

## Agenda

# Strathfield Local Planning Panel Meeting

Notice is hereby given that a Strathfield Local Planning Panel Meeting will be held at Council Town Hall (Supper Room), 65 Homebush Road, Strathfield on:

**Thursday, 2 August 2018**

Commencing at 10:00am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.

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**TO:** Strathfield Local Planning Panel Meeting - 2 August 2018  
**REPORT:** SLPP – Report No. 1  
**SUBJECT:** DA2018/076 - 76 WATER STREET, BELFIELD  
LOT S IN DP 394194  
**DA NO.** DA2018/076

## SUMMARY

**Proposal:** Demolition of existing structures and construction of infill affordable rental housing with basement parking and strata subdivision.

**Applicant:** Urakawa Jenkins Pty Ltd

**Owner:** Mr. O & Mrs. T Abdul-Rahman

**Date of lodgement:** 30 May 2018

**Notification period:** 12 June 2018 – 5 July 2018

**Submissions received:** Nil

**Assessment officer:** MLM

**Estimated cost of works:** \$3,560,068

**Zoning:** R3 – Medium Density Residential - SLEP 2012

**Heritage:** N/A

**Flood affected:** Yes

**Is a Clause 4.6 variation proposed?** No

**RECOMMENDATION OF OFFICER:** APPROVAL

## EXECUTIVE SUMMARY

- 1.0 The proposal seeks approval for demolition of existing structures and construction of infill affordable rental housing with basement parking and strata subdivision.
- 2.0 The subject application was lodged under the Infill Affordable Rental Housing SEPP 2009 as two (2) units or 37% (169.71m<sup>2</sup>) of the gross floor area is provided as affordable housing.
- 3.0 The application was notified for a period of 21 days under the provisions of Part L of the SCDPC 2005 with no submissions received during this time.
- 4.0 During the assessment process, amended plans were submitted to Council addressing non-compliances with side setbacks, tree matters and lack of detail relating to the front fence and side elevation materials schedule.
- 5.0 Overall, the proposed development is considered suitable for the site as it will achieve an acceptable level of compatibility with the existing and future developments along Water Street and Punchbowl Road. Accordingly, the proposal is recommended for approval subject to conditions of consent.

## BACKGROUND

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Lot S in DP 394194 (Cont'd)

There is no background history relevant to the proposal.

### DESCRIPTION OF THE SITE AND LOCALITY

The subject site legally known as Lot S in DP 394194 located on the eastern side of Water Street and north of the intersection of Water Street with Punchbowl Road. The site is an irregular-shaped allotment which narrows in width toward the rear western portion of the site. The site provides a frontage width of 8.1m from Water Street, an average depth of 51.9m and a rear boundary width of 11.8m. The site has a total area of 514.9m<sup>2</sup>.

Existing development on the site comprises of an existing single storey brick dwelling with pitched tiled roof form and garage to the rear. Vehicular access is provided to the site via an existing driveway along the southern side boundary of the site (refer to Figure 1).



**Figure 1: Locality plan**

The current streetscape is in a state of transition from low-density residential development to medium density residential flat development with some mixed-use development recently approved along Punchbowl Road. The intention of the surrounding zoning, FSR and height controls as prescribed within the Strathfield Local Environmental Plan (SLEP) 2012 is to enable a gradual transition from higher density zoning focused upon Punchbowl Road to Medium Density Residential (R3) zoning and to Low Density Residential (R2) zoning further north of Water Street.



**Figure 2: Existing single storey dwellings in the streetscape. 74 Water Street, 76 Water Street and 78 Water Street (Left to right).**

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Figure 3: Townhouse development at 73 Water Street



Figure 4: Approved residential flat development at 80-82 Water Street

**PROPERTY BURDENS AND CONSTRAINTS**

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

**DESCRIPTION OF THE PROPOSED DEVELOPMENT**

The application seeks Council approval for demolition of existing structures and construction of infill affordable rental housing with basement parking and strata subdivision.

The specific elements of the proposal are:  
 Basement level:

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- Excavation to accommodate a single level of basement including five (5) off-street car parking spaces (includes 1 shared space);
- Garbage room, and
- Storage room.

Ground floor level:

- Three (3) x 1 bedroom units. Two (2) units or 37% (169.71m<sup>2</sup>) of the gross floor area is provided as affordable housing labelled as units 2 and 2.

First floor level:

- Two (2) x 2 bedroom units.

Second floor level:

- One (1) x 2 bedroom unit.

External Works:

- Associated landscaping and drainage work.

A photomontage of the proposed development is illustrated below:



## REFERRALS

### INTERNAL REFERRALS

#### Engineering Comments

Council's Engineer has commented on the proposal as follows:

*"From an engineering perspective, the concept plan is feasible and there are no objections its approval subject to conditions".*

Council's Engineer has also recommended a special condition requiring that the central water tank as required by BASIX is reflected on the amended stormwater drainage concept plans (refer to Special Condition 2).

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### Waste Comments

Council's Waste Officer has commented on the proposal as follows:

*"Bins required*

- 3 X 240L Recycling
- 3 X 240L General waste
  
- Residential garbage room space required
  - 6.62 m2
  
- Bulky Store Room space required(a section may be allocated in the garbage room for storage of bulky goods)
  - 2.4 m2"

Council's Waste Officer offered no further objections to the proposal, subject to the imposition of recommended conditions of consent.

### Landscaping Comments

Council's Tree Coordinator has commented on the proposal as follows:

*"The existing driveway will be widened and will significantly impact on the mature healthy street tree A Lophotemon confertus. The applicant is to amend the design to significantly narrow the proposed driveway to protect this tree and maintain the existing setback from its trunk. This is required prior to the Development consent."*

Amended plans were submitted during the assessment process demonstrating that the existing driveway and layback has been retained. A nil setback is now proposed along the southern side boundary of the site. Accordingly, the Council street tree will not be adversely affected.

Council's Tree Coordinator offered no further objections to the proposal, subject to the imposition of recommended conditions of consent.

### Traffic Comments

Council's Traffic Engineer has commented on the proposal as follows:

*"The car parking layout must be provided as per AS 2890.1:2004 Parking facilities – Off street Car Parking. The width of the ramp is not sufficient enough for two way access. It is required to provide some mechanical/signal system to control the vehicles entering and exiting through the ramp."*

*It was identified that the number of trips generated from the development was based on the 5 parking spaces provided. The proposed 5 parking spaces will not give the appropriate traffic generation rate as it is a minimum requirement of the State Environmental Planning Policy with the assumption that people prefer to use public transportation as it is within the accessible distance. In Guide to Traffic Generating Developments V2.2, the traffic generation rate proposed for medium density residential flat building such as smaller units and flats (up to two bedrooms) will be appropriate for this development to assess the traffic impact"*

Council's Traffic Engineer offered no further objections to the proposal, subject to the imposition of recommended conditions of consent.

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**SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979**

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within Section 4.15 of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

**4.15(1)(a) the provisions of:**  
**(i) any environmental planning instrument**

**STATE ENVIRONMENTAL PLANNING POLICY (SEPP) – BASIX 2004**

In accordance with the BASIX SEPP all new housing in NSW is required to meet a designated target for energy and water reduction.

A BASIX Certificate was submitted as part of the application which indicates that the proposal meets the required reduction targets. An appropriate condition of consent will be imposed to ensure future compliance with these targets.

**State Environmental Planning Policy No 55 – Remediation of Land**

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated as the site has historically been utilised for residential purposes only. Further, the site is not identified as a known landfill site under Part K of the SCDCP 2005. As such, there are no historic uses that would trigger further site investigations.

The objectives outlined within SEPP55 are considered to be satisfied.

**State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017**

The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

In this instance, there are no trees in or around the site which would be adversely impacted upon by the proposed development. Notwithstanding, Council’s Tree Coordinator has recommended a condition of consent to ensure that the front fence is constructed in a way so as not to interfere with the Council street tree.

**State Environmental Planning Policy (Affordable Rental Housing) 2009**

Clause	Development Control	Required	Proposal	Compliance
10	Permissibility	Permissible under SLEP 2012	Within the (R3 – Medium Density Residential) under SLEP	Yes
	Location and access to facilities	Located within an accessible area  <i>accessible area</i> means “land that is	The proposed development is located within 400m of several bus stops located on	Yes



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Clause	Development Control	Required	Proposal	Compliance
		<i>within: 400 metres walking distance of a bus stop used by a regular bus service (within the meaning of the <a href="#">Passenger Transport Act 1990</a>) that has at least one bus per hour servicing the bus stop between 06.00 and 21.00 each day from Monday to Friday (both days inclusive) and between 08.00 and 18.00 on each Saturday and Sunday."</i>	Water Street and Punchbowl Road serviced by the 415, 464, 466 and 450 routes that achieve the required minimum service levels.	
13	Affordable housing	Minimum 20%  Bonus FSR is 0.3:1  Max FSR as per SLEP 2012 0.90:1 (460.08m <sup>2</sup> )	36.89% (169.713m <sup>2</sup> ) of the development is provided as affordable housing.  Proposed FSR: 0.78:1 (397.94m <sup>2</sup> )	Yes.
14 Note: Unable to refuse based on these provisions	Site area	Min 450m <sup>2</sup>	Minimum site area is 511.2m <sup>2</sup>	Yes.
	Landscaping	Min 30% (153.36m <sup>2</sup> )	30.71% (157m <sup>2</sup> ) landscaping provided through the site.	Yes.
	Deep Soil	Min 15% (76.68m <sup>2</sup> ) with minimum dimension of 3m Preferably to the rear of the site	26.17% (133.77m <sup>2</sup> ) of the site is provided as deep soil landscaping with a minimum dimension of 3m and located to rear of the site.	Yes.
	Parking	1 bed – 0.5 spaces x 3 2 bed – 1 space x 3  <b>TOTAL = 4.5 (5) spaces required</b>	A total of (5) off-street resident parking spaces are proposed within the basement.	Yes.
	Dwelling size	1 bed 50m <sup>2</sup>  2 bed 70m <sup>2</sup>	<ul style="list-style-type: none"> <li>1 bed = 52m<sup>2</sup>, 52.8m<sup>2</sup>, and 61.78m<sup>2</sup></li> <li>2 bed = 69.5m<sup>2</sup>, 76m<sup>2</sup> and 82.7m<sup>2</sup></li> </ul>	Yes –departure is negligible and acceptable on merit.

