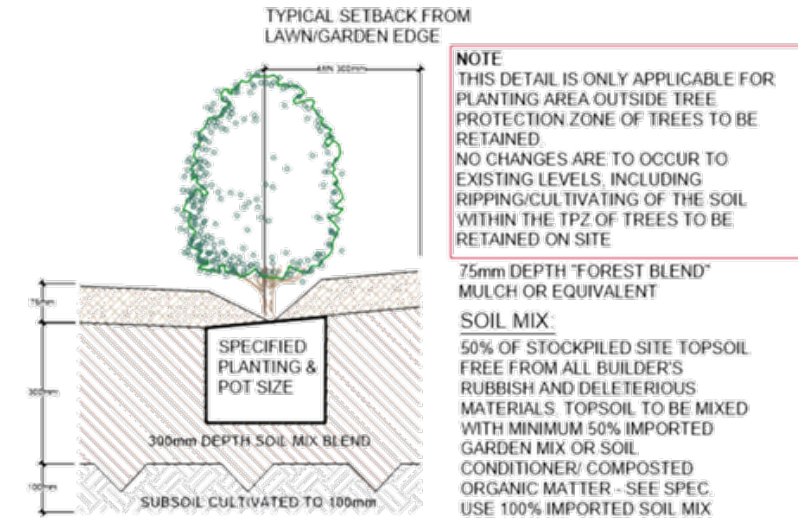
STEPPING STONES IN GROUNDCOVER PLANTING

SCALE 1:10



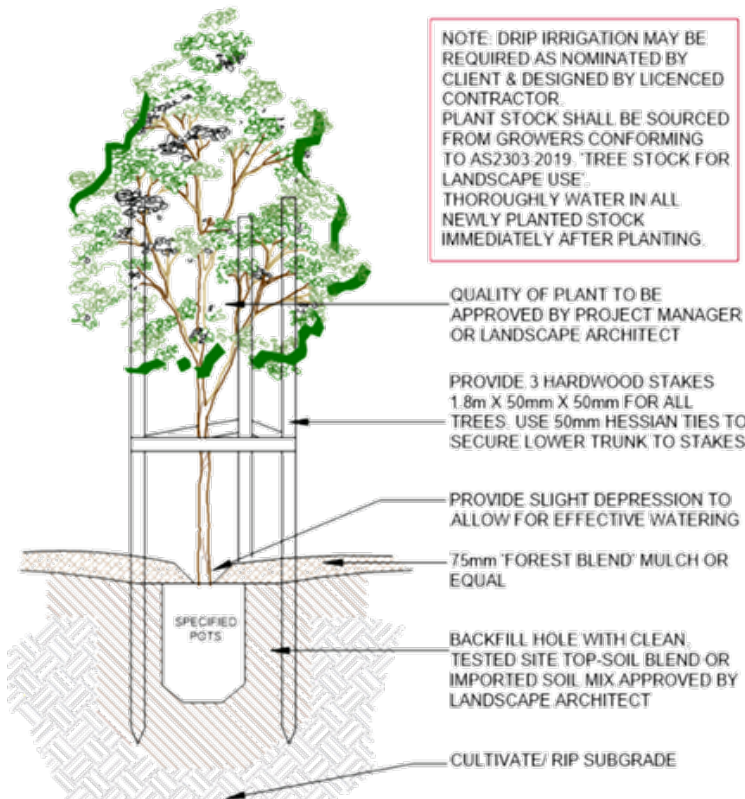
MASS PLANTING SETOUT

N.T.S



TYPICAL GARDEN PREPARATION DETAIL

SCALE 1:10



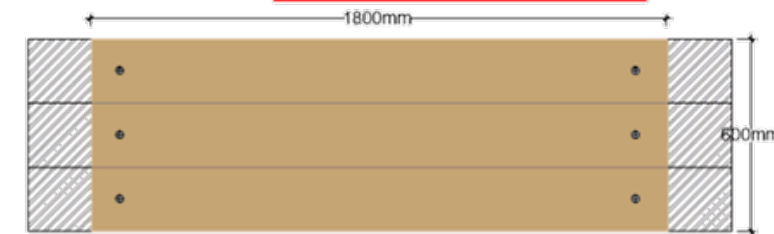
TREE PLANTING DETAIL

SCALE: N.T.S

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)

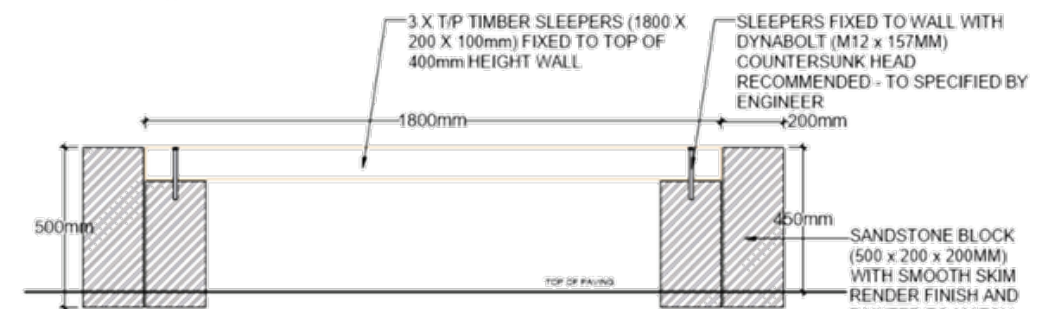
STRATHFIELD COUNCIL RECEIVED

DA2020/235
13 May 2021



GARDEN BENCH SEAT PLAN

SCALE 1:10



GARDEN BENCH SEAT DETAIL

SCALE 1:10

<p>General Notes:</p> <p>Figured dimensions for annotations shall include: level, all dimensions in mm unless otherwise stated. All dimensions shall be to the face of the work unless otherwise stated.</p> <p>Copyright Concept Enterprises Pty Ltd Trading as CONCEPT</p> <p>© (ABN: 75 622 4025 8130)</p> <p>This drawing is the property of Concept Enterprises Pty Ltd. It is to be used for the project and site only. It is not to be used for any other project or site. It is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose.</p>	<p>ASA Associate</p> <p>www.dabellreynolds.com.au</p> <p>DIAL 1100 BEFORE YOU DIG</p>	<p>REV DATE NOTATION/AMENDMENT</p> <p>A 02.03.21 Preliminary plan prepared for review</p>	<p>SOUND: STRATHFIELD</p> <p>CLIENT: LAB STRATHFIELD PTY LTD</p> <p>ARCHITECT: MOMA ARCHITECTS</p> <p>STATUS: ISSUE</p> <p>DA - ISSUE A</p>	<p>Concept Landscape Architects</p> <p>Phone: 9522 5312</p> <p>Suite 101, 506 Storr St, CAMBERLEY NSW 2062</p>	<p>TITLE: DETAILS</p> <p>PROPOSED RESIDENTIAL ALTERATION AND ADDITION</p> <p>55 OXFORD ROAD STRATHFIELD</p>	<p>DATE: MARCH 2021</p> <p>DRAWN: R.H</p> <p>CHECKED: R.F</p>
		<p>Bar Scale</p> <p>0 2 4 6 8 10m</p>	<p>DATE: LPDA 21 - 224 / 3</p> <p>SCALE: AS SHOWN @ A3</p>			

GENERAL NOTES

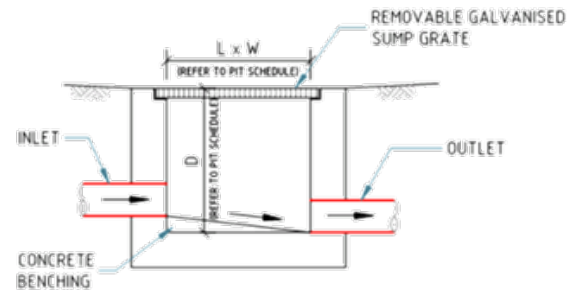
1. THE PLUMBER/ DRAINER SHALL INSPECT THE SITE AND CONFIRM THE EXISTING SITE STRUCTURES, SERVICES AND CONDITIONS PRIOR TO PROCEEDING. IF ANY DISCREPANCIES FOUND, CONTACT THE ENGINEER FOR DISCUSSION.
2. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL GOVERNMENT'S REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE PLUMBER/ DRAINER TO OBTAIN ANY APPROVALS/ PERMITS/ LICENSES ISSUED BY THE AUTHORITIES PRIOR TO PROCEEDING WITH STORMWATER WORKS.
3. UNLESS NOTED AS OTHERWISE, ALL DOWNPIPES TO BE $\phi 100$ ROUND (OR 100×75 RECTANGULAR) AND FULLY SEALED; ALL STORMWATER PIPES TO BE $\phi 100$ SEWER GRADE AND LAID AT 1% MIN. FALL. ALL MATERIALS USED IN THE WORK SHALL BE NEW AND CONFORM WITH RELEVANT AUSTRALIAN STANDARDS AND BEAR THE REQUIRED STANDARDS MARK.
4. LOCATION OF STORMWATER SYSTEMS, INCLUDING DOWNPIPES, PIPES, PITS AND RAINWATER TANK ARE INDICATIVE ONLY. EXACT LOCATION SHALL BE DETERMINED ON SITE TO SUIT SITE CONDITIONS.
5. SUB-SOIL DRAINS FOR RETAINING WALL SHALL BE INSTALLED BY THE BUILDER AND CONNECTED TO STORMWATER LINES. ALL AGG. LINES SHALL BE 100mm DIA., UNLESS NOTED OTHERWISE.
6. NATURAL GROUND LEVELS ALONG ALL BOUNDARIES MUST BE MAINTAINED UNALTERED. ALL RETAINING WALLS TO BE SETBACK FROM BOUNDARIES TO AVOID CONCENTRATION OF STORMWATER FLOWS.
7. LEVELS ARE APPROXIMATE ONLY. THE PLUMBER/ DRAINER SHALL CONFIRM THE LEVELS PRIOR TO PROCEEDING. IF ANY DISCREPANCIES FOUND, CONTACT THE ENGINEER FOR DISCUSSION.
8. INSPECTION AND CERTIFICATION, IF REQUIRED, SHALL BE DONE PRIOR TO BACKFILLING. ALLOW 24 HOUR NOTICE FOR THE ENGINEER TO CARRY OUT INSPECTION.
9. ANY DAMAGE TO SERVICES DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT THE PLUMBER/ DRAINER'S OWN EXPENSE.
10. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH:
- ARCHITECTURAL PLAN BY moMA ARCHITECTS, JOB No. A20037, ISSUE 7, DATED 18 NOVEMBER 2020.

BASIX REQUIREMENTS

THIS DEVELOPMENT HAS NO COMMITMENT ON RAINWATER REUSE UNDER BASIX CERTIFICATE.

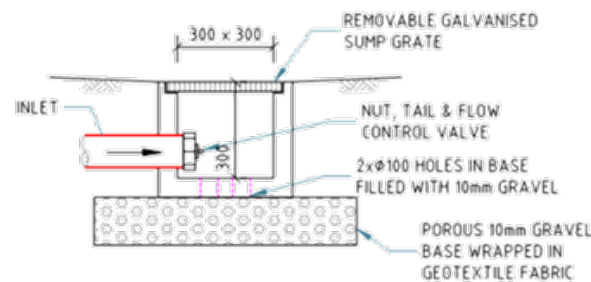
OSD REQUIREMENTS

SITE AREA = 774.5m²
 PRE DEVELOPMENT IMPERVIOUS AREA = 440.55m²
 POST DEVELOPMENT IMPERVIOUS AREA = 472.85m²
 (61% OF SITE AREA)
 INCREASE OF POST DEVELOPMENT IMPERVIOUS AREA = 32.3m²
 SINCE THE TOTAL INCREASE OF POST DEVELOPMENT IMPERVIOUS AREA IS LESS THAN 40m², OSD IS NOT REQUIRED.