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Clause	Development Control	Required	Proposal	Compliance
			A minor 0.5m <sup>2</sup> departure proposed to unit 4 (2 bedroom unit) however is acceptable on merit given that the unit layout is appropriate and a high level of internal residential amenity is achieved.	
15	Design requirements	SEPP 65 compliant	An assessment against the relevant ADG requirements is provided further in the report.	Yes
16	Character	Compatible with character of local area	The proposal is well articulated throughout and includes consolidated deep soil landscaped areas to allow canopy tree plantings in the front and rear portions of the site as well as along portions of the southern side boundary of the site. The development has sought a modern yet neutral colour palette with brown coloured perforated facebrick and off-form concrete which provides visual interest to the development and is generally sympathetic to the streetscape.	Yes
17	Affordable housing	Must be used as affordable housing for 10 years from the issue of OC  Must be managed by a registered community housing provider  88E instrument	A Positive Covenant is to be registered over the affordable units upon the site requiring the subject units to be retained for a period of 10 years from the date of issue of an Occupation Certificate.	Condition recommended (refer to Condition 1)
18	Subdivision	May be subdivided with consent.	Strata subdivision is proposed as part of the application with	Yes – (Refer to Conditions 67-70)

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Clause	Development Control	Required	Proposal	Compliance
			recommended conditions of consent.	

**STATE ENVIRONMENTAL PLANNING POLICY NO. 65 – DESIGN QUALITY OF RESIDENTIAL FLAT BUILDINGS**

State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Buildings (SEPP 65) aims to improve the design quality of residential flat development in New South Wales. SEPP 65 recognises that the design of residential apartments is of significance due to the economic, environmental, cultural and social benefits of high quality design. Strathfield Council does not have a design review panel referred to under Clause 28 however an assessment of the design quality of the development against the design principles of the SEPP and the relevant design criteria of the Apartment Design Guide has been undertaken in the table below:

Principle	Objective	Proposed
<b>Context and neighbourhood character</b>	<p><i>Responding to context involves identifying the desirable elements of an area’s existing or future character.</i></p> <p><i>Well designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood.</i></p> <p><i>Consideration of local context is important for all sites, including sites in established areas, those undergoing change or identified for change.</i></p>	<p>The proposed design considers the local context and is generally consistent with both the existing and the desired future character of the area.</p>
<b>Built form and scale</b>	<p><i>Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.</i></p> <p><i>Good design also achieves an appropriate built form for a site and the building’s purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements.</i></p> <p><i>Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.</i></p>	<p>The street is currently in a state of transition from low and medium density development to medium and higher density development with the introduction of a new B2 – Commercial Core zoning centered upon the Water Street and Punchbowl Road intersection.</p> <p>The proposed development achieves a well-articulated built form which responds well to the size and scale of existing and approved medium to higher density development in the streetscape.</p>
<b>Density</b>	<p><i>Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context.</i></p> <p><i>Appropriate densities are consistent with the area’s existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the</i></p>	<p>The proposed development achieves an acceptable level of residential amenity to the proposed units by orientating balconies to the east and west and proposing multiple windows along the northern and southern side elevations of the building so as to optimise solar access and provide each unit with opportunities for cross ventilation.</p> <p>A communal open space area is proposed to the rear ground level of the site for the</p>

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Principle	Objective	Proposed
	<i>environment.</i>	enjoyment of residents. It will receive ample solar access and provide a high level of amenity for future residents.
<b>Sustainability</b>	<p><i>Good design combines positive environmental, social and economic outcomes.</i></p> <p><i>Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials and deep soil zones for groundwater recharge and vegetation.</i></p>	<p>The proposed development employs the use of natural cross ventilation to reduce the dependency of the building on mechanical ventilation. Further, the proposed units optimise solar access to reduce the dependency on artificial lighting.</p> <p>The application is supported with a BASIX Certificate.</p>
<b>Landscape</b>	<p><i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well-designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.</i></p> <p><i>Good landscape design enhances the development's environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values and preserving green networks.</i></p> <p><i>Good landscape design optimises useability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity and provides for practical establishment and long term management.</i></p>	<p>The subject application is accompanied by a landscape plan. The site provides adequate landscaped areas which are integrated with a communal open space area on the ground floor. A deep soil landscape buffer with a row of screening trees is proposed along the side and rear boundaries of the site to assist in softening the built form and providing improved privacy screening between adjoining properties.</p>
<b>Amenity</b>	<p><i>Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident wellbeing.</i></p> <p><i>Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient</i></p>	<p>The development has been designed having consideration for allowing adequate natural light and ventilation through to rooms. Further, the rooms have been provided with compliant ceiling heights so as to provide a high level of amenity for future residents.</p>

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Principle	Objective	Proposed
	<p><i>layouts and service areas and ease of access for all age groups and degrees of mobility.</i></p>	
<p><b>Safety</b></p>	<p><i>Good design optimises safety and security within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.</i></p> <p><i>A positive relationship between public and private spaces is achieved through clearly defined secure access points and well lit and visible areas that are easily maintained and appropriate to the location and purpose.</i></p>	<p>The proposed building has a secure and readily identifiable entry. Balconies are orientated to overlook the public domain, central courtyard and rear yard to optimise safety and security within the development.</p>
<p><b>Housing diversity and social interaction</b></p>	<p><i>Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.</i></p> <p><i>Well designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix.</i></p> <p><i>Good design involves practical and flexible features, including different types of communal spaces for a broad range of people and providing opportunities for social interaction among residents.</i></p>	<p>The proposal provides an acceptable mixture of unit types including (3) x 1 bedroom; and (3) x 2 bedroom units.</p> <p>As previously mentioned, the proposal provides a communal open space area located upon the ground floor to the rear of the development. These spaces are considered suitably sited providing opportunities for social interaction.</p>
<p><b>Aesthetics</b></p>	<p><i>Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures.</i></p> <p><i>The visual appearance of a well-designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape.</i></p>	<p>The building is well articulated and avoids large expanses of unbroken wall with balconies orientated to both street frontages.</p> <p>The proposal incorporates a mixture of both perforated brickwork and face brickwork with accents of aluminium balusters and off form concrete. A white painted cladding material is also proposed to portions of the side elevations of the development.</p> <p>The schedule of external finishes is understated and will integrate well with the prevailing colours and materials which are prevalent within the streetscape. The</p>

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Principle	Objective	Proposed
		schedule of finishes will also integrate nicely with that of recently approved development in the immediate vicinity of the site.

**Apartment Design Guide Quality Design of Residential flat buildings**

Design Criteria	Required	Proposed	Compliance
2E - Building Depth	12m – 18m	Exceeds 18m however achieves a high level of residential amenity with compliant cross ventilation and solar access outcomes demonstrating that the proposed development is sited appropriately for the site.	Yes, acceptable on merit.
3B – Orientation	<p>Responsive to streetscape and site. Designed to optimise solar access and minimise overlooking</p> <p>Shall not further reduce solar access by more than 20%</p>	<p>The proposal is responsive to the streetscape and is designed to optimise solar access whilst minimising the potential for overlooking.</p> <p>The proposal results in a degree of unavoidable overshadowing to southern adjoining dwelling as a result of its east-west orientation.</p> <p>At 9am the proposal casts a shadow to the south west, overshadowing the road, the entire northern elevation of the southern adjoining dwelling and 50% of its rear private open space area.</p> <p>By noon, this shadow has moved south-east and now overshadows 75% of the rear private open space area including the entire northern side elevation of the southern adjoining dwelling.</p> <p>By 3pm, the shadow has moved further southeast and now overshadows the southern adjoining property in its entirety however the front yard receives solar access.</p>	No, the unfavourable east-west orientation of the site results in overshadowing to the southern adjoining single storey dwelling resulting in little solar access to the dwelling throughout the day. Refer to discussion below.
3C – Public Domain Interface	Direct street entry to ground floor apartments	Direct street entry is provided for the ground floor apartment fronting	Yes.

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	<p>Balconies/windows orientated to overlook the public domain</p> <p>Front fence design is permeable. Opportunities for concealment minimised</p> <p>Services concealed</p> <p>Access ramps minimised</p>	<p>Water Street</p> <p>Balconies and windows are orientated to overlook the public domain and communal areas in the central and rear portions of the site.</p> <p>The front fence provides landscaping to soften the built form of the residential flat building.</p> <p>Services and access ramp concealed and access ramps minimised.</p>	
3D – Communal Open Space	<p>Min. 25% (127.75m<sup>2</sup>) Min 2h to 50% communal open space at mid-winter Consolidated area Min dimension of 3m Equitable access</p> <p>Where developments are unable to achieve the design criteria, such as on small lots they should;</p> <ul style="list-style-type: none"> <li>- Provide communal open space elsewhere such as a landscape rooftop terrace;</li> <li>- Provide larger balconies or increased private open space'</li> <li>- Demonstrate good proximity to public open space and facilities.</li> </ul>	<p>10.56% (54m<sup>2</sup>) of the site is dedicated as communal open space. Based on the submitted landscape plans, the communal open space area to the rear is proposed as deep soil planting and therefore not appropriate for communal open space purposes.</p>	No, Refer to discussion below.
3E – Deep Soil Zones	<p>Min. 7% (35.78m<sup>2</sup>) Min 3m dimension</p>	<p>The proposal provides 30% (153.36m<sup>2</sup>) of consolidated deep soil area located to the front and rear portions of the site.</p>	Yes.
3F – Visual Privacy	<p>Up to 4 storeys: 0-12m</p> <ul style="list-style-type: none"> <li>• 6m between habitable rooms/balconies and the boundary</li> <li>• 3m between habitable and non-habitable rooms and the boundary.</li> </ul>	<p>A minimum 1.195m setback is provided along northern side elevation of the building with a minimum 1.1m separation provided to the southern side boundary of the site. Consequently, a number of windows do not comply with the minimum 3m and 6m separation requirements.</p> <p>Balconies orientated to the</p>	No, refer to discussion.

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		rear have been provided with vertical privacy screen fins to minimise opportunities for overlooking into the northern and southern adjoining properties.	
3G – Pedestrian Access and Entries	Entry addresses public domain Clearly identifiable Steps and ramps integrated into building design	The entry addresses the public domain and is clearly identifiable.  The vehicle ramp is integrated into the building.	Yes.
3H – Vehicle Access	Integrated into façade Visual impact minimised Entry behind the building line or from secondary frontage Clear sight lines Garbage collection screened Pedestrian and vehicle access separated	Vehicle access is integrated into the façade and provides clear sightlines.  Garbage collection is kerbside.  Pedestrian and vehicle access is separated.	Yes.
3J – Bicycle and Car Parking	The car parking needs for the development must be provided off street.  Parking facilities for motorbikes and bicycles	The basement design is appropriate for the proposal.  The fire stairs and internal lift are clearly identifiable.	Yes.  Refer to ARH SEPP discussion.
4A – Solar and Daylight Access	Min. 70% (4 units) receive 2 hours solar access.  Max. 15% units have no solar access Light wells, skylights and highlight windows are only to be a secondary source where sunlight is limited Design incorporates shading and glare control.	All units receive minimum 2 hours solar access	Yes.
4B – Natural Ventilation	Min. 60% units are cross ventilated  Light wells are not the primary source of ventilation for habitable rooms Single aspect units have limited depth to maximise ventilation.	All units are cross ventilated.	Yes.
4C – Ceiling Heights	Habitable: 2.7m Non-habitable: 2.4m 2 storey apartments: 2.7m main living area, 2.4m mezzanine Mixed Use: 3.3m ground floor.	Minimum 2.7m ceiling heights to habitable rooms.	Yes.
4D – Apartment Size	1 bed: 50m <sup>2</sup>	Each unit achieves the	Yes



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and Layout	2 bed: 70m <sup>2</sup> Additional bathrooms +5m <sup>2</sup> Each habitable room must have a window > 10% floor area of the room. If open plan layout =max 8m from a window Master bed: min 10m <sup>2</sup> Other bedroom: min 9m <sup>2</sup> Living room min. width: Studio and 1 bed: 3.6m 2 and 3 bed: 4m Crossover/through: min 4m	minimum unit size requirements.	
4E – Private Open Space and Balconies	1 bed: 8m <sup>2</sup> , min depth 2m 2 bed: 10m <sup>2</sup> , min depth 2m	The balcony to Unit 5 presents a 2m <sup>2</sup> departure from the minimum 10m <sup>2</sup> requirements. All other balconies meet the minimum depth and area requirements.	No – refer to condition 3 requiring balcony to be increased by an additional 2m <sup>2</sup>
4G – Storage	Studio: 4m <sup>3</sup> 1 bed: 6m <sup>3</sup> 2 bed: 8m <sup>3</sup> 3 bed: 10m <sup>3</sup> At least 50% within the basement	Storage area within basement and units.	Yes – Refer to Condition 6.
4H – Acoustic Privacy	Orientate building away from noise sources Party walls limited or insulated, like rooms together Noise sources (e.g. garage doors, driveways) located at least 3m from bedrooms	Like rooms adjacent to like rooms with the driveway located away from bedrooms.	Yes.
4K – Apartment Mix	Variety of apartment types Appropriate apartment mix Different apartments distributed throughout the building.	The proposal provides the following housing mix;  1 bedroom x (3) 2 bedroom x (3)	Yes.
4M – Facades	Composition of building elements.  Defined base, middle and top Building services integrated into the façade	The composition of the building façade has a defined base and top which has integrated a mixture of external finishes to provide interest to the appearance of the building and allow it to positively contribute to the presentation of development in the streetscape.  The front façade of the development is well articulated using variation in building materials to break up the composition of the development.	Yes.

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4N – Roof Design	Roof design integrated into the building Incorporates sustainability features May include common open space	A flat roof design is proposed which includes a common open space area in the central portion of the site. The proposed roof design is suitable for the scale of development.	Yes.
4O – Landscape Design	Responsive to streetscape Viable and sustainable	The landscape scheme is responsive to the streetscape and incorporates a mixture of lower level shrubs and trees.	Yes – refer Condition 14 requiring additional canopy trees to be planted on the site.
4Q – Universal Design	Variety of adaptable apartments	The proposal provides 1) unit as adaptable units providing a total of 16.7% of adaptable units throughout the building.	Yes.
4U – Energy Efficiency	Adequate natural light to habitable areas Adequate natural ventilation Screened areas for clothes drying Shading on northern and western elevations	The proposal achieves compliant cross ventilation outcomes.	Yes.
4V – Water Management and Conservation	Efficient fixtures/fittings WSUD integrated Rainwater storage and reuse	Refer to BASIX Certificate commitments.	Yes.
4W – Waste Management	Minimise impact on streetscape, building entry and amenity	The proposal provides a waste storage room in the basement for the storage of waste. The proposal requires kerbside collection of waste which is considered appropriate given that only 6 units are proposed.	Yes.
4X – Building Maintenance	Material selection reduces ongoing maintenance costs.	The proposed schedule of external finishes is understated and refined to ensure the development will evolve nicely with both the approved as well as future development in the street.  The proposed schedule of external finishes will include a mixture of face brick, off-form concrete, cladding and aluminum louvers.  The selected materials are suitable for the scale of the	Yes.

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 Lot S in DP 394194 (Cont'd)

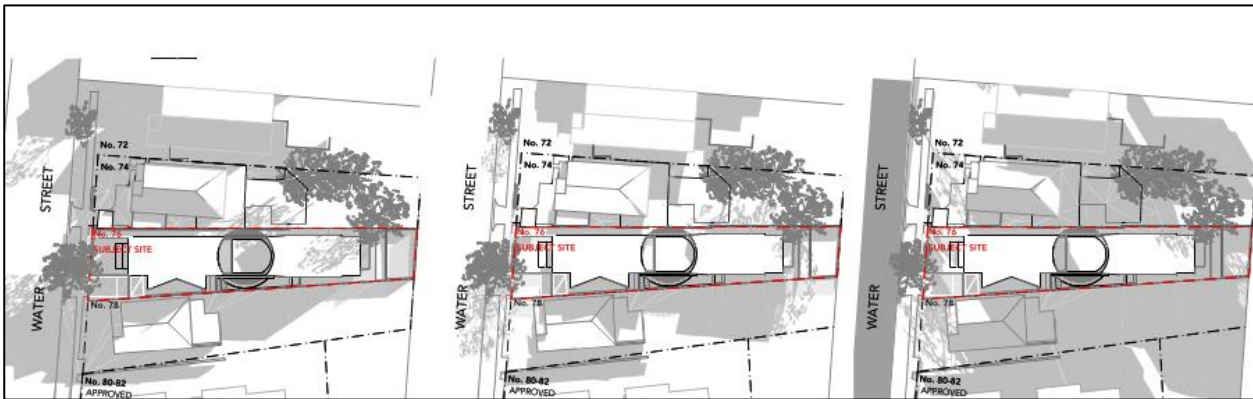
		development and are relatively durable to reduce the ongoing maintenance costs of the building.	
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**3B – Orientation**

Section 3B – ‘Orientation’ of the Apartment Design Guide requires new development to be responsive to the streetscape and site, designed to optimise solar access and not to reduce solar access by more than 20%. Due to the relatively narrow width and east-west orientation of the site, overshadowing to the southern adjoining dwelling is inevitable. Based on the shadow diagrams submitted as part of the application (refer to figure 5 and 6 below), it appears that the northern side elevation and rear private open space areas of the southern adjoining dwelling are overshadowed by the existing dwelling on the subject site.



**Figure 5: Existing extent of overshadowing in winter solstice**



**Figure 6: Proposed extent of overshadowing in winter solstice**

Based on the diagrams above, it appears that the southern adjoining dwelling will benefit from direct solar access to portions of the rear private open space areas between 9am – 12pm. Whilst it appears that by 3pm the entire rear portion of the site will be cast in shadow, the front elevation of the dwelling will receive almost direct solar access from 12pm-3pm. This will allow the dwelling to receive some direct solar access during the day.

Having consideration for the above, the submitted diagrams are indicative of the worst case scenario situation whereby overshadowing reduces considerably throughout other times of year. By 21 December, there is no overshadowing to the southern adjoining dwelling.

**3D – Communal Open Space**

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Section 3D – ‘Communal Open Space’ of the Apartment Design Guide requires a minimum 25% (127.75m<sup>2</sup>) communal open space area to be provided for the site which will achieve a minimum 2 hours solar access. The proposal seeks to provide 10.56% (54m<sup>2</sup>) communal open space area dedicated to the rear portion of the site which is considerably less than the minimum 25% requirement. Having consideration for the above, the site area is only 511m<sup>2</sup> proposing a total of 6 units, hence compliance with the minimum 25% communal open space area requirement is considered heavily onerous for the site to achieve. It is noted that the site is situated in close proximity to local parklands including Bark Huts Reserve, Ford Park and the Cooks River Chain of Ponds which provides access to a number of smaller parklands along the Cooks River for future residents to enjoy. In this regard, provision of communal open space area is not vital for the site.