GRADED PIT DETAILS

SCALE 1:20



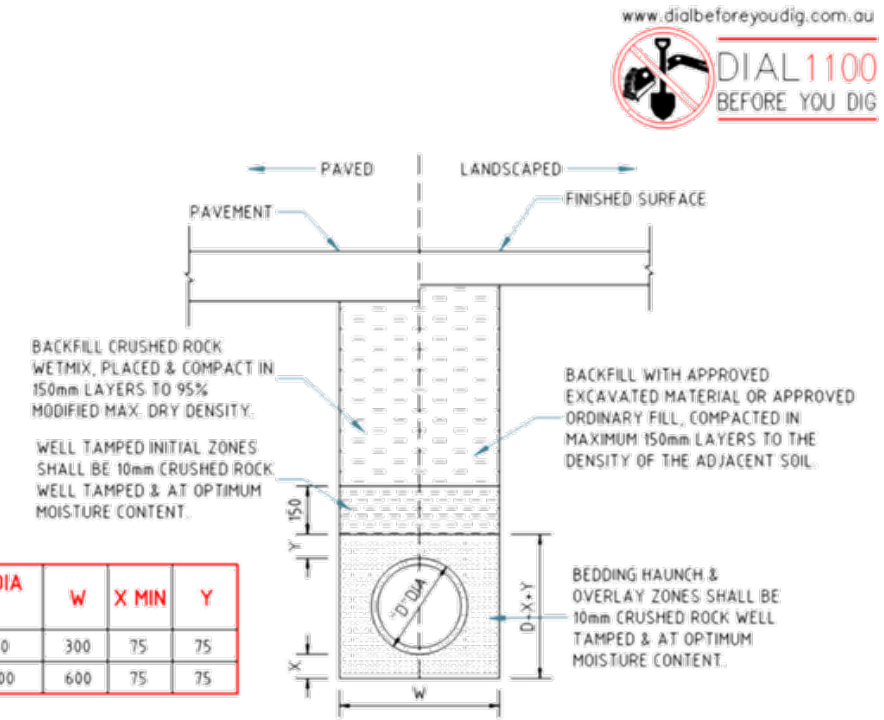
CLEAN-OUT/FIRST FLUSH PIT DETAILS

SCALE 1:20

MINIMUM PIPE COVER (FROM FINISHED SURFACE TO TOP OF PIPE)		
LOCATION	MINIMUM COVER (mm)	
	CAST/DUCTILE IRON GAL STEEL	OTHER AUTHORISED PRODUCTS (-)
1. NOT SUBJECT TO VEHICULAR LOADING: A. WITHOUT PAVEMENT i. FOR SINGLE DWELLING ii. OTHER THAN SINGLE DWELLING B. WITH PAVEMENT OF BRICK/UNREINFORCED CONCRETE	0	100
	0	300
	0(-#)	50(-#)
	0(-#)	50(-#)
2. SUBJECT TO VEHICULAR LOADING: A. OTHER THAN ROAD: i. WITHOUT PAVEMENT ii. WITH PAVEMENT OF: - REINFORCED CONC. FOR HEAVY VEHICLE - BRICK/UNREIN. CONC. LIGHT VEHICLE B. ROAD i. SEALED ii. UNSEALED	300	450
	0(-#)	100(-#)
	0(-#)	75(-#)
	300	500(#)
	300	500(#)
	300	500(#)
3. SUBJECT TO CONSTRUCTION VEHICLE OR IN ENBANKMENT CONDITION	300	500(#)

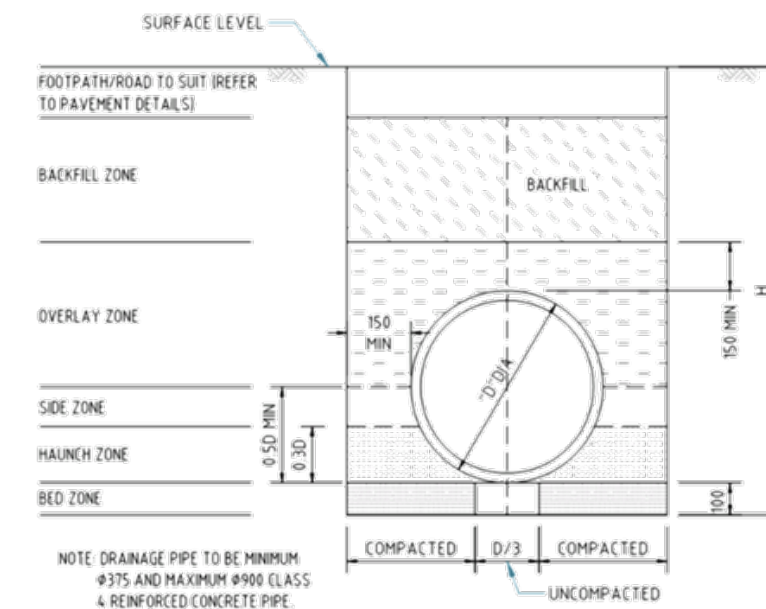
(-) INCLUDES OVERLAY ABOVE THE TOP OF THE PIPE OF NOT LESS THAN 50mm THICK
 (-) BELOW THE UNDERSIDE OF THE PAVEMENT
 (#) SUBJECT TO COMPLIANCE WITH AS1762, AS2033, AS/NZS2566.1, AS3725 OR AS4060

PIPE DIA "D"	W	X MIN	Y
100-150	300	75	75
225-300	600	75	75



UPVC PIPE TRENCH BACKFILL TYP. DETAILS

SCALE 1:20



CONCRETE PIPE TRENCH BACKFILL TYP. DETAILS

SCALE 1:20

Paper size: A3
 All dimensions are in millimetres. Do not scale the drawing. Use written dimensions. Dimensions must be confirmed prior to commencement. Location of services are approximate only. Dial 1100 before any excavation or demolition.

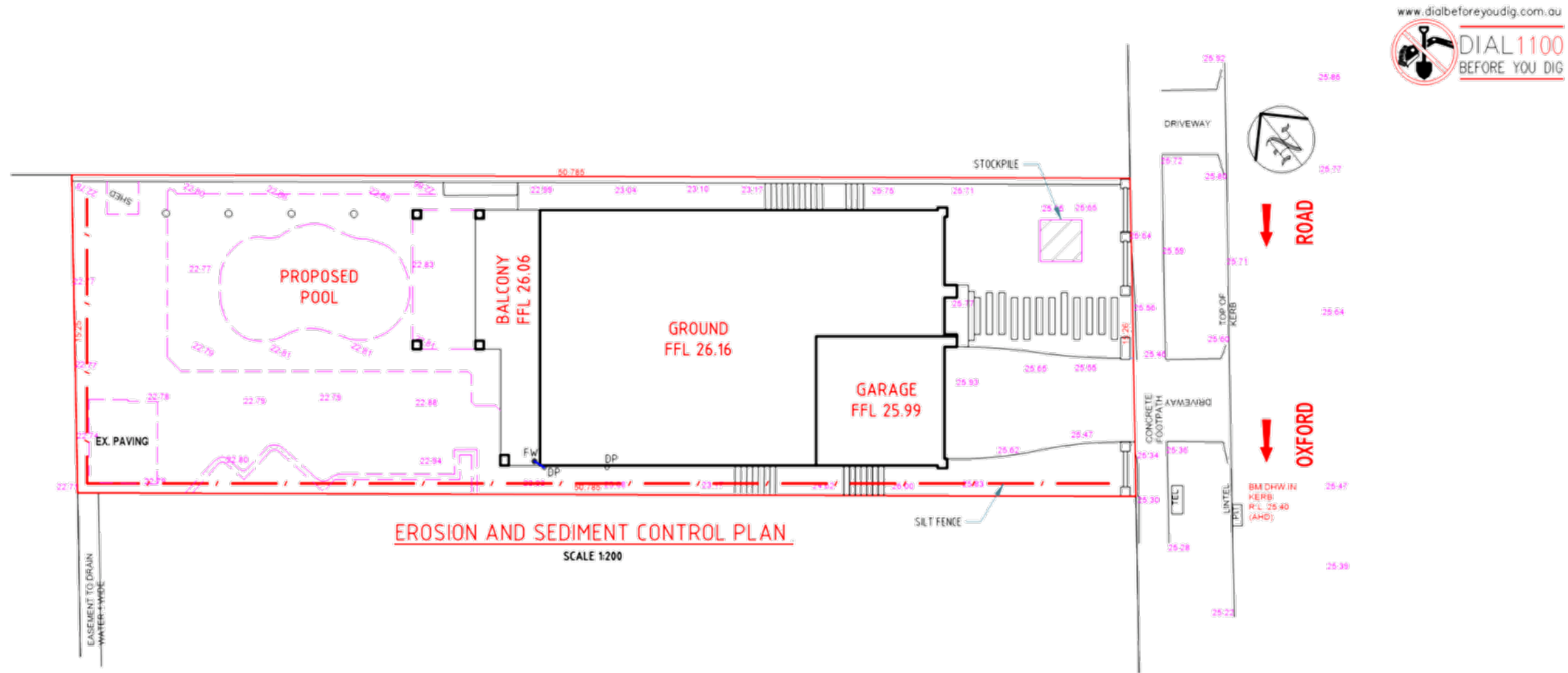
Revisions	
Original issue	
Designed: HL	Checked: ...

Approved:
 Quoc Huy Nguyen
 PhD (Eng), MIEAust, CPEng,
 NER Reg. No. 208 2513



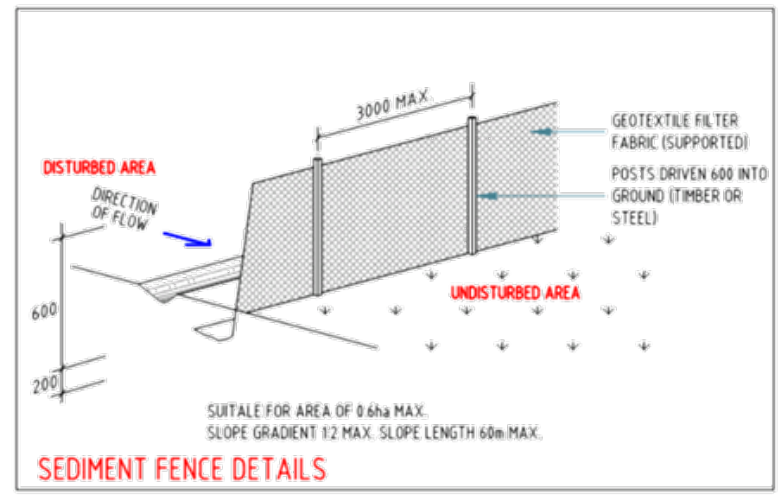
NITMA CONSULTING PTY LTD
 PO Box 43, West Ryde NSW 1685
 M: 0434 284 585
 E: admin@nitma.com.au
 W: nitma.com.au
 © Copyright. All rights reserved.

PROJECT: PROPOSED ALTERATIONS AND ADDITIONS
 ADDRESS: 55 OXFORD ROAD, STRATHFIELD
 LGA: STRATHFIELD COUNCIL
NOTES & STANDARD DETAILS
 Project No: 4578H Issue: A Date: 08.12.2020 Sheet No: 1 of 5

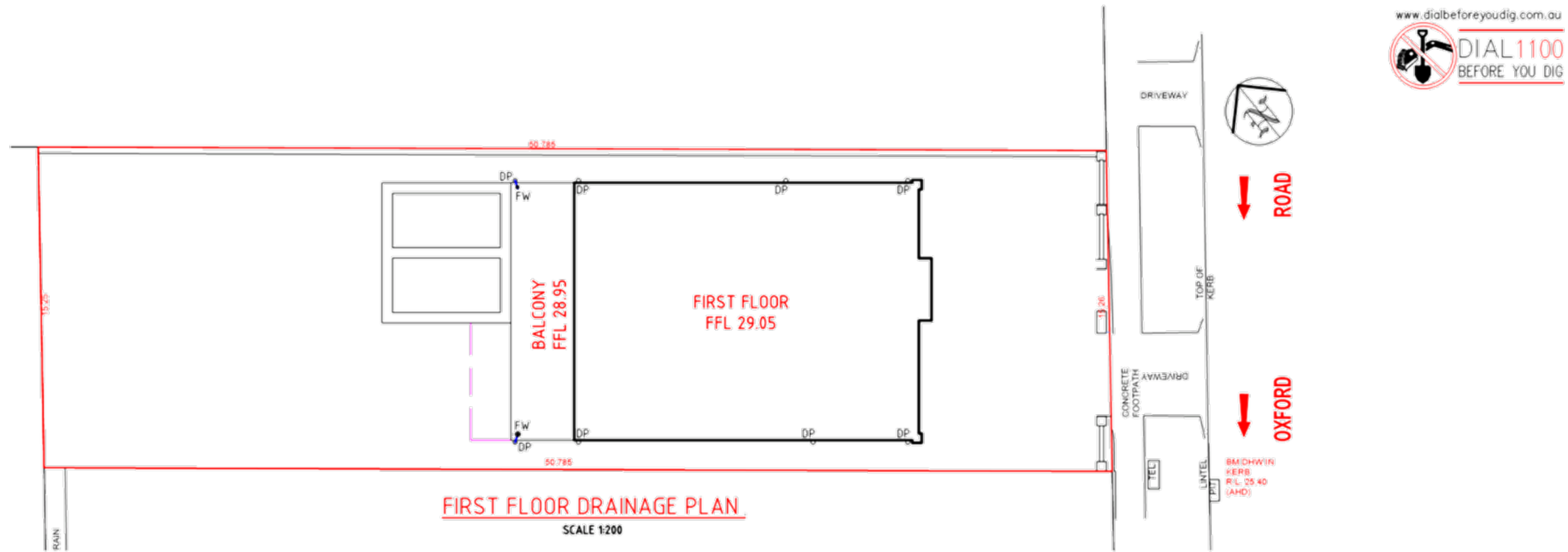


NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
2. MINIMISE DISTURBED AREA
3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATH
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE
5. ROADS AND FOOTPATH TO BE SWEEP DAILY
6. KERB SIDE INLET TO BE PROTECTED WITH FABRIC FILLED WITH GRAVEL



Paper size: A3	All dimensions are in millimetres. Do not scale the drawing. Use written dimensions. Dimensions must be confirmed prior to commencement. Location of services are approximate only. Dial 1100 before any excavation or demolition.		Revisions		Approved:		NITMA CONSULTING PTY LTD PO Box 43, West Ryde NSW 1685 M: 0434 284 585 E: admin@nitma.com.au W: nitma.com.au © Copyright. All rights reserved.	PROJECT: PROPOSED ALTERATIONS AND ADDITIONS ADDRESS: 55 OXFORD ROAD, STRATHFIELD LGA: STRATHFIELD COUNCIL EROSION & SEDIMENT CONTROL PLAN Project No: 4578H Issue: A Date: 08.12.2020 Sheet No: 2 of 5
	Original issue							
	Designed: HL	Checked: ...						