Whilst the rear open space area will be provided with favourable eastern and northern solar access, a number of embellishments should be made to improve the amenity of the space including a shaded area, seating and BBQ space. A condition of consent is recommended for an amended landscape plan to be provided having consideration for such improvements being made.

**3F – Visual Privacy**

Section 3F – ‘Visual Privacy’ of the Apartment Design Guide requires a minimum 6m separation to be provided between habitable rooms and boundaries with 3m separation provided between habitable and non-habitable rooms and the boundary. Due to the narrow width of the block, compliance with the minimum separation requirements is not achievable. Alternatively, a minimum 1.195m setback is provided along northern side elevation of the building with a minimum 1.1m separation provided to the southern side boundary of the site which is significantly less than the minimum separation requirements.

The proposed development has responded well to the constrained nature of the site and placing careful consideration to the distribution of bulk through the development to achieve articulation and minimise adverse amenity impacts for adjoining residents. Further, the development has sought to minimise visual impacts to adjoining dwellings through concentrating windows and openings predominantly to the western and eastern extremities of the building. With regard to the southern side elevation of the development, a minimum 3.7m setback is provided to the front portion of the site which gradually reduces to 1.1m separation to the rear. A 2.6m setback is generally provided to the upper levels of the development to the front providing adequate building separation to the south. This is considered appropriate given that the greatest bulk is distributed to the front portion of the site. A number of screening plants are provided along the southern side boundary of the site to assist in softening the appearance of the development as viewed from the adjoining property.

With regard to the northern side boundary of the site, a minimum 1.2m setback is provided to the ground floor with a 1.4m setback provided to the first and second levels of the development. Similarly to the southern elevation of the development, openings are concentrated to the eastern and western side elevations of the development to minimise opportunities for overlooking. Notwithstanding, to improve internal residential amenity, a condition of consent is recommended to ensure that a highlight window with a minimum sill height of 1.7m above the floor be installed above the kitchen area of units 1, 3, 4, 5 and 6 so to enable improved ventilation and solar access to units (refer Condition 4).

**STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012**

An assessment of the proposal against the general aims of SLEP 2012 is included below:

<b>Cl. 1.2(2)</b>	<b>Aims</b>	<b>Complies</b>
<b>(a)</b>	<i>To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield</i>	<b>Yes</b>

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(b)	To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development	Yes
(c)	To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community	Yes
(d)	To provide opportunities for economic growth that will enhance the local community	Yes
(e)	To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use	Yes
(f)	To identify and protect environmental and cultural heritage	Yes
(g)	To promote opportunities for social, cultural and community activities	Yes
(h)	To minimise risk to the community by identifying land subject to flooding and restricting incompatible development	Yes

**Comments:** The proposed development is considered appropriate for the site and will integrate well with surrounding development in the streetscape. The proposed development is an appropriate use of the site and will promote affordable accommodation for future residents. High quality material finishes with a neutral colour palette are incorporated into the development so that it remain compatible with both the existing and more recently constructed development in the streetscape as well as potential future development in the street.

**Permissibility**

The subject site is Zoned R3 – Medium Density Residential under Strathfield Local Environmental Plan (SLEP) 2012.

Residential Flat Buildings are permissible within the R3 – Medium Density Residential Zone with consent and is defined under SLEP 2012 as follows:

**“Residential flat building** means a building containing 3 or more dwellings, but does not include an attached dwelling or multi dwelling housing.”

The proposed development for the purposes of a residential flat building is consistent with the definition above.

**Zone Objectives**

An assessment of the proposal against the objectives of the R3- Medium Density Residential Zone is included below:

Objectives	Complies
• To provide for the housing needs of the community within a medium density residential environment.	Yes
• To provide a variety of housing types within a medium density residential environment.	Yes
• To enable other land uses that provide facilities or services to meet the day to day needs of residents.	Yes

**Comments:** The proposed infill affordable rental housing development achieves the objectives of the R3 zone given that the development provides for the housing needs of the community in a medium density residential setting.

**Part 4: Principal development standards**

An assessment against the relevant development controls under Part 4 of the SLEP 2012 has been undertaken below:

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### Height of building

Cl.	Standard	Controls	Proposed	Complies
4.3	Height of building	11m	10.45m	Yes

	Objectives	Complies
(a)	To ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area	Yes
(b)	To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area	Yes
(c)	To achieve a diversity of small and large development options.	Yes

**Comments:** The proposed building height complies with the maximum permissible building height requirements for the subject site.

### Floor space ratio

Cl.	Standard	Controls	Proposed	Complies
4.4	Floor space ratio	0.90:1 (460.08m <sup>2</sup> )	0.78:1 (397.942m <sup>2</sup> )	Yes

NOTE: ARH SEPP prevails

	Objectives	Complies
(a)	To ensure that dwellings are in keeping with the built form character of the local area	Yes
(b)	To provide consistency in the bulk and scale of new dwellings in residential areas	Yes
(c)	To minimise the impact of new development on the amenity of adjoining properties	Yes
(d)	To minimise the impact of development on heritage conservation areas and heritage items	Yes
(e)	In relation to Strathfield Town Centre: <ol style="list-style-type: none"> <li>i. to encourage consolidation and a sustainable integrated land use and transport development around key public transport infrastructure, and</li> <li>ii. to provide space for the strategic implementation of economic, social and cultural goals that create an active, lively and people-oriented development</li> </ol>	N/A
(f)	In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor	N/A

**Comments:** The proposed Floor Space Ratio (FSR) complies with the maximum permissible FSR for the subject site.

### Part 5: Miscellaneous Provisions

There are no provisions contained within Part 5 of the SLEP 2012 which are relevant to the proposal.

### Part 6: Local Provisions

The relevant provisions contained within Part 6 of the SLEP 2012 are addressed below as part of this assessment:

#### 6.1 Acid sulfate soils

The subject site is identified as having Class 5 soils and is located within 500m of Class 4 soils. As the proposal is only in relation to a single level of basement parking and will not lower the watertable below 1 metre Australian Height Datum, an Acid Sulfate Soils Management Plan was not required. The proposed development has therefore satisfied the requirements of Clause 6.1 of the SLEP, 2012.

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## 6.2 Earthworks

Appropriate conditions of consent are recommended so as to ensure compliance with the sediment erosion control plan. Conditions of consent that include the preparation of a dilapidation report to be provided to adjoining property owners is also recommended.

## 6.3 Flood planning

The proposed development is identified as being flood affected by overland flows to a level of 15.50m AHD in accordance with Council's Cooks River and Cox's Creek Flood Study. Accordingly, a Flood Impact Assessment was prepared and submitted as part of the application (Alpha Engineering 5 March 2018) having consideration for the flood affectation of the site. As per the report's recommendations, the proposed development has been designed with a minimum 500mm freeboard above the 1 in 100 year flood event with all fencing to be open style so as to avoid obstructions/blockages to flood waters. This is considered acceptable and adequately satisfies the requirements of Clause 6.3 of the SLEP 2012.

## 6.4 Essential services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development.

### 4.15 (1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

### 4.151)(a)(iii) any development control plan

## STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

### PART C – MULTIPLE-UNIT HOUSING (SCDCP 2005)

Section	Development Standard	Required	Proposal	Compliance
2.2	Site Requirements	Minimum site area of 1000m <sup>2</sup> and a minimum street frontage of 30m.	N/A	Refer to ARH SEPP
	Building Street Setback	Front setback 9m. Exception where the predominant setback in the street is less than 9m.	A 6.3m front setback is provided to the streetscape elevation. Front setbacks in the streetscape vary and average between 5.5-9m. As adjoining property setbacks are approximately 5.5m, the 6.3m setback is considered acceptable on merit.	Yes.

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	Rear Setback	Determined by the building envelope (6m).	8.8m rear setback is provided.	Yes.
	Side setback	4m	No – refer to ADG assessment	N/A
2.3	Dwelling Unit and Building Design	15% (1 room) of the development is required to be designed as adaptable housing for older people or people with disabilities.	The plans indicate that (1) room has been designed as accessible (16.7%).	Yes.
	Dwelling Unit and Building Design for residential flat buildings	At least one main convenient entry is to have barrier free access to ground floor units (for people with disabilities)	Direct pedestrian access provided via the footpath from Water Street. A front fence is proposed with access from the far northern portion of the site.	Yes.
	Dwelling Unit and Building Design	Walls greater than 10m in length to be broken down or staggered.	The proposed development achieves an appropriate level of articulation throughout which breaks the visual bulk of the development and allows the development to achieve a bulk and scale which is compatible with surrounding development and is also suitable for the site.	Yes.
	Dwelling Unit and Building Design	Access to common areas without unnecessary barriers.	Common areas are made easily accessible and do not contain unnecessary barriers.	Yes.
	Dwelling Unit and Building Design	Parking for people with disabilities.	One (1) accessible parking space provided in basement.	Yes.
	Dwelling Unit and Building Design	Building materials and finishes are to be sympathetic to with the adjoining buildings and the streetscape.	Exposed facebrick is the predominant material finish proposed for the development with some modern materials such as off-form concrete and aluminium balustrading proposed. The colour palette and materials are consistent with both the predominant materials and colours in the streetscape.	Yes.
	Unit Sizes and Lot Layout	1 bed = 70m <sup>2</sup> 2 bed = 85m <sup>2</sup> 3 bed = 100m <sup>2</sup>	Refer to ARH SEPP	N/A



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2.4.2.2	Solar Access	50% of the principle private open space achieves a minimum of 3 hours sunlight during the winter solstice.	Shadow Diagrams demonstrate that more than 50% of the principle private open space achieves a minimum of 3 hours sunlight during the winter solstice.	Yes.
	Solar Access	Solar access to habitable rooms and private open space of adjoining properties be provided for a minimum of 3 hours during the winter solstice.	Due to the east-west orientation of the site, overshadowing of the southern adjoining property is unavoidable.	No – refer to ADG assessment discussion.
2.4.3	Natural Space Heating and Cooling	Reduce the need to artificially heat and cool dwellings.	All units are provided with at least one (1) substantial size window/opening to allow natural air into each room.	Yes.
2.4.6	Water Management	Mandatory water storage 10 dwelling= 500lt / dwelling each dwelling thereafter = 250lt/ dwelling	Refer Part H discussion.	Yes.
2.5	Streetscape orientation	Compatible with the existing character and address the street frontage.	The proposed building is orientated to Water Street and finished in a neutral colour palette incorporating exposed facebrick, off-form concrete and cladding. The colour palette and materials are consistent with existing dwellings and multi-storey buildings in Water Street and will integrate nicely with future development in the streetscape.	Yes.
	Streetscape orientation	Dwellings facing the street will have frontage and apparent access.	Direct access provided to front unit directly from Water Street.	Yes.
2.7	Open space and landscaping	40% of the total site area for 2-3 storey townhouses must equate to open space at ground level (this area can include driveways).  50% of RFBs site area to be open space at ground level.	Refer to ARH SEPP requirements	N/A
2.8	Privacy and Security	Windows are not to be located less than 9m apart from other dwellings.	Windows proposed upon side elevations of the development result in opportunities for overlooking into adjoining properties.	No – refer to ADG discussion.

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		Casual surveillance of street and public areas.	Multiple windows and balconies of rooms facing Water Street, within central portion of site and to the rear so as to provide casual surveillance to the street.	Yes.
2.9	Car Parking	Car parking is required to be provided: 1 bed = 1 space 2 bed = 1.5 spaces 3 + bed = 2 spaces	Refer ARH SEPP	N/A
	Ramp Driveway Gradient/ design		In the event of approval condition of consent will be imposed to ensure compliance with Australia Standards.	Yes.

#### PART H - WASTE MANAGEMENT (SCDCP 2005)

The proposed development was accompanied by a Waste Management Plan including all relevant details regarding the storage, types and quantities of waste and the storage and disposal of the waste. A condition of consent is recommended to be imposed to ensure ongoing compliance with the waste minimisation strategies provided. (Refer to Condition 49).

#### 4.15 (1)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

#### (i) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) however does involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

#### (ii) any coastal zone management plan

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea

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level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

As previously discussed, the proposed development is identified as being flood affected by overland flows to a level of 15.50m AHD in accordance with Council's Cooks River and Cox's Creek Flood Study. Accordingly, the proposed development has been designed with a minimum 500mm freeboard above the 1 in 100 year flood event as per the recommendations made in the submitted Flood Impact Assessment (Alpha Engineering 5 March 2018). Council's Development Engineer has also considered the proposal with respect to the flood affectation of the site and considers this to be acceptable subject to conditions including compliance with the submitted flood impact assessment (Refer to Condition 39).

**4.15(1)(b) *the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality***

As previously discussed, the proposal responds well to the transitioning nature of the streetscape through proposing a unique modern design which incorporates traditional building materials and colours. Further, the design achieves a high level of articulation and a compliant building height so as to achieve compatibility with existing and future development in the street.

Overall, the proposal has been designed with respect to adjoining properties to minimise adverse amenity impacts to adjoining neighbours and achieve an appropriate level of streetscape compatibility.

**4.15 (1)(c) *the suitability of the site for the development***

The site is relatively unconstrained and has been designed having regard to the relevant provisions of the ARHSEPP 2009, SEPP65, the ADG, SLEP 2012, and the SCDCP 2005 and is considered suitable for the site.

**4.15 (1)(d) *any submissions made in accordance with this Act or the regulations***

The application was notified in accordance with Part L of the SCDCP 2005 from 12 June 2018 to 5 July 2018 with no submissions received.

**4.15 (1)(e) *the public interest***

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is not considered to be contrary to the public interest.

## **SECTION 7.11 CONTRIBUTIONS**

Section 7.11 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Act reads as follows:

- “(1) If a consent authority is satisfied that development for which development consent is sought will or is likely to require the provision of or increase the demand for public amenities and public services within the area, the consent authority may grant the development consent subject to a condition requiring:*
- (a) the dedication of land free of cost, or*
  - (b) the payment of a monetary contribution,*
- or both.*

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- (2) *A condition referred to in subsection (1) may be imposed only to require a reasonable dedication or contribution for the provision, extension or augmentation of the public amenities and public services concerned.*

## STRATHFIELD DIRECT SECTION 7.11 CONTRIBUTIONS PLAN

Section 7.11 Contributions are applicable to the proposed development in accordance with the Strathfield Direct Development Contributions Plan 2010-2030 as follows:

Provision of Community Facilities	\$5,988.16
Provision of Major Open Space	\$27,244.36
Provision of Local Open Space	\$5,995.34
Provision Roads and traffic Management	\$785.74
Administration	\$516.34
<b>TOTAL</b>	<b>\$40,529.94</b>

## CONCLUSION

The application has been assessed having regard to Section 4.15 of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions of consent.

## RECOMMENDATION

That Development Application No. 2018/076 for demolition of existing structures and construction of infill affordable rental housing with basement parking and strata subdivision at 76 Water Street, Belfield be **APPROVED**, subject to the following conditions:

## SPECIAL CONDITIONS (SC)

### 1. AFFORDABLE RENTAL HOUSING (SC)

The Positive Covenant lodged under Section 88E of the Conveyancing Act on the title of the property shall be amended to state that units 1 and 2 shall be managed by a Community Housing Provider and used for the purpose of affordable rental housing for a minimum period of ten (10) years from the date of issue of an Occupation Certificate for DA2018/076.

The wording of the Instrument shall be submitted to, co-signed and approved by Council prior to lodgement at Land & Property Information NSW. Council must be a signatory to the instrument which cannot be extinguished without the prior consent of Council.

The Instrument shall be registered and a registered copy of the document shall be submitted to and approved by Council **prior to the issue of an Occupation Certificate.**

(Reason: In accordance with the requirements of State Environmental Planning Policy (Affordable Rental Housing) 2009.)

### 2. BASIX REQUIREMENT(SC)

Central water tank in accordance with BASIX requirement shall be reflected on amended stormwater drainage concept plan and submitted to Council for approval prior to issue of a Construction Certificate.

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(Reason: Compliance with BASIX requirement)

3. **REAR UPPER LEVEL BALCONY TO UNIT 5 (SC)**

The rear upper level balcony to Unit 5 of the development shall be increased by an additional 2m<sup>2</sup> to achieve a total area of 10m<sup>2</sup>. Privacy screening extending along the entire length of the balcony to the north and south with a minimum height of 1.8m above the floor shall be provided. Details demonstrating compliance with this requirement shall be submitted to and approved by the Council **prior to the issue of a Construction Certificate.**

(Reason: Compliance with ADG)

4. **HIGHLIGHT WINDOWS TO KITCHENS (SC)**

A highlight window with a minimum sill height of 1.7m above the floor shall be installed above the kitchen area of units 1, 3, 4, 5 and 6 so to enable improved ventilation and solar access to units. Details demonstrating compliance with this requirement shall be submitted to and approved by Council **prior to the issue of a Construction Certificate.**

(Reason: Improve internal residential amenity)

5. **AMENDED LANDSCAPING - LANDSCAPE PLAN REQUIRED (SC)**

An amended landscape plan prepared by a qualified landscape architect or landscape consultant to a scale of 1:100 or 1:200, conforming to all relevant conditions of consent is to be submitted to and approved by Council prior to the issue of a Construction Certificate application.

The plan must include the following information:

- i) details demonstrating compliance with the Apartment Design Guide in relation to landscaping requirements. This shall provide details to the rear communal open space area including a shaded space, seating and BBQ area ;
- ii) location of all existing and proposed landscape features including materials to be used;
- iii) all trees to be retained, removed or transplanted;
- iv) existing and proposed finished ground levels;
- v) top and bottom wall levels for both existing and proposed retaining and free standing walls; and
- vi) a detailed plant schedule which includes proposed species listed by botanical (genus and species) and common names, quantities of each species, pot sizes and the estimated size at maturity. A minimum of 25% of species shall be locally sourced indigenous species. Species shall be predominantly selected from Council's Recommended Tree List.

Consideration within the design should be given to the scale of planting in proportion to the proposed development, consistency with the existing landscape character of the area, potential views, solar access and privacy for neighbouring development.

Prior to the issue of the Occupation Certificate an AQF Level 5 Landscape Designer, or Landscape Architect, is to certify that all landscape works and tree planting has been carried out in accordance with the approved landscape design and conditions of development consent. Additionally the certification is to include a statement that all plants are healthy and that the landscaped areas are well maintained, safe and free of biosecurity issues (pests, diseases and weeds).

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(Reason: Landscape quality.)

#### 6. STORAGE FOR UNITS (SC)

Purpose built storage compartment(s) shall be provided to and within each of the resident car parking bays and/or associated dwellings at the following rates:

- 6m<sup>3</sup> for each one (1) bedroom unit, and
- 8m<sup>3</sup> for each two (2) bedroom unit.

In order to deter theft, the security compartments shall be designed in a manner to conceal from view and secure their contents i.e. through the use of dense, solid material and a shroud covered padlock (or similar).

Amended plans showing the location and configuration of each of storage compartment(s) shall be submitted to and approved by Council **prior to the issue of the Construction Certificate**.