LEGEND:

- DP DOWNPIPE
- GP GRATED PIT
- SP SILT ARRESTOR PIT
- CP CLEAN-OUT PIT
- SL SURFACE LEVEL
- IL INVERT LEVEL
- KO KERB OUTLET
- GRATED BOX DRAIN
- ROOF - WATER PIPELINE
- SURFACE - WATER PIPELINE
- CLEAN-OUT PIPELINE
- SURFACE RUNOFF DIRECTION
- EARTH-MOUND SWALE OR DISH DRAIN
- EXISTING GROUND CONTOUR
- PROPOSED GROUND LEVEL
- 100 DIA. YARD SUMP OR 250 SQ. GRATED PIT

Paper size: A3

All dimensions are in millimetres. Do not scale the drawing. Use written dimensions. Dimensions must be confirmed prior to commencement. Location of services are approximate only. Dial 1100 before any excavation or demolition.

Revisions	
Original issue	
Designed: HL	Checked: ...

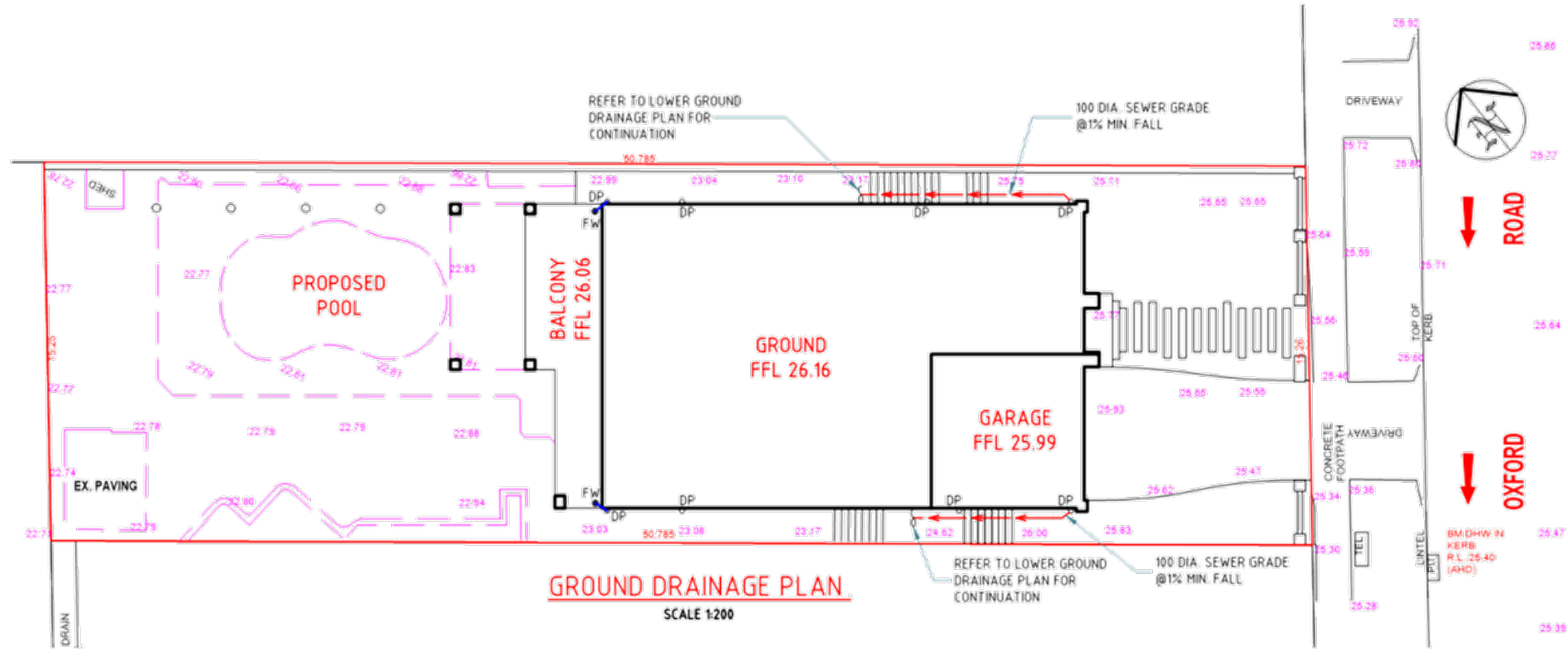
Approved:

Quoc Huy Nguyen
PhD (Eng), MIEAust, CPEng,
NER Reg. No. 208 2513



NITMA CONSULTING PTY LTD
PO Box 43, West Ryde NSW 1685
M: 0434 284 585
E: admin@nitma.com.au
W: nitma.com.au
© Copyright. All rights reserved.

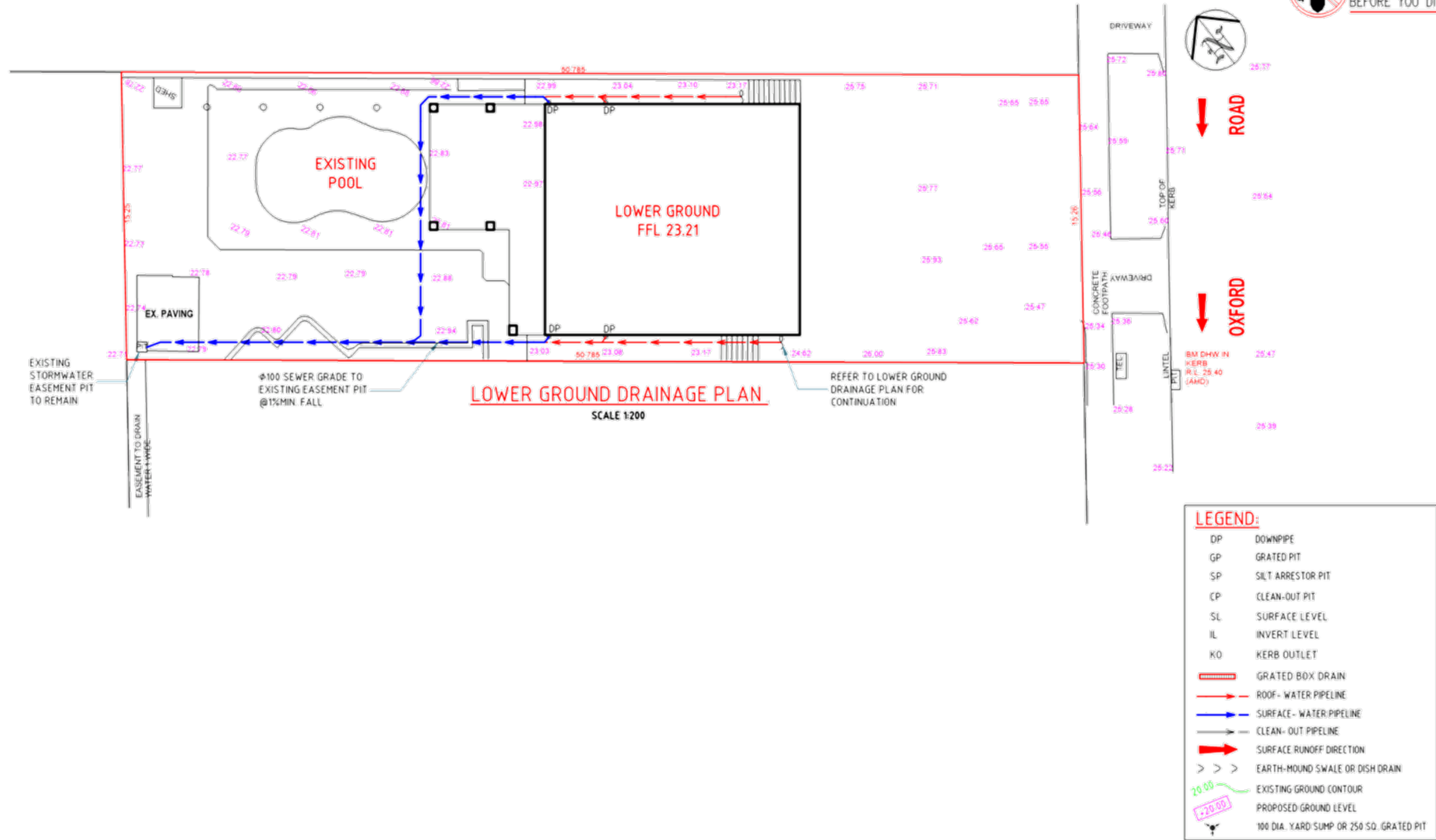
PROJECT: PROPOSED ALTERATIONS AND ADDITIONS
ADDRESS: 55 OXFORD ROAD, STRATHFIELD
LGA: STRATHFIELD COUNCIL
FIRST FLOOR DRAINAGE PLAN
Project No: 4578H Issue: A Date: 08.12.2020 Sheet No: 3 of 5



LEGEND:

- DP DOWNPIPE
- GP GRATED PIT
- SP SILT ARRESTOR PIT
- CP CLEAN-OUT PIT
- SL SURFACE LEVEL
- IL INVERT LEVEL
- KO KERB OUTLET
- GRATED BOX DRAIN
- ROOF- WATER PIPELINE
- SURFACE- WATER PIPELINE
- CLEAN- OUT PIPELINE
- SURFACE RUNOFF DIRECTION
- EARTH-MOUND SWALE OR DISH DRAIN
- EXISTING GROUND CONTOUR
- PROPOSED GROUND LEVEL
- 100 DIA. YARD SUMP OR 250 SQ. GRATED PIT

Paper size: A3	All dimensions are in millimetres. Do not scale the drawing. Use written dimensions. Dimensions must be confirmed prior to commencement. Location of services are approximate only. Dial 1100 before any excavation or demolition.		Revisions Original issue Designed: HL Checked: ...		Approved: Quoc Huy Nguyen PhD (Eng), MIEAust, CPEng, NER Reg. No. 208 2513			NITMA CONSULTING PTY LTD PO Box 43, West Ryde NSW 1685 M: 0434 284 585 E: admin@nitma.com.au W: nitma.com.au © Copyright. All rights reserved.		PROJECT: PROPOSED ALTERATIONS AND ADDITIONS ADDRESS: 55 OXFORD ROAD, STRATHFIELD LGA: STRATHFIELD COUNCIL GROUND DRAINAGE PLAN Project No: 4578H Issue: A Date: 08.12.2020 Sheet No: 4 of 5	
----------------	--	--	---	--	---	--	--	---	--	---	--



Paper size: A3
All dimensions are in millimetres. Do not scale the drawing. Use written dimensions. Dimensions must be confirmed prior to commencement. Location of services are approximate only. Dial 1100 before any excavation or demolition.

Revisions	
Original issue	
Designed: HL	Checked: ...

Approved:

Quoc Huy Nguyen
PhD (Eng), MIEAust, CPEng,
NER Reg. No. 208 2513

NITMA
CONSULTING

NITMA CONSULTING PTY LTD
PO Box 43, West Ryde NSW 1685
M: 0434 284 585
E: admin@nitma.com.au
W: nitma.com.au
© Copyright. All rights reserved.

PROJECT: PROPOSED ALTERATIONS AND ADDITIONS
ADDRESS: 55 OXFORD ROAD, STRATHFIELD
LGA: STRATHFIELD COUNCIL

LOWER GROUND DRAINAGE PLAN

Project No: 4578H Issue: A Date: 08.12.2020 Sheet No: 5 of 5

SITE WASTE MINIMISATION AND MANAGEMENT PLAN (SWMMP)
--

Section 1: Applicant and Project Details (All Developments)	
Applicant Details	
Application No.	PAN-48814
Name	moMA ARCHITECTS
Address	SUITE 8D / 277 LANE COVE RD MACQUARIE PARK NSW 2113
Phone number(s)	0422 179 772
Email	eric@themoma.com.au
Project Details	
Address of development	55 OXFORD ROAD, STRATHFIELD NSW 2135
Existing buildings and other structures currently on the site	EXISTING 3 STOREY DWELLING AND POOL
Description of proposed development	ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING HOUSE
The details on this form are the provisions and intentions for minimising waste relating to this project. All records demonstrating lawful disposal of waste will be retained and kept readily accessible for inspection by regulatory authorities such as Council, Office of Environment and Heritage or WorkCover NSW.	
Name	ERIC KM
Signature	
Date	08/12/2020

**SITE WASTE MINIMISATION AND
MANAGEMENT PLAN (SWMMP)**

Section 2: Demolition (All Types of Developments)				
Address of development: <u>55 OXFORD ROAD, STRATHFIELD NSW 2135</u>				
most favourable		← least favourable		
	Reuse	Recycling	Disposal	
Type of waste generated	Estimate Volume (m ³) or Weight (t)	Estimate Volume (m ³) or Weight (t)	Estimate Volume (m ³) or Weight (t)	Specify method of on site reuse, contractor and recycling outlet and /or waste depot to be used
Excavation material			APPROX. 2m ³	SESL 1300 30 40 50 info@sesl.com.au
Timber (specify)				SUEZ 1300 651 119
Concrete			APPROX. 10m ³	SUEZ 1300 651 119
Bricks/pavers	APPROX. 1m ³		APPROX. 3m ³	SUEZ 1300 651 119 (CRUSHED & REUSED)
Tiles			APPROX. 1m ³	SUEZ 1300 651 119
Metal (specify)			APPROX. 1m ³	SUEZ 1300 651 119
Glass			APPROX. 1m ³	SUEZ 1300 651 119
Furniture		N/A		SUEZ 1300 651 119
Fixtures and fittings			APPROX. 5m ³	SUEZ 1300 651 119
Floor coverings			APPROX. 10m ³	SUEZ 1300 651 119
Packaging (used pallets, pallet wrap)		N/A		SUEZ 1300 651 119
Garden organics		N/A		SUEZ 1300 651 119
Containers (cans, plastic, glass)		APPROX. 2m ³		SUEZ 1300 651 119
Paper/cardboard		APPROX. 2m ³		SUEZ 1300 651 119
Residual waste			APPROX. 2m ³	SUEZ 1300 651 119
Hazardous/special waste e.g. asbestos (specify)				SUEZ 1300 651 119
Other (specify)			APPROX. 10m ³	SUEZ 1300 651 119

**SITE WASTE MINIMISATION AND
MANAGEMENT PLAN (SWMMP)**

Section 3: Construction (All Types of Developments)				
Address of development: <u>55 OXFORD ROAD, STRATHFIELD NSW 2135</u>				
most favourable ← least favourable				
	Reuse	Recycling	Disposal	
Type of waste generated	Estimate Volume (m ³) or Weight (t)	Estimate Volume (m ³) or Weight (t)	Estimate Volume (m ³) or Weight (t)	Specify method of on site reuse, contractor and recycling outlet and/or waste depot to be used
Excavation material		N/A		
Timber (specify)			APPROX. 1m ³	RETURN TO SUPLIE
Concrete		APPROX. 1m ³		
Bricks	APPROX. 0.5m ³		APPROX. 0.5m ³	
Tiles	APPROX. 0.5m ³		APPROX. 0.5m ³	
Metal (specify)		APPROX. 1m ³		
Glass		APPROX. 1m ³		
Plasterboard (offcuts)			APPROX. 1m ³	
Fixtures and fittings		N/A		
Floor coverings	APPROX. 2m ³		APPROX. 1m ³	RETURN TO SUPLIE
Packaging (used pallets, pallet wrap)		APPROX. 2m ³		
Garden organics		N/A		
Containers (cans, plastic, glass)		APPROX. 2m ³		
Paper/cardboard		APPROX. 2m ³		
Residual waste			APPROX. 3m ³	
Hazardous/special waste (specify)		N/A		

SITE WASTE MINIMISATION AND MANAGEMENT PLAN (SWMMP)

Section 4: Ongoing Operation (Residential, Multi Unit, Commercial, Mixed Use and Industrial)					
Address of development: <u>55 OXFORD ROAD, STRATHFIELD NSW 2135</u>					
Type of Waste and Estimated volumes	Recyclables		Compostables	Residual waste	Other
	Paper/ cardboard	Metals/ plastics/glass			
** Amount generated (L per unit per day)	APPROX. 10L / DAY	APPROX. 10L / DAY	APPROX. 10L / DAY	APPROX. 10L / DAY	APPROX. 15L / DAY
** Amount generated (L per development per day)	APPROX. 10L / DAY	APPROX. 10L / DAY	APPROX. 10L / DAY	APPROX. 10L / DAY	APPROX. 15L / DAY
Any reduction due to compacting equipment	N/L				
*** Frequency of collections (per week)	ONCE / WEEK				
** Number and size of storage bins required	1 x 140L		1 x 140L		1 x 140L
Floor area required for storage bins (m ²)	APPROX. 0.5m ²				
Floor area required for manoeuvrability (m ²)	APPROX. 1m ²				
Height required for manoeuvrability (m)	APPROX. 2.1m				

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A397119

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Tuesday, 08, December 2020

To be valid, this certificate must be lodged within 3 months of the date of issue.



**STRATHFIELD COUNCIL
RECEIVED**

**DA2020/235 17
December 2020**

Description of project

Project address	
Project name	55 Oxford Road, Strathfield
Street address	55 Oxford Road Strathfield 2135
Local Government Area	Strathfield Municipal Council
Plan type and number	Deposited Plan 1251201
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: LC Consulting Engineers
ABN (if applicable): 39626532527

BASIX Certificate number: A397119

page 2 / 8

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

BASIX Certificate number: A397119

page 3 / 8

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
external wall: cavity brick	nil				
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)			
flat ceiling, flat roof: concrete/plasterboard internal	ceiling: R2.50 (up), roof: none	light (solar absorptance < 0.475)			

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
<p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>The following requirements must also be satisfied in relation to each window and glazed door:</p> <p>Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.</p> <p>Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.</p> <p>For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.</p> <p>Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.</p> <p>Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.</p> <p>Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.</p>						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
D01	N	11.28	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	✓	✓
D04	N	11.04	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	✓	✓

BASIX Certificate number: A397119

page 5 / 8

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
D05	N	11.28	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D14	N	6.72	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D13	N	2.16	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D15	N	11.28	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D24	N	4.32	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D08	S	4.32	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W09	S	3.96	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W21	S	1.38	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W20	S	1.38	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W19	S	1.38	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W18	S	2.59	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W17	S	1.38	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W16	S	1.38	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

BASIX Certificate number: A397119

page 6 / 8

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W02	E	1.32	7.4	2.7	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W01	E	2.1	7.7	2.7	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W08	E	2.88	5.6	2.7	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W07	E	2.88	5.6	2.7	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W06	E	1.92	5.6	2.7	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W05	E	1.92	5.6	2.7	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W15	E	2.16	1.8	2.7	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W04	W	3.5	7.7	2.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W03	W	3.5	7.7	2.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W14	W	1.4	4.6	2.9	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W13	W	2.1	4.6	2.9	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W12	W	0.72	3.9	2.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W11	W	13	7	2.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

BASIX Certificate number: A397119

page 7 / 8

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W10	W	1.98	4.5	2.9	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W23	W	0.9	1.2	2.9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W22	W	0.9	1.2	2.9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		

BASIX Certificate number: A397119

page 8 / 8

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

TO: Strathfield Local Planning Panel Meeting - 3 June 2021
REPORT: SLPP – Report No. 18
SUBJECT: DA2002/132/5 - 65-67 ROCHESTER STREET, HOMEBUSH - LOT 1 DP 1083569
DA NO. 2002/132/5

SUMMARY

Proposal:	S4.55(2) Modification Application to amend condition 43 and facilitate 24-hour operations of the premises.
Applicant:	Strathfield Municipal Council
Owner:	Strathfield Municipal Council
Date of lodgement:	13 April 2021
Notification period:	15 April 2021 to 29 April 2021
Submissions received:	Six (five objections and one in support)
Assessment officer:	P Santos
Estimated cost of works:	N/A
Zoning:	R2 Low Density Residential - SLEP 2012
Heritage:	N/A
Flood affected:	Yes
RECOMMENDATION OF OFFICER:	APPROVAL

EXECUTIVE SUMMARY

- 1.0 The subject modification application is referred to the Strathfield Local Planning Panel ('SLPP') for consideration on 03 June 2021 as it is an application where both the applicant and land owner is Strathfield Municipal Council ('the Council').
- 2.0 The application (DA2002/132/5) is to modify/amend a condition (#43) of consent to facilitate a 24-hour operation of the Strathfield Library and Innovations Hub ('the library').
- 3.0 A consent was granted on 19 November 2002 to demolish the old library and construct a new two-storey library with the following approved hours of operation:
 - Monday to Thursday – 10.00 AM to 8.00 PM;
 - Friday – 10.00 AM to 6.00 PM;
 - Saturday – 9.00 AM to 4.00 PM; and
 - Sunday – 1.00 PM to 5.00 PM.
- 4.0 A condition of consent was modified through a modification application made (DA2002/132/2) on 10 October 2002 relating to consolidation of lots. This does not relate to the hours of operation of the library.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

5.0 The current modification application (DA2002/132/5) application was publicly exhibited from 15 April 2021 to 19 April 2021, where council received six submissions. Five are objections and one in favour of the proposal. The objections raise the following relevant concerns:

- Increased traffic and lack of parking;
- Light and noise pollution;
- Security and public safety; and
- Visual privacy.

These matters have been considered and discussed in detail in the submissions section of this report.

6.0 With the absence of development controls regarding the hours of operation for a community facility, such as the library, the application has been assessed on merit. It is considered that the benefits of the proposed new hours of operation will outweigh any potential concerns that may arise. Taking into consideration that among other things, the concerns raised by the objections have been addressed by the conditions of consent. Furthermore, the hours of operation is recommended to be a variable hours of operation, as conditioned, to ensure that regardless, the safety of the community has been taken into consideration and is of utmost priority.

7.0 The modification application is recommended for approval, subject to the conditions of consent.

BACKGROUND

19 November 2002 A consent was granted to demolish the existing library and construct a new two-storey library. The hours of operation granted in DA 0203/132 ('the original consent') are:

Library

- Monday to Thursday – 10.00 AM to 8.00 PM;
- Friday – 10.00 AM to 6.00 PM;
- Saturday – 9.00 AM to 4.00 PM; and
- Sunday – 1.00 PM to 5.00 PM.

Meeting Room

- Monday to Saturday – 9.00 AM to 10.00 PM; and
- Sunday – 10.00 AM to 6.00 PM.

06 March 2003 A modification application (DA2002/132/2) was granted to amend condition 100 to require consolidation of two lots as oppose to the three lots required in the original consent.

13 April 2021 The current modification application (DA2002/132/5) was lodged to amend condition 43 to facilitate a 24-hour operation of the premises.

15 April 2021 The application was publicly exhibited until 29 April 2021. Six submissions were received by Council during this period. Details of the submissions are discussed in the body of the report.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

DESCRIPTION OF THE SITE AND LOCALITY

The subject is legally described as Lot 1 DP 1083569 and is commonly known as 65-67 Rochester Street, Homebush NSW 2140. The site is a corner block of land located on the west of Rochester Street, south of Abbotsford Road.

The subject property is almost square in shape with the following dimensions – 39.63m in width and 45.72m in depth, with a total area of 1,811.55m².



Figure 1. Aerial imagery of the site (outlined) and the immediate locality.

The library currently occupies the site and the ancillary parking area is located on the western side of the property that is accessed off Abbotsford Road. The library's current operating hours is as follows:

- Monday to Wednesday, Friday – 9.30 AM to 4.30 PM;
- Thursday – 9.30 AM to 8.00 PM; and
- Saturday – 9.00 AM to 4.00 PM.

The current streetscape along Abbotsford Road is characterized by one to two-storey dwelling houses with a pocket of residential flat building, directly to the north-west of the site across the road (Figure 3 below). Rochester Street is predominantly one to two-storey dwelling houses as well. However, about 100m to the north is the Homebush Village Town Centre where it is primarily occupied by two-storey mixed use development comprising of ground floor commercial premises and shop top housing above.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)



Figure 2. The subject site, viewed from the northern side of Abbotsford Road.



Figure 3. The residential flat building diagonally across from the library.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)



Figure 4. The eastern elevation of the library.



Figure 5. The eastern elevation of the library that is immediately adjacent to Rochester Street.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)



Figure 6. The dwelling house located at the rear of the library.



Figure 7. The dwelling house at the north-eastern corner of Rochester Street and Abbotsford Road.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)



Figure 8. The dwelling house located at the south-eastern corner of Rochester Street and Abbotsford Road.



Figure 9. Commercial premises at the southern corners of Rochester Street and Burlington Road.

The surrounding area is characterised by residential flat buildings and commercial premises with shop-top housing to the north and the immediate surrounding with low density residential developments. Homebush Railway Station is located 340m to the north, Strathfield Girls High School is approximately 470m to the south.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

Several Heritage Items (I6 and I7) are located in close proximity of the subject site. Further, while the site is not part of it, a Heritage Conservation Area (C2) runs along the Abbotsford Road, and is aptly identified in the SLEP 2012 as the Abbotsford Road Conservation Area.

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for the amendment of condition 43 to facilitate a 24-hour operation of the library from Monday to Sunday.

For completeness, the proposal involves staffed hours and unstaffed hours which will be access based where patrons can access the library via a member's card utilising the RFID technology. The proposed staffed hours are as follows:

- Monday to Thursday – 9.30 AM to 6.30 PM;
- Friday – 9.30 AM to 6.00 PM; and
- Saturday and Sunday – 10.00 AM to 2.00 PM.

The patrons that will be eligible for the 24/7 access will be limited to people aged 16 years and over. Family passes will also be available.

REFERRALS**INTERNAL REFERRALS****Environmental Health Comments**

Council's Environmental Health Officer has commented on the proposal as follows:

Noise

"There is a direct adjoining neighbour in both Rochester Street (next to library building) and Abbotsford Rd (next to library carpark)"

"An increase in operation hours may lead to issues around noise. There will be 2 visits per evening of Council Rangers as part of security checking of the library and carpark to identify any loiterers or trouble makers that may cause noise disruptions to local residents and NSW Police have been notified of the proposal."

"Therefore, it is recommended that an acoustic report is prepared by a suitably qualified acoustic consultant or provide an explanation as to why this isn't required."

Lighting

"If there is to be any changes made to outdoor lighting to facilitate the extended trading hours, the Development Application must address impacts of outdoor lighting AS/NZS 4282:2019 Control of the obtrusive effects of outdoor lighting."

The officer concluded with recommended conditions of consent to be imposed, should the application be supported.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

EXTERNAL REFERRALS

NSW Police

While there is no statutory requirement to refer the application to the police or there is a known agreement, for the benefit of the public, it has been referred to the NSW Police for comments. The following comments have been received.

“The following crime (incident) types have occurred near the vicinity over the past 12 months. Burglary, stealing, drug related crime, street offences, robbery, assault, malicious damage/vandalism.”