(Reason: To enable adequate storage space for each unit)

### GENERAL CONDITIONS (GC)

#### 7. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans affixed with Council's 'Development Consent' stamp relating to Development Consent No. 2018/076:

Drawing No. & Job No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
DA109, Job. No 313	Demolition Plan	Urakawa Jenkins Architecture	A	30 May 2018
DA107, Job. No 313	Basement Plan	Urakawa Jenkins Architecture	A	30 May 2018
DA101, Job. No 313	Ground Floor Plan	Urakawa Jenkins Architecture	B	28 June 2018
DA102, Job. No 313	Ground Floor, Unit 1 Plan	Urakawa Jenkins Architecture	B	28 June 2018
DA103, Job. No 313	Ground Floor, Unit 2,3	Urakawa Jenkins Architecture	B	28 June 2018
DA104, Job. No 313	First Floor Plan	Urakawa Jenkins Architecture	A	30 May 2018
DA105, Job. No 313	Second Floor Plan	Urakawa Jenkins	A	30 May 2018

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		Architecture		
DA106, Job. No 313	Roof Plan	Urakawa Jenkins Architecture	A	30 May 2018
DA201, Job. No 313	Section A Plan	Urakawa Jenkins Architecture	A	30 May 2018
DA202, Job. No 313	Section B Plan	Urakawa Jenkins Architecture	A	30 May 2018
DA203, Job. No 313	Section C Plan	Urakawa Jenkins Architecture	A	30 May 2018
DA204, Job. No 313	Section E and E2 Plan	Urakawa Jenkins Architecture	B	28 June 2018
DA301, Job. No 313	Elevation 01 - North	Urakawa Jenkins Architecture	B	28 June 2018
DA302, Job. No 313	Elevation 02 – East and West	Urakawa Jenkins Architecture	B	28 June 2018
DA303, Job. No 313	Elevation 03 - South	Urakawa Jenkins Architecture	B	28 June 2018
DA304, Job. No 313	Streetscape Plan	Urakawa Jenkins Architecture	A	30 May 2018
DA305, Job. No 313	North and South Elevation - Context	Urakawa Jenkins Architecture	B	28 June 2018
DA306, Job. No 313	Front Fence Elevation Plan	Urakawa Jenkins Architecture	B	28 June 2018
DA991, Job. No 313	Materials Schedule	Urakawa Jenkins Architecture	A	30 May 2018
DA110, Job. No 313	Strata Layout Plan	Urakawa Jenkins Architecture	A	30 May 2018
L1-A	Landscape DA Plan	Nicholas Bray Landscapes	A	30 May 2018
L2-A	Landscape Details	Nicholas Bray Landscapes	A	30 May 2018
A8075 - COVER	General Notes - Stormwater	Alpha Engineering	B	30 May 2018
A8075 – SW01	Sediment and Erosion Control Plan	Alpha Engineering	B	30 May 2018
A8075 – SW02	Basement Drainage Plan	Alpha Engineering	B	30 May 2018
A8075 – SW03	Ground Floor Drainage Plan	Alpha Engineering	B	30 May 2018
A8075 – SW04	Stormwater Sections and	Alpha Engineering	B	30 May 2018

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	Details		
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Reference Documentation affixed with Council's 'Development Consent' stamp relating to Development Consent No. 2018/076:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
BASIX	-	Cert No.913953M	30 May 2018
Flood Impact Report	Alpha Engineering	Rev B	30 May 2018
Access Compliance Report	BCA Vision	Dated 23 March 2018	30 May 2018
Traffic and Parking Impact Assessment	Ray Dowsett Traffic and Transport Planning Pty Ltd	6 April 2018	30 May 2018
Waste Management Plan	Martin Urakawa	Dated 29 May 2018	30 May 2018

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

**8. BUILDING HEIGHT - MAXIMUM RL TO BE COMPLIED WITH (GC)**

The height of the building measured from Australian Height Datum (AHD) must not exceed RL22.15 to the roof ridge of the building.

(Reason: To ensure the approved building height is complied with.)

**9. CONSTRUCTION HOURS (GC)**

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/ rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

**10. CONSTRUCTION WITHIN BOUNDARIES (GC)**

The development including but not limited to footings, walls, roof barges and guttering must be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

(Reason: Approved works are to be contained wholly within the subject site.)

**11. DEMOLITION – GENERALLY (GC)**

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or



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rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development.)

**12. DEMOLITION - SITE SAFETY FENCING (GC)**

Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding/fencing along the street frontage(s) complying with WorkCover requirements must be obtained including:

payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges before the commencement of work; and

provision of a Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council.

(Reasons: Statutory requirement and health and safety.)

**13. FENCING - FRONT FENCE HEIGHT (GC)**

The masonry brick boundary fence is to be constructed so as to support all brick in-fill panels using a lintel. This lintel is to be installed above ground level along the entire length of each in-fill panel.

Solid fencing forward of the building line (including the building line to a secondary street frontage on a corner site) shall not exceed a height of 1m above natural ground level. The fence may be topped by an additional maximum 0.8m high open timber picket, wrought iron, palisade or similar element.

Brick piers over 1m in height are permitted to support the decorative elements, provided they are equally spaced along the street, and do not exceed a height of 1.8m. Plans demonstrating compliance with this condition are to be submitted to the

(Reason: To ensure a positive contribution to the streetscape in accordance with the Strathfield Consolidated DCP 2005.)

**14. LANDSCAPING - CANOPY TREES IN FRONT SETBACK (GC)**

New development shall provide at least two (2) canopy trees within the front setback adjacent the front boundary (existing trees may be included). New canopy trees shall be planted from 200 litre containers at the time of planting and capable of reaching a mature height of 15m.

The new trees will not be planted closer than 1.5 metres from a structure or property boundary.

Species shall be selected from Council's Recommended Tree List (Available from Council's website or from the Customer Service Centre). Compliance with this condition is to be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation

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Certificate.

Trees are to conform to the NATSPEC guide and Guide for assessing the quality of and purchasing of landscape trees by Ross Clarke, 2003. Trees are to be true to type, healthy and vigorous at time of delivery and planting, shall be pest and disease free, free from injury and wounds and self-supporting; and shall be maintained until maturity.

All trees are to be staked and tied with a minimum of three (3) hardwood stakes. Ties are to be hessian and fixed firmly to the stakes, one tie at half the height of the main stem, others as necessary to stabilise the plant.

Root deflection barriers having a minimum depth of 600mm are to be installed adjacent to all footpaths and driveways.

Soil conditioner/fertilizer/moisture retention additive/s are to be applied in accordance with manufacturer's recommendations, and mixed into the backfilling soil after planting tree/s.

A minimum 75mm depth of organic mulch shall be placed within an area 0.5m from the base of the tree.

Details demonstrating compliance shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To ensure the landscape character of the locality is maintained.)

15. **LANDSCAPING - IRRIGATION OF COMMON AND PRIVATE LANDSCAPE AREAS (GC)**

All common and private landscape areas including all planters of new multi-unit, commercial, mixed-use and industrial development are to have full coverage by a fully automatic irrigation system. The design, materials and installation are to be in accordance with Sydney Water Codes and satisfy all relevant Australian Standards. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior occupation of the premises.

(Reason: To ensure appropriate landscape maintenance.)

16. **LANDSCAPING - TREE PRESERVATION (GC)**

All street trees and trees on private property that are protected under Council's controls, shall be retained except where Council's prior written consent has been obtained. The felling, lopping, topping, ringbarking, wilful destruction or removal of any tree/s unless in conformity with this approval or subsequent approval is prohibited.

All healthy trees and shrubs identified for retention on the approved drawings are to be suitably protected in accordance with Australian Standard AS4970 – 2009, Protection of Trees on Development Sites prior to the commencement of any works (including any demolition and excavation) and maintained for the duration of the works.

(Reason: To ensure the protection of trees to be retained on the site.)

17. **MATERIALS – CONSISTENT WITH SUBMITTED SCHEDULE (GC)**

All external materials, finishes and colours are to be consistent with the schedule submitted and approved by Council with the development application.

(Reason: To ensure compliance with this consent.)

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**18. PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)**

Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

- i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;
- ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and
- iii) the sign must state that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

**19. PRIVACY - SCREEN PLANTING TO SIDE AND REAR BOUNDARIES (GC)**

Evergreen shrubs with a minimum 5 litre container size achieving a minimum mature height of 3m shall be planted along the side and rear boundaries to provide suitable privacy screening. Screen planting shall be maintained at all times. Details of the selected plants shall be submitted to and approved by the Principal Certifying Authority. Compliance with this condition shall be certified by the Principal Certifying Authority, prior to occupation of the premises.

(Reason: To maintain privacy amenity to neighbouring residences.)

**20. SITE MANAGEMENT (DURING DEMOLITION AND CONSTRUCTION WORKS)**

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.

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- x) All waste must be contained entirely within the site.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways, include nature strips and roadways adjacent to the site must be maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.
- xvi) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Any work must not prohibit or divert any natural overland flow of water.
- xix) Toilet facilities for employees must be provided in accordance with WorkCover NSW.
- xx) Protection pads are to be installed to the kerb and gutter where trucks and vehicles enter the site.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

**21. STORMWATER MANAGEMENT PLAN - CERTIFICATION REQUIREMENT (GC)**

A detailed Stormwater Management Plan (SWMP) in line with Council's Stormwater Management Code is to be prepared and certified by a practicing Chartered Professional Engineer on the National Professional Engineer's Register (NPER) at Engineers Australia and submitted to the Principal Certifying Authority and Council, prior to the issue of a Construction Certificate. The SWMP is to be based on the approved development as modified by any conditions of consent.

(Reason: To ensure appropriate provision is made for the disposal and management of stormwater generated by the development, and to ensure public infrastructure in Council's care and control is not overloaded.)