“The proposal is requesting for trading hours to be 24-hour trading, for seven days of the week. This raises concerns of safety for any customers at the location, late at night becoming victims of crime, when entering or leaving the premises. Police are of the opinion the location could be a target for robbery offences, due to few other premises being open for business after midnight within the proposed area.”

“Police are of the brief that the library should be staffed at all hours. This would prevent unauthorized entry of the library and prevent any criminal activity which could occur inside and outside the library.”

“Consideration should be given to installing CCTV at the location to assist in the identification of people involved in anti-social or criminal behaviour.”

“The area was once well known for robbery offences, however in recent times statistics indicate that this trend has gone down. However, property crime still have come under Police notice which include stealing offences.”

Note that the intention of the referral to the NSW Police is to bring this proposal to their attention. Taking this into consideration, it is also noted that part of the proposal is to have Council Rangers to do security check of the library and the carpark.

Further to the above, the following safety measures will be applied or continue to apply as part of the proposal –

- Emergency Exit induction;
- Monitoring via CCTV cameras;
- Thermal and fire alarms;
- People counter; and
- Secure access via a one-time-pin.

It is considered that the proposed safety measures, including the visits of Council Rangers during unstaffed hours are satisfactory. However, to ensure that the safety of the community is prioritised, a variable hours of operation condition will be imposed. This will essentially allow the library to operate in the proposed hours, but does not negate the fact that the safety and wellbeing of the community is taken into consideration.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within Section 4.15 of the *Environmental Planning and Assessment Act, 1979* as relevant to the development application:

4.15(1)(a) the provisions of:

(i) any environmental planning instrument

State Environmental Planning Policy No 55 – Remediation of Land

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within SEPP 55 are considered to be satisfied.

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The proposal does not involve removal of any trees/vegetation that may warrant further consideration of this policy.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl. 1.2(2)	Aims	Complies
(aa)	<i>To protect and promote the use and development of land for arts and cultural activity, including music and other performance arts,</i>	Yes
(a)	<i>To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield</i>	N/A
(b)	<i>To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development</i>	Yes
(c)	<i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	Yes
(d)	<i>To provide opportunities for economic growth that will enhance the local community</i>	Yes
(e)	<i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	N/A
(f)	<i>To identify and protect environmental and cultural heritage</i>	N/A
(g)	<i>To promote opportunities for social, cultural and community activities</i>	Yes
(h)	<i>To minimise risk to the community by identifying land subject to flooding and restricting incompatible development</i>	N/A

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

Comments:

It is considered that the proposed extended accessible hours of the Library and Innovation Hub satisfies the aims of the SLEP 2012.

Permissibility

The subject site is Zoned R2 Low Density Residential ('the zone') under the Strathfield Local Environmental Plan (SLEP) 2012.

Community Facilities are permissible within the zone with consent and is defined under SLEP 2012 as follows:

“community facility means a building or place –

- (a) owned or controlled by a public authority or non-profit community organisation, and*
- (b) used for the physical, social, cultural or intellectual development or welfare of the community,*

but does not include an educational establishment, hospital, retail premises, place of public worship or residential accommodation.”

The proposed development will not alter the land use approved on the site – a community facility, which is a permissible use within the zone in the SLEP 2012.

Zone Objectives

An assessment of the proposal against the objectives of the zone is included below:

Objectives	Complies
➤ To provide for the housing needs of the community within a low density residential environment.	N/A
➤ To enable other land uses that provide facilities or services to meet the day to day needs of residents.	Yes
➤ To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas.	N/A

Comments:

The proposal will not change the existing land use operating on the site. As a matter of fact, the proposed development will enable the public to access the library without time constraints including those members of the public who cannot access the library in its current operating hours due to various reasons (i.e. work, school).

Part 4: Principal development standards

The principal development standards have been taken into consideration. The nature of the proposal does not trigger an assessment of any of the standards under Part 4 of the SLEP 2012.

Part 5: Miscellaneous Provisions

The relevant provisions contained within Part 5 of the SLEP 2012 are addressed below as part of this assessment:

5.10 Heritage Conservation

The nature of the proposal is not a development that warrants consent under Clause 5.10 of the SLEP 2012.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

Part 6: Local Provisions

The relevant provisions contained within Part 6 of the SLEP 2012 have been considered. However, the nature of the proposal does not trigger any development standards under Part 6 of the SLEP 2012.

4.15 (1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

4.151)(a)(iii) any development control plan**STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005**

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

PART Q – URBAN DESIGN CONTROLS

3	<i>Amenity Guidelines</i>	<i>Complies</i>
<hr/>		
.7	<i>Essential Criteria (Safety and Security)</i>	
	Essential Criteria	
8)	A site management plan and formal crime risk assessment (Safer by Design Evaluation) involving the NSW Police Service may be required for large developments, which in Council's opinion, would create a crime risk.	N/A

Comments:

While the proposal is considered to be of minor nature and the development control in the table above is taken to be not relevant, Council referred this application to the NSW Police to ensure safety of the community has been considered to the full extent. This has been detailed in the report.

4	<i>Guidelines for Specific Developments</i>	<i>Complies</i>
<hr/>		
.7	<i>Development Adjoining Residential Zones</i>	
	Essential Criteria	
.1		
5	The development must not otherwise cause nuisance to residents, by way of hours of operation, traffic movement, parking, headlight glare, security lighting or the like.	Yes

Comments:

The proposal is not expected to cause nuisance to the residents. While this is the case, further consideration has been given to the western neighbour – 38 Abbotsford Road. It is acknowledged that the new hours of operation would mean that the carparking area will be open for the public to use. Note that no new additional outdoor lighting is proposed. It is also noted that the car parking area is currently being lit up at night by the existing lamp posts as shown in Figures 10 and 11 below.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

Despite the above, council is aware that at night, vehicles may be parked facing the neighbouring property's solid timber fence and residual light may cause nuisance to its residents. As such, to address this issue, parking within the car parking area will be required, by way of a condition of consent, to face the walls of the library building. A verbal discussion with council's Traffic Manager revealed that not only this will address this problem, it will also be a safety mechanism to prevent any vehicles backing onto the walls of the library in the absence of wheel stops.



Figure 10. Image of the car parking area of the library with the existing lamp post outlined.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)



Figure 11. Access at the rear of the car parking area to the park with the lamp post outlined.

As previously mentioned, members of the community who will be able to access the library during the unstaffed hours will need to be registered for this service and will be given an access card that will be used to monitor the people in the library. Furthermore, people counter will also be simultaneously utilised.

In accordance with the proposed hours of operation, the parking area will remain available to the public 24/7.

Council Rangers will be monitoring the site twice during the unstaffed hours for added security. CCTVs will continually be operational and readily be available to the NSW Police, should it be necessary. Conditions of consent will be imposed to ensure that outdoor lighting will not have an adverse impact on the neighbouring properties.

PART H - WASTE MANAGEMENT (SCDCP 2005)

The nature of the proposal does not trigger new consideration under Part H of the SCDCP 2005. The existing waste management of the library, as approved in original consent for its construction and operation (DA2002/132) and as amended, will continue to apply.

4.15 (1)(a)(iiia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

4.15 (1)(a)(iv) matters prescribed by the regulations

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard *AS2601–1991: The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) and does not involve the demolition of a building for the purposes of *AS 2601 – 1991: The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

(i) any coastal zone management plan

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

The site is affected by the existing 1 in 100 year flood event or is likely to be as a result of the planning benchmarks for sea level rise mentioned above. However, the nature of the proposal, an extension of the operating hours, will not trigger an assessment against the relevant provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

The proposal is considered to have no adverse environmental impacts on both the natural and built environments. While there may be concerns regarding the 24-hour operation from the immediately adjoining properties, it is believed that the benefits to the community will outweigh the potential risks involved in this operation. Further, the potential risks (i.e. security and safety, lighting and noise disturbance, etc) have been considered in this application and accordingly, have been addressed. This has been discussed elsewhere in this report.

4.15 (1)(c) the suitability of the site for the development

The nature of the proposed development is considered to be suitable for the site. No building alteration or addition is proposed. The number of parking spaces approved in the original consent will remain and will continue to be available for the public.

4.15 (1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with the Community Participation Plan of the SCDP 2005 from **15 April 2021** to **29 April 2021**, with **six** submissions received (five objections and one support) raising the following concerns:

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)**1. Increased Traffic and Lack of Parking**

"...did not provide enough parking. People use the streets to park and visit the library..."

"...car noise, blowing the horn, swearing and just talking and shouting..."

"The proposal that 24/7 operations would spread the traffic load/noise is absurd."

"...residents will need somewhere to park when they come home after a day at work."

Assessing officer's comments:

The proposed extended hours of operation, a 24-hour access, will spread the number of users of the library in a day. This is considered to be to the public's benefit when it comes to car parking and the on-street parking pressure is expected to have some sort of relief because of the outcome of this proposal.

2. Light and Noise Pollution

"...I had an additional set of blinds installed to try and cut out the library lights..."

"The unrelenting amount of light coming from the building is extraordinary - this will now continue 24/7 as will the air-conditioning noise."

"There is a general lack of consideration by patrons that they are in a residential area, surrounded by families that rely on the sanctity of their own private, safe and quiet space."

Assessing officer's comments:

While some of the concerns raised in the submission were already addressed by Council in a previous action, a condition of consent is recommended to ensure that no outdoor light pollution will adversely impact the neighbouring properties.

Despite the above, it is noted that the southern neighbour – 69 Rochester Street, Homebush, raises concerns about light pollution emitted from the library. In particular, the windows on the southern elevation of the library are the ones in question as it directly fronts the northern side elevation of the neighbouring dwelling house to the rear.

It is recognised that a concern about light pollution coming from the library was raised by the subject neighbour previously to Council. The same concern is being raised in this modification application as the neighbour believes the light pollution will worsen due to the proposed extended hours of operation. However, the Planner's site visit to the library confirmed that the first floor window directly facing the southern neighbour is adjacent to the library staff office. This means that during unstaffed hours, the lights on the upper level office should be turned off as no one will be occupying the room during this period. It is acknowledged that cleaners, during the unstaffed hours, may turn the lights on for a short period of time. It is believed that it will only occur during the time needed to finish cleaning the office room and should be turned back off immediately after. To ensure this, an operational condition of consent will require that the lights in the first floor office be turned off and the blinds be put down during unstaffed hours with the exception of the time cleaners need to clean the room.

For the ground floor part of the windows on the library's southern elevation, the same operational condition of consent be required - the blinds of these windows to be shut during unstaffed hours. This will assist in alleviating any potential light pollution during this period in addition to the shade screen already in place on the buildings southern elevation. In the event that the blinds be put up by one of the users of the library during unstaffed hours, for some reason, and a complaint arises from this, the RFID and CCTV camera technologies may be utilised in this instance.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)



Figure 12. Image of the windows on the library's southern elevation showing the shade screen installed outside and the blinds outlined.

3. Security and Public Safety

"...the library provided a meeting place for the local drug dealers who arrived in vehicles playing loud "doof doof" music to advertise their presence."

"...leaving the library open 24/7 would just give the drug dealers an office from where to ply their trade as they can move from the carpark to inside the library."

"Also the unstaffed library would provide a place for potential rapes to occur."

"Or a nice place for homeless people to come to use the bathrooms and sleep."

"There is a level of loitering in the carpark and alongside the building that is not welcomed by the neighbours. There have been instances of sexual activity and other indiscrete bodily functions around the water tanks; young people congregate at the rear of the library to smoke (not only tobacco), drink and play loud music usually after hours."

"Carpark – 24/7 – this introduces unnecessary opportunities for loitering and noise that impacts the residents with direct boundaries to the library."

"The development already has had a long history of complaints by residents regarding car noise and noise from youths hanging around the forecourt of the library, which has often been used as a meeting place for exuberant youths late at nights."

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

Assessing officer's comments:

In addition to the comments in the Referrals section of this report, where the application was referred to the NSW Police and Council Rangers will be undertaking random visits, it is important to reiterate that access to the library during the unstaffed hours will only be available to those who meet the eligibility criteria and must have registered to get a member's card. Not only this limits people coming in and out of the library during the unstaffed hours, but this gives control to the council to properly monitor the people in the library at any given time.

Closed Circuit Television cameras are already installed at the entry of the library and in the carpark. However, to ensure that safety around the perimeter of the library can be monitored and the public can feel safe, a condition of consent will require putting up more CCTVs making sure that the perimeter of the library building is covered.

4. Visual Privacy

"There are young children in my home and the direct view from the southern library windows into the living room, kitchen, bedrooms and the back yard provides an unacceptable level of potential exposure risk and voyeurism."

"The restricted opening hours provide some respite from the continual invasion of space by noise, light and people."

Assessing officer's comments:

Concerns were raised regarding visual privacy, in particular potential overlooking from the first floor windows. As previously mentioned, these windows are next to the library staff office, which will be unoccupied during the unstaffed hours, with the exception of the cleaners for a period of time. Nevertheless, it should be noted that the Planner's internal visit to the library has confirmed due to the existence of the shade screen, no potential overlooking may transpire.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)



Figure 13. First floor windows with the shade screen installed outside.

The above concerns/issues are the ones that are considered relevant to the proposed change in the hours of operation of the library. Some concerns raised in the submissions are either had been dealt with and discussed in the original development consent and/or not a planning consideration.

4.15 (1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. Further, the proposed development satisfies the objectives of the SLEP 2012 and the zone, therefore, it is not considered to be contrary to the public interest.

SECTION 7.11 CONTRIBUTIONS

Section 7.11 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Act reads as follows:

“(1) If a consent authority is satisfied that development for which development consent is sought will or is likely to require the provision of or increase the demand for public amenities and public services within the area, the consent authority may grant the development consent subject to a condition requiring:

- (a) the dedication of land free of cost, or*
- (b) the payment of a monetary contribution,*
- or both.*

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

- (2) *A condition referred to in subsection (1) may be imposed only to require a reasonable dedication or contribution for the provision, extension or augmentation of the public amenities and public services concerned.*

STRATHFIELD DIRECT/INDIRECT CONTRIBUTIONS PLAN

Contributions are not applicable given the nature of the proposed development.

CONCLUSION

The application has been assessed having regard to Section 4.15 of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions of consent.

Signed: Patrick Santos
Planner

PEER REVIEW

The content and recommendation of the development assessment report has undergone peer review and is satisfactory for consideration by the Panel.

Signed: M Rivera
Senior Planner

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

RECOMMENDATION

That Development Application No. 2002/132/5 for modification application to amend condition 43 and facilitate a 24-hour operation of the premises at 65-67 Rochester Street, Homebush (Lot 1 DP 1083569) be **APPROVED**, subject to the following conditions.

DETAILS OF CONDITIONS

PART A - PRESCRIBED CONDITIONS

The following are Prescribed Conditions of Development Consent under the Environmental Planning & Assessment Regulation 2000 and MUST be complied with where relevant to the subject proposal.

1. Compliance with Building Code of Australia

All building work must be carried out in accordance with the provisions of the Building Code of Australia.

2. Residential building work

(1) Building work that involves residential building work (within the meaning of the Home Building Act 1989) must not be carried out unless the principal certifying authority for the development to which the work relates:

(a) in the case of work to be done by a licensee under that Act:

- (i) has been informed in writing of the licensee's name and contractor licence number, and
- (ii) is satisfied that the licensee has complied with the requirement of Part 6 of that Act ie. has Home Building Insurance if the work is over \$12,000.

(Note: The builder or tradesperson who proposes to carry out the work must obtain the Home Building Insurance from a company specified in the Notes at the end of the consent); OR

(b) in the case of work to be done by any other person:

- (i) has been informed in writing of the person's name and owner-builder permit number, or
- (ii) has been given a declaration, signed by the owner of the land, that states that the reasonable market cost of the labour and materials involved in the work is less than \$12,000

and is given appropriate information and declarations under paragraphs (a) and (b) whenever arrangements for the doing of the work are changed in such a manner as to render out of date any information or declaration previously given under either of those paragraphs.

(2) A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 that states that a person is the holder of an insurance policy issued for the purposes of that Part is, for the purposes of this clause, sufficient evidence that the person has complied with the requirements of that part.

PART B - OTHER CONDITIONS

Plans

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

The following conditions have been imposed to ensure the development is in accordance with the approved plans and specific requirements of Council.

- 1 (1) The development shall be completed in accordance with the approved plans dated 9 October 2002, Drawing Nos. DA03, DA04, DA05, DA06, DA07 prior to the building being used or occupied but subject to any variation as required by the conditions detailed herein.

(2) A Construction Certificate must be obtained either from Council or a privately accredited person before commencement of any construction/demolition associated with this consent.

(3) A separate application must be lodged with the Principal Certifying Authority and be approved if it is proposed to use or occupy all or part of the building prior to the development being completed.
- 2 The premises shall comply generally with the requirements of the Building Code of Australia for a Class 9b building.
- 3 The building shall not be occupied or used until the development has been completed in accordance with the conditions of this consent, construction has been completed in accordance with the Construction Certificate and an Occupation Certificate has been issued.

Financial Matters

The following conditions have been imposed to require payment for identified works or services, to require bonds to ensure compliance with various conditions and to safeguard against damage to Council property.

- 4 A bond of \$5,000 in the form of cash or bank guarantee shall be lodged with Council **prior to issue of the Construction Certificate.**

This bond covers the following matters listed as conditions of this consent:

- a) connection to Council's stormwater drainage system
 - b) installation and maintenance of sediment control measures for the duration of construction activities
and will be released upon satisfactory completion of these items.
- 5 A security payment of \$4,094.80 (comprising \$4,000 refundable bond, \$86.20 non-refundable administration fee and \$8.60 GST) against damage or harm to any Council property shall be paid to Council **prior to issue of the Construction Certificate.**

(2) The security payment referred to in (1) is also to ensure there is no building debris/material left on adjoining Council (Community) land and may be used to recover the costs of Council cleaning the land.

6 (1) Where Council is requested to carry out the post approval inspections, a fee of \$1,100.00 (comprising \$1,000.00 inspection fee and \$100.00 CST) shall be paid **prior to the carrying out of any of the inspections.**

(2) Any re-inspection which is necessary due to site access not being available, defective work,- or the matter not being ready for inspection will be charged at the rate of \$110.00 (Comprising \$100.00 fee and \$10.00 CST) per re-inspection. Any such additional re-

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

inspection fee will be notified in writing by Council and shall be paid prior to release of the damage deposit. If the additional fee is not paid it will be deducted from the damage deposit.

- 7 (1) Payment of the Long Service Levy as required by section 109F(1) of the Environmental Planning & Assessment Act 1979 for all building work over \$25,000. **Note: The cost of the building work must be rounded to the nearest \$100.**

(2) The levy of 0.2% of the cost MUST be paid at the Council (or provide evidence of payment direct to the Long Service Payments Corporation) prior to issue of the Construction Certificate.

Parking/Traffic Matters

The following conditions have been imposed to require compliance with Council's parking requirements and to assist in traffic safety

- 8 Off-street parking spaces numbered 1 space closest to Abbotsford Road frontage on the plans referred to in Condition one (1) shall be marked for use by Disabled Persons.
- 9 A sign shall be erected which is visible to persons driving along Rochester Street that indicates parking is available for use by patrons of the development.
- 10 At the point of vehicular egress from the site, a sign shall be conspicuously displayed and maintained indicating that no vehicles are to be driven in reverse across the footway and that vehicles must stop before crossing the footpath.
- 11 Materials and finishes for the parking and vehicle access area shall be in accordance with details indicated on the Landscape Plan job number 02-1 18w prepared by Taylor Brammer landscape architects and dated 8.10.2002
- 12 (1) A vehicular access driveway shall be constructed for the development in accordance with Council's standard drawing 500-01 or 500-02. Driveways shall be located a minimum of 1.0m clear of any existing stormwater pits, lintels or poles and 2m clear of any trees with the road reserve. The maximum width of driveways within the road reserve shall be 6m.
- (2) Application for a Works Permit shall be made to Council's Operations Department prior to undertaking the construction of the crossing.
- 13 All vehicular crossings shall be relocated to be at least 1m clear of any poles, pit inlet and 2m clear of any trees within the road reserve.
- 14 All redundant vehicular crossings shall be removed and replaced with kerb and gutter and footpath at no cost to Council. A Works Permit from Council's Operations Department is required prior to undertaking the work.
- 15 A Works Permit shall be obtained from Council's Operations Department 48 hours prior to undertaking any works on public/Council controlled areas. This includes any work on the nature strip, footpaths, driveways, stormwater outlets, Council's drainage, kerb & guttering and roadways. This permit must be on site at all times and produced on request from any Council Officer.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

16 The applicant or any contractors carrying out works in public or Council controlled lands shall have public liability insurance cover to the value of \$10 million, and shall provide proof of such cover prior to carrying out the works.

16A The carpark must display appropriate signs to regulate all 90 degree angle parking spaces so vehicles are to park front to wall only in these spaces.

ADDED 03/06/2021: DA2002/132/5

Drainage/Stormwater

The following conditions have been imposed to ensure drainage is in accordance with Council's Stormwater Management Code and that measures are taken to regulate stormwater flow.

17 Stormwater runoff from all roof and paved surfaces shall be collected and discharged by means of a gravity pipe system to the Sydney Water channel subject to the requirements of Sydney Water.

18 Details of the proposed method of stormwater disposal shall be prepared by a suitably qualified professional civil engineer in accordance with the requirements of the Council's Stormwater Management Code and approved **prior to issue of the Construction Certificate**.

19 On-site Stormwater Detention storage shall be provided in conjunction with the stormwater disposal. This storage shall be designed in accordance with Council's Stormwater Management Code. Details of the storage shall be submitted and approved **prior to issue of the Construction Certificate**.

20 Allowance shall be made for surface runoff from adjacent properties, and to retain existing surface flow path systems through the site. Any redirection or treatment of these flows shall not adversely affect any other properties.

21 Overflow paths shall be provided to allow for flows in excess of the capacity of the pipe/drainage system draining the site, as well as from any on-site stormwater detention storage.

22 (1) **Prior to occupation/use of the building and release of any security bonds**, written verification from a suitably qualified professional civil engineer shall be obtained, stating that all stormwater drainage and related work has been constructed in accordance with the approved plans.

(2) In addition, full works-as-executed plans, prepared and signed by a registered surveyor shall be submitted. These plans shall include levels and location for all drainage structures and works, buildings (including floor levels) and finished ground and pavement surface levels.

23 Habitable floor levels shall be a minimum of RI-11.50 AHD (0.5m free board).

24 Garage floor levels shall be at a minimum of RI-11.00 AHD.

25 (1) For drainage works

b) connecting to Council's stormwater drainage system

inspections will be required:-

(i) after the excavation of pipeline trenches

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

- (ii) after the laying of all pipes prior to backfilling
 - (iii) after the completion of all pits and connection points
- (2) A minimum of 24 hours notice shall be given to Council to obtain an inspection. inspections may be arranged by telephoning Council's Infrastructure Planning Section on 9748-9938 during office hours. Work is not to proceed until the works or activity covered by the inspection is approved.
- 26 Temporary measures shall be provided and regularly maintained during construction to prevent sediment and polluted waters discharging from the site Plans showing such measures in accordance with the NSW Department of Housing, Managing Urban Stormwater, Soils and Construction Manual dated August 1998 shall be submitted and approved **prior to the issue of the Construction Certificate**.
- 27 (1) A Positive Covenant under Section 88E of the Conveyancing Act shall be created on the title of the property detailing the on-site stormwater detention system incorporated in the development. The wording of the instrument shall be submitted to, and approved by Council prior to lodgment at the Land Titles Office. The instrument shall be registered **prior to occupation/use of the building** and a registered copy of the document shall be submitted to Council **prior to the release of the drainage bond**.
- (2) The positive covenant referred to above is required to prevent future modification or alteration without written consent of Council, and to ensure suitable maintenance
- 28 The boundary fences shall be constructed in materials that allow unobstructed passage of surface stormwater flows. Fencing details shall be submitted and approved **prior to the issue of the Construction Certificate**.
- 29 Any boundary fencing shall be erected in such a manner as not to interfere with the natural flow of ground water to the detriment of any other party.

Public Authority Matters

The following conditions have been imposed to ensure the requirements of the relevant Public Authorities have been met.

- 30 Satisfactory arrangements shall be made with the telecommunication carriers for the provision of underground communication services, **prior to the commencement of work**.
- 31 (1) Arrangements shall be made with the relevant authority/carrier for the undergrounding of electricity and telecommunication services located along the Abbotsford Road and Rochester Street frontage of the development site.
- (2) Any disturbance to footpaths as a result of the undergrounding of services shall be restored at no cost to Council. A Works Permit from Council's Operations Department is required prior to undertaking the work.
- 32 (1) A Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained. Application must be made through an authorised Water Servicing Coordinator, for details see the Sydney Water website www.sydneywater.com.au/customer/urban/index or telephone 13 20 92.
- (2) Following application a "Notice of Requirements" will be forwarded detailing water and sewer extensions to be built and charges to be paid. Please make early contact with the

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

Coordinator, since building of water/sewer extensions can be time consuming and may impact on other services and building, driveway or landscape design.

(3) The Section 73 Certificate must be submitted to the Principal Certifying Authority **prior to release of the linen plan/occupation of the development.**

33 (1) A Work Method Statement which includes details of measures to protect public and private property during demolition shall be submitted to WorkCover NSW for approval.

(2) A copy of the approval of WorkCover shall be submitted to Council **prior to work commencing on the demolition.**

Landscaping/Tree Matters

The following conditions have been imposed to ensure landscape of the site and the protection and replacement of trees during construction.

34 The existing Abbotsford Road and Rochester Street 1.8 metre pedestrian pavement minimum widths and existing general alignments are to be maintained and to remain unobstructed. Stair walling and handrails, garden bed and small feature tree planting (x2) beyond the property boundary and within the Abbotsford Road pedestrian pathway are to be deleted from the plans. Details are required **prior to the issue of the Construction Certificate.**

35 An additional Brush Box (*Lophostemon confertus*) street tree in 100 litre size container is to be planted approximately 4 metres to the east of the proposed vehicular access driveway within the alignment of the existing grassed verge. A four (4) metre long x approximately 2.4 metre wide (the width available between kerb and existing pedestrian pathway alignment) soft landscape area is to be provided around the base of the tree.

36 All paving in the street areas adjoining the site shall be undertaken to match existing paving in the Homebush Village area.

37 The proposed pedestrian pavement treatment (to match Homebush Village area) is to be extended along the existing 1.8 metre pedestrian pavement alignment to the Rochester Street frontage.

38 A minimum 300mm wide landscaped strip is to be provided to the full length of the southern common boundary adjacent to the carpark. A continuous planting of evergreen climbing/screening plants is required to this landscape strip.