**22. SYDNEY WATER - STAMPED PLANS PRIOR TO COMMENCEMENT (GC)**

The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. Plans will be appropriately stamped.

For Quick Check agent details please refer to the web site [www.sydneywater.com.au](http://www.sydneywater.com.au) (see Building Developing and Plumbing then Quick Check) or telephone 13 20 92. The consent authority or a Certifying Authority must ensure that a Quick Check agent/Sydney Water has

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stamped the plans before the commencement of work.

(Reason: Compliance with Sydney Water requirements.)

### **CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (CC)**

#### **23. ACCESS - ACCESS FOR PEOPLE WITH DISABILITIES (CC)**

Access for people with disabilities must be provided in accordance with the requirements of the Building Code of Australia, relevant Australian Standards and with regard to the Disability Discrimination Act 1992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

#### **24. ACCESS - DISABLED TOILETS (CC)**

Plans and details of the disabled toilet/s complying with the relevant Australian Standards, the Building Code of Australia, and with regard to the Disability Discrimination Act 1992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

#### **25. BASIX COMMITMENTS (CC)**

The approved BASIX Certificate shall be submitted to the Principal Certifying Authority with the application for a Construction Certificate.

Where a change or changes are proposed in the BASIX commitments, the applicant must submit a new BASIX Certificate to the Principal Certifying Authority and Council. If any proposed change in the BASIX commitments is inconsistent with the development consent the applicant will be required to submit a modification to the development consent to Council under Section 4.55 of the Environmental Planning and Assessment Act 1979.

All commitments in the BASIX Certificate must be shown on the plans accompanying the Construction Certificate.

(Reason: Statutory compliance.)

#### **26. BUILDING CODE OF AUSTRALIA - COMPLIANCE WITH (CC)**

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the

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requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

**27. CAR PARKING - BASEMENT CAR PARKING REQUIREMENTS (CC)**

Details demonstrating compliance with the following is to be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate:

- i) Minimal internal clearance of the basement is 2.2m in accordance with BCA requirements.
- ii) Driveways shall comply with Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking and achieve a maximum gradient of 1:4.
- iii) Basement entries and ramps/driveways within the property are to be no more than 3.5m wide.
- iv) Provision of pump-out systems and stormwater prevention shall be in accordance with Council's Stormwater Management Guide.

(Reason: To ensure suitable development.)

**28. CAR PARKING - DISABLED CAR PARKING SPACES (CC)**

1 of the car parking spaces provided as part of the total requirement shall be reserved for disabled persons. These spaces shall be a minimum of 2.4m wide x 5.4m long and located near pedestrian access routes designed for disabled persons. Each space shall be clearly marked as such. A shared area 2.4 m wide x 5.4m long shared area should be provided. Bollard shall be placed in this shared area.

Car parking for people with disabilities shall be provided in accordance with the Building Code of Australia, relevant Australian Standards and with regard to the Disability Discrimination Act 1992. Prior to the issue of a Construction Certificate, the plans shall be notated to demonstrate compliance.

The above details shall be submitted to and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate.

(Reason: To ensure adequate parking for persons with a disability.)

**29. CAR PARKING - VEHICULAR ACCESS RAMPS (CC)**

Vehicular access ramps shall comply with the provisions of AS/NZS 2890.1:2004. Plans to be submitted shall contain the following details:

- i) Longitudinal section along the extreme wheel paths of each driveway/access ramp at a scale of 1:25 demonstrating compliance with the scraping provisions of AS/NZS 2890.1:2004. It shall include all levels and grades, including those levels stipulated as boundary levels, both existing and proposed. It shall extend from the centre-line of

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- the roadway through to the parking area.
- ii) Sections showing the clearance to the underside of any overhead structure (minimum headroom requirements 2200mm minimum for standard headroom clearance or 2400mm where disabled access provisions are to be provided) demonstrating compliance with the provisions of AS/NZS 2890.1:2004.
  - iii) Longitudinal section along the gutter line showing how it is intended to transition the vehicular crossing into the existing kerb and gutter. Boundary levels shall generally run parallel with the kerb levels.
  - iv) Location of verge trees, street furniture and service installations.
  - v) Superimposition of vehicle turning circles for access into parking spaces.
  - vi) Certification that the design complies with AS/NZS 2890.1:2004 by a Qualified Engineer.

The certification referred to in (vi) above shall be submitted to the Principal Certifying Authority prior to the issue of a Construction Certificate (for the design) and to the Principal Certifying Authority prior to the issue of any Occupation Certificate for the 'as-built works'.

(Reason: To ensure adequate vehicular access can be achieved.)

**30. CAR PARKING - COMPLIANCE WITH AS/NZS 2890.1:2004 (CC)**

Car parking dimensions must comply with the Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure compliance with Australian Standards relating to parking of vehicles.)

**31. CAR PARKING - VEHICULAR CIRCULATION, AISLE AND RAMP WIDTHS (CC)**

The aisle widths, internal circulation, ramp widths and grades of the car park shall comply with the Roads and Traffic Authority Guidelines and AS/NZS 2890.1:2004 - Off-Street Car Parking Code.

Vehicular manoeuvring paths are to be prepared demonstrating that all vehicles can enter or depart the site in a forward direction without encroaching on required car parking spaces.

(Reason: To ensure compliance with Australian Standards relating to manoeuvring, access and parking of vehicles.)

**32. CAR PARKING - VEHICULAR CROSSING WIDTH AT PROPERTY BOUNDARY (CC)**

Vehicular crossings are to have a maximum width of 3m at the property boundary. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

The vehicular crossing (and all associated excavation works) must not be constructed closer than 2 metres from a retained protected street tree.

(Reason: Compliance with SCDCP 2005.)

**33. COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)**

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

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Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 4.19 of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

34. **CONSTRUCTION AND ENVIRONMENTAL MANAGEMENT PLAN (CC)**

The applicant must prepare and submit a Construction and Environmental Management Plan (CEMP) to the Principal Certifying Authority, including:

- i) Detailed information on any approvals required from other authorities prior to or during construction.
- ii) Traffic management, including details of:
  - ingress and egress of vehicles to the site;
  - management of loading and unloading of materials;
  - the location of heavy vehicle parking off-site; and
  - designated routes for vehicles to the site.
- iii) The proposed areas within the site to be used for a builder's site office and amenities, the storage of excavated material, construction materials and waste containers during the construction period.
- iv) Erosion and sediment control, detailing measures and procedures consistent with the requirements of Council's guidelines for managing stormwater, including:
  - the collection and treatment of stormwater and wastewater generated on site prior to discharge; and
  - procedures to prevent run-off of solid material and waste from the site.
- v) Waste management, including:
  - details of the types and estimated volumes of waste materials that will be generated;
  - procedures for maximising reuse and recycling of construction materials; and
  - details of the off-site disposal or recycling facilities for construction waste.
- vi) Dust control, outlining measures to minimise the generation and off-site transmission of dust and fine particles, such as watering or damp cloth fences.
- vii) A soil and water management plan, which includes:
  - measures to minimise the area of soils exposed at any one time and conserve top soil;
  - identification and protection of proposed stockpile locations;
  - preservation of existing vegetation and revegetation;
  - measures to prevent soil, sand, sediments leaving the site in an uncontrolled manner;
  - measures to control surface water flows through the site in a manner that diverts clean run-off around disturbed areas, minimises slope gradient and flow distance within disturbed areas, ensures surface run-off occurs at non-erodible velocities, and ensures disturbed areas are promptly rehabilitated;
  - details of sediment and erosion control measures in place before work commences;
  - measures to ensure materials are not tracked onto the road by vehicles entering or leaving the site; and
  - details of drainage to protect and drain the site during works.
- viii) Asbestos management procedures:
  - Anyone who removes, repairs or disturbs bonded or a friable asbestos material must hold a current removal licence from Workcover NSW holding either a Friable (Class A) or a Non- Friable (Class B) Asbestos Removal License which



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ever applies and a current WorkCover Demolition License where works involve demolition. To find a licensed asbestos removalist please see [www.workcover.nsw.gov.au](http://www.workcover.nsw.gov.au)

- Removal of asbestos by a person who does not hold a Class A or Class B asbestos removal license is permitted if the asbestos being removed is 10m<sup>2</sup> or less of non-friable asbestos (approximately the size of a small bathroom). Friable asbestos materials must only be removed by a person who holds a current Class A asbestos license.
- Before starting work, a work site-specific permit approving each asbestos project must be obtained from Workcover NSW. A permit will not be granted without a current Workcover licence. All removal, repair or disturbance of or to asbestos material must comply with the following:
  - The Work Health and Safety Act 2011;
  - The Work Health and Safety Regulation 2011;
  - How to Safety Remove Asbestos Code of Practice – WorkCover 2011; and
  - Safe Work Australia Code of Practice for the Management and Control of Asbestos in the Workplace.
- Following completion of asbestos removal works undertaken by a licensed asbestos removalist re-occupation of a workplace must not occur until an independent and suitably licensed asbestos removalist undertakes a clearance inspection and issues a clearance certificate.
- The developer or demolition contractor must notify adjoining residents at least two (2) working days (i.e. Monday to Friday exclusive of public holidays) prior to the commencement of asbestos removal works. Notification is to include, at a minimum:
  - the date and time when asbestos removal works will commence;
  - the name, address and business hours contact telephone number of the demolisher, contractor and/or developer;
  - the full name and license number of the asbestos removalist/s; and
  - the telephone number of WorkCover's Hotline 13 10 50
  - warning signs informing all people nearby that asbestos removal work is taking place in the area. Signs should be placed at all of the main entry points to the asbestos removal work area where asbestos is present. These signs should be weatherproof, constructed of light-weight material and adequately secured so they remain in prominent locations. The signs should be in accordance with AS 1319-1994 Safety signs for the occupational environment for size, illumination, location and maintenance; and
  - appropriate barricades installed as appropriate to prevent public access and prevent the escape of asbestos fibres. Barricades must be installed prior to the commencement of asbestos removal works and remain in place until works are completed.