39 A planting schedule is to be included on the Landscape Plan indicating plant species, location, quantities and container sizes. All trees are to be indicated as 100 litre size containers. This detail is required **prior to the issue of the Construction Certificate.**

40 A fully automated irrigation system is to be specified to all landscape areas including planter areas. This detail is required **prior to the issue of the Construction Certificate.**

41 Cross banding should be indicated to the proposed pedestrian pavement as per the existing Homebush Village paving- Banding should tie in with proposed architectural features and tree bays etc and/or at approximately every 4-6 metres. This detail is required **prior to the issue of the Construction Certificate.**

Site Operation

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

The following conditions have been imposed to ensure the operation of the development has minimal impact on the neighbourhood.

- 42 All loading and unloading of goods, material, equipment and the like shall take place within the site.
- 43 ~~The hours of operation shall be restricted to Library (Monday — Thursday 10am to 8pm, Friday 10am to 6pm, Saturday 9am to 4pm, Sunday 1pm to 5pm).~~

The hours of operation are approved as follows:

- a) **The core hours of operation of the premises shall be limited to the following:**
- a. **Monday to Thursday: 10.00 AM to 8.00 PM,**
 - b. **Friday: 10.00 AM to 6.00 PM,**
 - c. **Saturday: 9.00 AM to 4.00 PM, and**
 - d. **Sunday: 1.00 PM to 5.00 PM.**
- b) **Notwithstanding (a) above, the use may operate 24 hours 7 days per week Monday to Sunday. The extended hours of operation may be reviewed by Council at any time.**
- c) **Any review of the extended hours of operation in (b) above by Council will be based on, among other things, the performance of the operator in relation to the compliance with the development consent conditions, any substantiated complaints received and any views expressed during public consultation or from other stakeholders including the Police.**
- d) **Following a review, Council may allow the use to continue to operate for the hours specified in (b) above, require the use to revert to the core hours of operation specified in (a) above or otherwise modify the condition as considered appropriate.**

The purpose of the reviewable condition is to allow ongoing assessment of the hours of operation in relation to neighbourhood amenity, public safety and operational performance and allow management to demonstrate successful practices in relation to the above.

AMENDED 03/06/2021: DA2002/132/5

- 44 The hours of operation shall be restricted to Meeting Room (Monday to Saturday 9am to 10pm, Sunday 10am to 6pm).
- 45 All persons and organisations making bookings for the Meeting Room shall be advised of the location of the Library carpark and shall be requested to encourage their patrons/members to utilise this area.
- 46 No storage of goods, material, equipment, machinery, refuse, or refuse bins (including industrial waste containers) shall take place in any area external to the building nor shall the same be stored or placed within the road reserve except in accordance with Council's Materials on the Footpath Policy.
- 47 (1) Council approval shall be obtained for:

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

(a) the erection of any advertising structure attached to the building or building or proposed to be erected on the same land as the building is situated.

"advertising structure" means a structure used or to be used principally for the display of an advertisement.

(b) the painting of any advertisement on the building or on any fence or other structure (not being an advertising structure) on the same land as the building is situated.

"advertisement" means the display of symbols, messages or other devices for promotional purposes or for conveying information, instructions, directions or the like, whether or not the display includes the erection of a structure or the carrying out of a work.

(2) Notwithstanding (a) above, business identification signs may be displayed, erected or painted within the building and at ground floor level on the front facade of the building without Council approval.

"business identification sign" means an advertisement which in respect of any place or premises to which it is fixed contains all or any of the following:

a) a reference to the identification or description of the place or premises;

b) a reference to the identification or description of person residing or carrying on an occupation at the place or premises;

c) particulars of any occupation carried on at the place or premises;

d) such directions or cautions as are usual or necessary relating to the place or premises or any occupation carried on there;

e) particulars or notifications required or permitted to be displayed by or under any Act or any Act of Parliament of the Commonwealth;

f) particulars relating to the goods, commodities or services dealt with or provided at the place or premises;

g) particulars of any activities held or to be held at the place or premises;

h) a reference to an affiliation with a trade, professional or other association relevant to the business conducted on the place or premises.

(3) No advertising structure or advertisements shall be stored or displayed on the public footpath area except in accordance with Council's Materials on Footpath policy.

(4) Any advertisement or advertising structure shall not be illuminated or floodlit without the prior consent of the Council.

48 Any noise emanating from the use at any time shall:-

(a) not have any detrimental effect on the adjoining residential amenity-

(b) generally comply with the criteria in chapters 20 & 21 of the Environmental Noise Control Manual published by the Environment Protection Authority

49 No retail sale of any goods shall take place from the site.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

- 50 ~~The operating noise level of plant and equipment shall not exceed 5dB(A) above the background noise level when measured at the boundaries of the premises.~~

The use of the premises must not give rise to the transmission of offensive noise to any place of different occupancy. Offensive noise is defined in the [Protection of the Environment Operations Act 1997](#) (as amended).

MODIFIED 03/06/2021: DA2002/132/5

- 51 An updated safety and security plan shall be prepared for the site and shall consider all risks to users of the site and adjoining properties and facilities as a result of the new building.
- 51A An updated safety and security plan shall be prepared for the site and shall consider all risks to users of the site and adjoining properties and facilities as a result of the new hours of operation.

ADDED 03/06/2021: DA2002/132/5

- 51B The lights in the first floor office be turned off during unstaffed hours, with the exception of the hours needed by any cleaners to perform their duty.

ADDED 03/06/2021: DA2002/132/5

- 51C The blinds of the southern elevation windows, facing the northern elevation of the southern neighbour, must be put down during the unstaffed hours.

ADDED 03/06/2021: DA2002/132/5

Construction Matters

The following conditions have been imposed in relation to site matters during construction

- 52 A certificate and steel details from a structural engineer (see Advice 6 at the end of this consent) to be furnished prior to issue of the Construction Certificate indicating that the size of the footings, reinforcing steel, the floor slab and stairway construction are satisfactory for the proposed building.
- 53 Certification shall be obtained from a registered surveyor at the following stage(s) of construction to ensure approved levels are achieved.-
- (a) footings excavation prior to placement of concrete
 - (b) ground floor level prior to placement of concrete
 - (c) car park/garage level prior to placement of concrete or pavement.
- 54 (1) The existing ground levels shall not be altered except in accordance with the levels shown on any plan approved as part of this consent.
- (2) Finished ground surface levels shall match the existing levels at the property boundary.
- (3) Any survey plan shall also show the extension of these levels onto adjoining properties.
- (4) If the existing ground levels are altered during construction, Council may require a survey plan of the finished ground levels to be prepared and submitted **prior to issue of the Occupation Certificate** to ensure there has been no alteration to the pre-development levels.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

- 55 (1) All construction work and demolition work shall be:
- (a) restricted to 7am and 5pm (Eastern Standard Time) and 7am to 7pm (Daylight Saving Time).
 - (b) restricted to Mondays to Saturdays (inclusive).
 - (c) prohibited on Sundays and public holidays.
- (2) Construction hours may be varied with the written approval of the Director, Technical Services in special circumstances in accordance with the following:-
- (a) written request must be made in advance with sufficient time given to consider such request, including notification to adjoining residents if necessary;
 - (b) the construction hours may only be varied upon receipt of the written approval.
- 56 (1) Council approval shall be obtained for any construction zone required for the development.
- (2) Any such approval may be subject to further conditions including the payment of installation and Council fees.
- 57 No storage of goods, material, equipment, machinery, refuse, or refuse bins (including industrial waste containers) and the like shall take place on the public footpath or carriageway during construction of the proposed development.
- 58 (1) The footpath or driveway must not be removed until a Works Permit is obtained from Council's Operations Department.
- (2) Council's property, which includes the footpath, driveway and naturestrip, shall be maintained in a safe condition throughout the works.
- (3) Council may give notice to perform temporary repairs to Council's property in order to ensure public safety.
- 59 Under no circumstances shall spoil or building materials be deposited on the Council's footpath or carriageway; such footpath and carriageway are to remain unobstructed at all times.
- 60 Precautions shall be taken to restrict the transfer of mud and material to Council's roads or public place. Should such debris be transported onto the road, it shall be cleaned forthwith.
- 61 Noise shall be minimised as far as practicable during works on site and only equipment fitted with approved silencing devices where applicable shall be used.
- 62 All precautions shall be taken to minimise any dust nuisance arising from the site.
- 63 The following MUST be inspected by Council staff or other suitably qualified person. **All inspections by Council staff must be arranged by telephoning 97489911 by 4pm on the day before the inspection is required.** Council cannot guarantee inspections arranged after this time:-
- (a) Sediment control measures to be inspected at least weekly and/or in conjunction with other inspections listed below to ensure they are maintained during construction.
 - (b) Any pier holes (if pier holes are required to accommodate components of this structure).
 - (c) Any foundation material before the placement of any component of this structure.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

- (d) Trenches and pier holes with reinforcing steel in position but before concrete is poured (if components of this structure).
 - (e) When damp proof course and flashings are placed in position.
 - (f) All reinforcement of floors, slabs, columns, beams and stairs (if components of this structure).
 - (g) Any structural components (i.e. timber framework, structural steelwork or the like) before fixing any lining or covering.
 - (h) Wet area damp proofing and flashing before covering.
 - (i) Any drainage lines including any agricultural subsoil drainage lines (if these are a component of this project) prior to any covering or filling.
 - (j) The reinforcing steel after it has been placed in position prior to pouring of any concrete.
 - (k) Tree protection - to establish/inspect tree protection measures to be carried out prior to commencement of building works. If practical, works should not commence prior to these tree protection measures are implemented to satisfactory standard.
 - (l) Landscape final - to establish/determine whether site landscaping has been implemented in accordance with approved landscape plans and or conditions. To determine bond period and amount.
 - (m) Tree final - to determine whether trees have been retained, protected or planted in accordance with arborist report and/or conditions of consent to assess trees for continuing safety. To determine bond period and amount. (n) The completion of all work associated with the building.
- (2) A **Compliance Certificate** shall be issued before the building is occupied/used certifying that all inspections were carried out and that all requirements were satisfactory at time of inspection.

- 64 (1) Any dividing fence between the subject site and an adjoining property shall not be demolished/removed or a new fence erected until written approval has been given by the Director, Technical Services, based on the following:
- (a) There is written agreement from both owners as to the location, style, type and form of dividing fence; or
 - (b) The local court has made a determination under the Dividing Fences Act as to what constitutes a "sufficient dividing fence" including any direction as to costs.
- (2) Notwithstanding (1) above the replacement of an existing timber paling fence with another timber paling fence of the same height and configuration does not require approval providing

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

the adjoining owner agrees to the replacement fence as required under the Dividing Fences Act.

- 65 (1) If the work involved in the erection or demolition of a building:
- (a) is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
 - (b) building involves the enclosure of a public place,
- a hoarding or fence must be erected between the work site and the public place.
- (2) If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
- (3) The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.
- (4) Any such hoarding, fence or awning is to be removed when the work has been completed.
- 66 (1) A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is being carried out:
- (a) stating that unauthorised entry to the work site is prohibited, and
 - (b) showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.
- (2) Any such sign is to be removed when the work has been completed.
- (3) This clause does not apply to:
- (a) building work carried out inside an existing building, or
 - (b) building work carried out on premises that are to be occupied continuously (both during and outside working hours) while the work is being carried out.
- 67 (1) Toilet facilities are to be provided, at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out, at the rate of one toilet for every 20 persons or part of 20 persons employed at the site
- (2) Each toilet provided:
- (a) must be standard flushing toilet, and
 - (b) must be connected:
 - (i) to a public sewer, or
 - (ii) if connection to a public sewer is not practicable, to an accredited sewage management facility approved by the council, or

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

(iii) if connection to a public sewer or an accredited sewage management facility is not practicable, to some other sewage management facility approved by the council.

(3) The provision of toilet facilities in accordance with this clause must be completed before any other work is commenced.

68 Submit a comprehensive waste management plan for the proposed library development **prior to the issue of the Construction Certificate**. Such plan shall address demolition, construction and operational waste arising from the library after the completion and shall include the following information:

(a) Type and likely quantity of waste arising from demolition and construction activities;

(b) Storage, disposal and recycling measures for all demolition and construction waste, including disposal points;

(c) Provision in the waste storage and recycling area for at least 240 litre garbage bins and 3 x 240 litre recycling bins for the management of all library waste. Note: In this regard, the designated waste storage area shall be under cover and big enough to store at least the 6 x 240 bins as required;

(d) The system to be used to ensure garbage bin and recycling bins are placed out for collection on the appropriate day(s) and returned to the designated waste storage area after emptying.

69 All works undertaken on the site shall comply with the Waste Management Plan approved for the proposed development.

70 A suitable soil erosion and sediment control plan covering the demolition and construction phases of the proposed development shall be submitted **prior to the issue of the Construction Certificate or before the commencement of an associated site workst which ever occurs first**.

71 All mitigative measures identified in the Soil Erosion and Sediment Control Plan shall be implemented before commencing site works and shall be maintained until the development is completed and the land is stabilised.

Building Matters

The following conditions have been imposed to ensure specific aspects of the building are in accordance with Council policy and legislative requirements.

72 Details of all external building materials, including samples of proposed finishes and colours, are to be submitted and approved **prior to the issue of the Construction Certificate**. Materials should be consistent with the schedule of finishes indicated in the Statement of Environmental Effects submitted with the application.

73 All timbers shall be in accordance with the sizes detailed in the Standards Association of the Australian Timber Framing Code, Australian Standard 1684 unless a structural engineer's (see Advice 6 at the end of this consent) certificate indicating the suitability of alternative dimensions is submitted.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

- 74 0(1) Treatment for the protection of the building from subterranean termites shall be carried out in accordance with AS3660, Part 1, "Protection of Buildings from Subterranean Termites Part 1 : New Buildings".
- (2) Certificates of treatment shall be submitted to Council **prior to occupation of the building** and a notice of treatment in accordance with the standard shall be affixed to the building (BCA clause 1.1, BI .3)
- 75 For the purposes of child safety and energy conservation all new or replacement hot water systems shall include a mixing device/vatve which will deliver hot water to a maximum 50* C at the outlet of all taps, shower roses and the like in bathrooms, ensuites and similar areas used for personal hygiene.
- 76 (1) For the purpose of water conservation, all
- (a) water closets installed within the building/additions are to have a maximum 6/3 litre dual flush cistern;
- (b) shower heads and taps are to be fitted with reduced water flow devices; and
- (c) shower heads, toilets and aerators on bathrooms and kitchen hand basins and sinks shall be at least AA+ rated water efficient.
- (2) Installation must comply with manufacturer's specifications.
- 77 If the soil conditions require it:
- (a) retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil must be provided, and
- (b) adequate provision must be made for drainage.
- 78 (1) If an excavation associated with the erection or demolition of a building extends below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation to be made•
- (a) must preserve and protect the building from damage, and
- (b) if necessary, must underpin and support the building in an approved manner, and
- (c) must, at least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.
- (2)The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out for the purposes of this clause, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.
- (3) In this clause, allotment of land includes a public road and any other public place.
- 79 The external steps serving the kitchenette shall be replaced with a ramp having a gradient of 1:8. Amended plans shall be submitted to and approved by Council **prior to the issue of a Construction Certificate.**

Demolition

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

The following conditions control/regulate demolition associated with the proposal.

- 80 Demolition shall be carried out in accordance with Australian Standard 2601 1991.
- 81 All demolition material shall be removed from the site within seven (7) days of demolition (unless otherwise stipulated in writing from Council) unless such material is to be re-used in the development on the site and shall be stored in a clear and tidy manner and not within the dripline of any tree.
- 82 Burning off of any demolition material is not permitted.
- 83 Demolition shall not commence until required hoardings are erected.
- 84 Adequate fire precautions shall be taken at all times to prevent the possibility of fire.
- 85 (1) All utility services shall be made safe prior to the commencement of demolition.
(2) The relevant supply authority/tradesman shall certify that such has been made safe prior to commencement of demolition.
- 86 The site shall be kept vermin free at all times.
- 87 On-site stacking/storage of material shall be carried out at the rear of the property and not within the dripline of any tree.
- 88 Waste containers shall be stored wholly within the property and not on the public footpath, place or road.
- 89 The demolition of the building shall be carried out by a licensed demolition contractor. A copy of the licence shall be submitted to the Principal Certifying Authority **prior to any work commencing on site**.
- 90 Details demonstrating that excavated and demolished materials will be disposed of at an approved site, as required by Department of Planning Circular DI 3, shall be submitted **prior to any work commencing on site**.

Fire Safety Measures

The following conditions ensure adequate fire safety measures are included in the building.

- 91 A schedule of existing and/or proposed essential fire or other safety measures to be installed, and the minimum standard to which these measures must be designed, installed and/or maintained under Part 7B of the Environmental Planning & Assessment Regulation shall be submitted **prior to issue of the Construction Certificate**.

Hoardings

The following conditions have been imposed to protect the public and adjoining property.

- 92 (1) overhead protective structure (as set out in the Code of Practice issued by WorkCover NSW) shall be erected along the street frontage to protect the public.
(2) The overhead protective structure shall be erected before any building work reaches ground level.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

(3) A Works Permit from Council's Operations Department is required prior to erecting any structure over or on Council's footpath.

93 (1) No advertisements of any kind shall be affixed to hoardings/ overhead protective structures excepting a board not exceeding 2.4m x 1.8m on which may be shown the architect's/builder's/demolisher's names or any particulars regarding the subject building and notices regarding the existing or future occupancies in the building

(2) Hoardings/overhead protective structures at ground level shall be covered up to 2 metres above ground level with chain wire, chicken wire or other such material in order to preclude the fixing of posters.

(3) A sign "Billposters will be Prosecuted" shall be attached or printed on the hoarding/overhead protective structures so it is visible from the street or other adjoining public place.

(4) A Works Permit from Council's Operations Department is required prior to erecting any structure over or on Council's footpath.

94 A permit shall be obtained from Council for the creation of any required construction zone prior to work commencing.

Mechanical Ventilation

The following conditions ensure there is adequate mechanical ventilation provided for the development.

95 If it is proposed to install a ducted air-conditioning system in the premises, full details of such proposal shall be submitted to Council for approval prior to any work commencing on the installation of such air-conditioning system.

~~96 **As required by the Noise Control Act and Regulations, air-conditioning units shall not be audible in any residential premises between the hours of 10pm and 8am on consecutive days.**~~

DELETED 03/06/2021: DA2002/132/5

97 The mechanical ventilation/air conditioning/exhaust system shall be maintained in continuous operation at all times the premises are occupied or in use.

98 The air conditioning system shall meet the minimum requirements for fresh air/occupancy as determined from Table 3.1 of ASI 668.

99 All dehumidification condensates or other liquid wastes arising from ventilation equipment plant or equipment shall be conveyed via a closed pipe to the building sewerage service.

Subdivision

The following conditions have been imposed to ensure that the subdivision satisfies the requirements of the relevant legislation and specific Council requirements.

100 (1) The site shall be consolidated into one allotment (Lots 1 and 2 DP 311277)

(2) Such plan of consolidation shall be either:

approved by the Council, or

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

lodged with the Land Titles Office (with proof of lodgement being furnished to the Council)

prior to issue of the Construction Certificate and shall be registered prior to issue of the Subdivision Certificate.

AS AMENDED IN THE CONSENT LETTER TO MODIFY DA2003/132 (now known as DA2002/132) DATED 06 MARCH 2003

Disabled Access

The following conditions have been imposed to ensure that the development provides for adequate access and facilities for persons with disabilities

- 101 Access to the building for persons with disabilities shall be in accordance with the requirements of the Building Code of Australia Part D3 - "Access for People with Disabilities" AS1428.1 and Disability Discrimination Act.
- 102 Facilities for disabled persons shall be provided in the building in accordance with Part F2.4 and Table F2.3 of the Building Code of Australia. Details shall be provided with plans submitted with the Construction Certificate.
- 103 Access for persons with disabilities to and throughout the building shall comply with the Building Code of Australia.
- 104 The passenger lift shall be an accessible lift and comply with the Building Code of Australia and AS1735.12.

General

The following conditions have been imposed to ensure there is minimal impact during construction and that specific Council requirements are met.

- 105 Details of external lighting proposed in connection with the development shall be submitted and approved by the Council prior to the installation thereof
- 106 The existing ground levels around the building shall not be altered.
- 107 Separate consent shall be obtained for any future commercial café or related commercial kitchen facility in the building.
- 108 Fitout details of the kitchenette shall be submitted to and approved by Council's Environmental Services Section **prior to the issue of a Construction Certificate.**
- 109 Details of the proposal photo-voltaic panels including the methods of fixing the panels to the structure shall be submitted to and accepted by Council **prior to the issue of a Construction Certificate.**

Lighting

The following conditions have been imposed to ensure there is minimal impact on to the neighbourhood.

- 110 **To avoid annoyance to the occupants of adjoining premises or glare to motorists on nearby roads, outdoor lighting must comply with AS 4282-1997: Control of the obtrusive effects of outdoor lighting.**

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

ADDED 03/06/2021: DA2002/132/5

- 111 Any lighting on the site shall be designed so as not to cause a nuisance to other residences in the area or to motorists on nearby roads and to ensure no adverse impact on the amenity of the surrounding area by light overspill or glare. Flashing, moving or intermittent lights or signs are prohibited.

ADDED 03/06/2021: DA2002/132/5

Safety and Security

The following conditions have been imposed to ensure safety and security of the premises, users and adjoining properties.

- 112 Closed Circuit Televisions (CCTVs) must be installed to ensure coverage of the library's internal areas and the site's perimeter.

ADDED 03/06/2021: DA2002/132/5

- 113 Random visits during unstaffed hours must be undertaken by Council Rangers to check the library and the carpark on a daily basis.

ADDED 03/06/2021: DA2002/132/5

REVIEW OF DETERMINATION

Section 82A of the Act allows the applicant/owner to request Council to review the determination of the application. Any such request must be made within twenty-eight (28) days of the Notice of Determination being issued and be accompanied by the required fee.

RIGHT OF APPEAL

If you are dissatisfied with this decision, section the Environmental Planning and Assessment Act, 19791 gives you the right to appeal to the Land and Environment Court within 12 months after the date on which you receive this notice.

WARNING

NO WORK CAN COMMENCE UNTIL YOU HAVE OBTAINED A CONSTRUCTION CERTIFICATE

SIGNED on behalf of the
Strathfield Municipal Council


GEOFF BAKER
PUBLIC OFFICER

END CONDITIONS

ADVICE

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

The following matters are included as advice as relative to this application:

- 1 (a) Section 95A of the Act provides that the applicant or any other person entitled to act on the consent may apply to the Council, before the consent lapses, for a 1 year extension.

(b) The consent will lapse unless the use or building, engineering or construction work related to the building is physically commenced on the land prior to the consent lapse date shown on page 1 of this consent.
2. In accordance with the Tree Preservation Order applying to the Strathfield Council area, any tree having a height greater than 4.0 metres or a girth greater than 0.5 metres measured at a point 1.0 metres above ground level, is not to be ringbarked, cut down, lopped, injured or wilfully destroyed excepting with the written consent of the Council.
3. Section 125 of the Act provides that any person who contravenes or causes or permits to be contravened the conditions of this consent or the Tree Preservation Order shall be guilty of an offence.
- 4 (a) Section 126 of the Act provides that a person guilty of an offence against this Act shall, for every such offence, be liable to the penalty expressly imposed and if no penalty is so imposed to a penalty not exceeding \$1 10,000 and to a further daily penalty not exceeding \$1 1 ,000.

(b) Penalty infringement notices (on-the-spot fines) can also be issued for breaches of the conditions of development consent.
5. The contributions required under s94 of the Act are set out in the Section 94 Contributions Plan which can be viewed at Council's Customer Service Centre, 65 Homebush Road, Strathfield during normal business hours.
6. An application for a Construction Certificate complying with the Building Code of Australia and the Environmental Planning & Assessment Act for the proposed works, shall be submitted to and approved by the Principal Certifying Authority **prior to any commencement of building work associated with this consent.**
7. Your attention is directed to the operation of the Commonwealth Disability Discrimination Act 1992 and the New-South Wales Anti-discrimination Act, which may impose greater obligations on providing access for persons with disabilities other than compliance with the Building Code of Australia. You are advised to seek advice from the Human Rights and Equal Opportunity Commission on (02) 9284-9600 or 1800-021199 in respect of the matter subject of this consent.
8. APPROVED INSURERS for Residential Building work under the Home Building Act 1989 are:

Home Owners Warranty, a division of HIA Insurance Services Pty Ltd, underwritten by a panel of approved insurers managed by the lead insurer, Royal and Sun Alliance Insurance Australia Limited.

- job-specific policies
- cover for builders and tradespeople
- cover for owner-builders

Contact number: 1300-363077

PO Box 3077
Parramatta NSW 2124

FAI General Insurance Company Limited, Master Home Warranty

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

- job specific, Annual Blanket Extra and Annual Blanket policies
 - cover for builders and tradespeople
- To purchase Master Home Warranty by credit card contact 1800-1500.888*

For your nearest Master Home Warranty Outlet contact 13 1000

*333 Kent Street
Sydney 1026*

MasterCover, available through Jardine Australian Insurance Brokers Pty Ltd and the Master Builders Association (MBA). Bovill Risk & Insurance Consultants P/L (BRIC) also provides residential building work insurance underwritten by General Insurance Ltd.

- job-specific, Annual-blanket job-specific, and Annual claims-made policies
- cover for builders and tradespeople

Contact number: 1800-810856

*Jardines: L8, 66 Clarence St, Sydney
2000*

Contact number for BRIC (03)9859.7933

*BRIC: PO Box 428 East Kew Victoria
3102*

Owner Builder Insurance Services P/L, underwritten by Mercantile Mutual Insurance (Australia) Limited.

- cover for owner-builders only

Contact number: 1300-655400

*PO Box 77W Parramatta Westfield; or
Level 2, 20-24 Wentworth St Parramatta
2150*

Zurich Australian Insurance Limited

- job-specific certificates when used together with tradesperson's Liability policies
- cover for licensed tradespeople only (not licensed builders involved in home construction or major renovations)

Contact number: 1800-650517

*5 Blue Street
North Sydney 2060*

9. **BEFORE YOU DIG**, applicants should telephone or fax Sydney One Call Service (SOCS) to ascertain which utility services are underground in the proposed excavation area. Enquiries will be assisted by providing details of:

- street number and street name
- which side of street
- distance from nearest cross street

Confirmation of enquiries will be faxed by SOCS to applicants and to the individual utilities -
Phone: (02) 9806-0800 Fax: (02) 9806-0777.

DA2002/132/5 - 65-67 Rochester Street, Homebush - Lot 1 DP 1083569 (Cont'd)

ATTACHMENTS

There are no attachments for this report.