(Reason: Safety, amenity and protection of public infrastructure and the environment.)

**35. COUNCIL PERMITS – FOR ALL ACTIVITIES ON COUNCIL LAND (CC)**

Works Permit

(as per Section 68 of the Local Government Act 1993 and Section 138 and 139 of the Roads Act 1993)

A Works Permit is required for construction of a vehicular crossing (driveway), new stormwater down pipe connection to kerb and gutter, new footpath and/or stormwater connection. A Works Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

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#### Standing Plant Permit

This permit must be applied for where it is intended to park a concrete pump, crane or other plant on the roadway or footpath. A Standing Plant Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

#### Skip Bin Permit

This permit must be applied for if you intend to place a skip bin on the roadway or footpath. A Skip Bin Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

#### Temporary Full or Part Road Closure Permit

This permit must be applied for if you require a full or a part road closure to take place to assist in your construction works. Please use the Works Permit Application Form, which is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

#### Hoarding/Fencing Permit

This permit must be applied for if you intend to erect a Class A (fence type) or Class B (overhead type) hoarding/fencing along the street frontage(s). A Hoarding Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

#### Work Zone Permit

This permit must be applied for if you require permanent parking along the kerbside at the front of the site during construction works. A Work Zone Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

#### Ground Anchoring Permit

This permit must be applied for, for the installation of ground anchors under Council's footway/road reserve. It does not cover ground anchors under private properties. A separate approval is required to be obtained from Roads and Maritime Services (RMS) if it is proposed to install ground anchors under a State or Classified Regional Road (please refer to the end of this application form for more information).

(Reason: Council requirement)

### 36. **DILAPIDATION REPORT - PRE-COMMENCEMENT (CC)**

Subject to access being granted, a pre-commencement Dilapidation Report is to be undertaken on all adjoining properties, which in the opinion of a suitably qualified engineer, could be potentially affected by the construction of the project. The Dilapidation Report shall be carried out prior to the issue of a Construction Certificate.

The Dilapidation Report is to be prepared by a suitably Qualified Engineer with current Corporate Membership with the Institution of Engineers, Australia or Geotechnical Practitioner. The report shall include a photographic survey of adjoining properties detailing the physical condition of those properties, both internally and externally, including walls, ceilings, roof, structural members and other such items.

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If access for undertaking the dilapidation survey is denied by an adjoining owner, the applicant must demonstrate, in writing, to Council's satisfaction attempts have been made to obtain access and/or advise the affected property owner of the reason for the survey and these attempts have been unsuccessful. Written concurrence must be obtained from Council in such circumstances.

The Report shall cover structural and geotechnical factors likely to arise from the development. A copy of this Report shall be submitted to Council as a record. The person having the benefit of the development consent must, at their own cost, rectify any damage caused to other properties during the construction of the project.

(Reason: To ensure no damage to adjoining properties occurs.)

**37. EROSION AND SEDIMENTATION CONTROL PLAN (CC)**

An Erosion and Sediment Control Plan is to be prepared where construction or excavation activity requires the disturbance of the soil surface and existing vegetation. Details including drawings and specifications must provide adequate measures for erosion and sediment control to ensure:

- i) Compliance with the approved Soil and Water Management Plan.
- ii) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval).
- iii) All uncontaminated run-off is diverted around cleared or disturbed areas.
- iv) Silt fences or other devices are installed to prevent sediment and other debris escaping from the cleared or disturbed areas into drainage systems or waterways.
- v) All erosion and sediment controls are fully maintained for the duration of demolition/development works.
- vi) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadways.
- vii) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar.
- viii) All water pumped or otherwise removed from excavations or basement areas is filtered to achieve suspended solids/non filterable residue levels complying with the Australian Water Quality guidelines for Fresh and Marine Waters.
- ix) Pumped or overland flows of water are discharged so as not to cause, permit or allow erosion before the commencement of work (and until issue of the occupation certificate).

Details of the proposed soil erosion and sedimentation controls are to be submitted to the Principal Certifying Authority with the Construction Certificate Application. Under no circumstances are any works to commence, prior to these details being approved by the Principal Certifying Authority and the controls being in place on the site.

(Reason: Environmental protection.)

**38. EXCAVATION - AFFECTING ADJOINING LAND (CC)**

If an excavation associated with the approved development extends below the level of the base of the footings of a building on an adjoining allotment of land, the person having the benefit of the development consent must, at the person's own expense, comply with the requirements of clause 98E of the Environmental Planning and Assessment Regulation 2000, including:

- i) protect and support the adjoining premises from possible damage from the excavation, and

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- ii) where necessary, underpin the adjoining premises to prevent any such damage.

The condition referred to in subclause (i) does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying. Details shall be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Structural safety.)

**39. FLOODING - COMPLY WITH FLOOD IMPACT REPORT (CC)**

The applicant shall comply with the flood recommendations provided in the Flood Impact Report prepared by ALPHA Engineering and Development ref: A8075 – REV B dated 5 March 2018. A certificate from a suitably qualified Engineer shall be submitted to the Certifying Authority stating compliance with these recommendations, prior to the issue of a Construction Certificate.

(Reason: To mitigate flood risk and associated damage.)

**40. LANDSCAPING - MAINTENANCE STRATEGY (CC)**

To ensure the survival of landscaping following works, a landscape maintenance strategy for the owner/occupier to administer over a 12 month establishment period following the issue of the Occupation Certificate shall be prepared and provided to the satisfaction of the Principal Certifying Authority with the Construction Certificate application. The strategy is to address maintenance issues such as, but not limited to plant survival, irrigation, soil testing, weeding, staking, fertilizing, remedial pruning and plant replacement.

(Reason: Ensure landscape survival.)

**41. LANDSCAPING ON SLAB (CC)**

To ensure the site landscaping thrives, the on slab landscaping shown on the approved landscaping plan is to be designed to include a minimum soil depth of 650mm for shrubs and trees; and 300mm for grass and ground covers. Adequate drainage provision and a permanent, automatic irrigation system conforming to Sydney Water requirements shall be included. Details demonstrating compliance shall be submitted to the Principal Certifying Authority with the Construction Certificate application.

(Reason: Ensure landscape survival.)

**42. PRIVACY - OBSCURE GLAZING IN WET AREAS (CC)**

All bathroom, ensuite and toilet windows shall be installed with obscure glazing. Plans shall be notated accordingly and details demonstrating compliance submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Privacy amenity.)

**43. SECTION 7.11 CONTRIBUTION PAYMENT - DIRECT CONTRIBUTIONS PLAN (CC)**

In accordance with the provisions of Section 7.13 of the Environmental Planning and Assessment Act 1979 and the Strathfield Direct Development Contributions Plan 2010-2030, a contribution in the form of cash, cheque or credit card (financial transaction fee applies) shall be paid to Council for the following purposes:

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Provision of Community Facilities	\$5,988.16
Provision of Major Open Space	\$27,244.36
Provision of Local Open Space	\$5,995.34
Provision Roads and traffic Management	\$785.74
Administration	\$516.34
<b>TOTAL</b>	<b>\$40,529.94</b>

The total amount of the contribution is valid as at the date of determination and is subject to quarterly indexation. Contributions shall be indexed at the time of payment in accordance with clause 2.14 of the Strathfield Direct Development Contributions Plan 2010-2030.

Contributions must be receipted by Council and submitted to the Accredited Certifier, prior to the issue of any Construction Certificate.

Please present a copy of this condition when paying the contribution at the Customer Service Centre so that it can be recalculated.

Note: A copy of Strathfield Council's Section 7.11 Direct Development Contributions Plan may be downloaded from Council's website.

(Reason: To enable the provision of public amenities and services required/anticipated as a consequence of increased demand resulting from the development.)

**44. SECURITY PAYMENT - DAMAGE DEPOSIT FOR COUNCIL INFRASTRUCTURE (CC)**

A security (damage deposit) of **\$21,000.00** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to Council property during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development. All building work must be carried out in accordance with the Building Code of Australia.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

Any costs associated with works necessary to be carried out to rectify any damages caused by the development, shall be deducted from the Damage Deposit.

Note: Should Council property adjoining the site be defective e.g. cracked footpath, broken kerb etc., this should be reported in writing, or by photographic record, submitted to Council at least seven (7) days prior to the commencement of any work on site. This documentation will be used to resolve any dispute over damage to infrastructure. It is in the applicant's interest for it to be as full and detailed as possible.

**The damage deposit shall be refunded upon completion of all works upon receipt of a Final Occupation Certificate stage and inspection by Council.**

(Reason: Protection of Council infrastructure.)

**45. STORMWATER - RAINWATER RE-USE (CC)**

A rainwater re-use system shall be provided in accordance with either the BASIX minimum

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requirements, any relevant Council Rainwater Policy and/or specification of the management of stormwater, whichever is applicable. A detailed stormwater plan showing the proposed re-use system shall be submitted to and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Compliance and amenity.)

46. **STORMWATER DRAINAGE (CC)**

The following stormwater precautions are required to be provided on the site:

- i) Grated drains shall be provided along the driveway/basement entry at the vehicular crossing(s) and are to connect to the internal drainage system.
- ii) Overflow paths shall be provided to allow for flows in excess of the capacity of the pipe/drainage system draining the site.
- iii) Allowance shall be made for surface runoff from adjacent properties, and to retain existing surface flow path systems through the site. Any redirection or treatment of these flows shall not adversely affect any other properties
- iv) Boundary fencing shall be erected in such a manner as not to interfere with the natural flow of ground and surface water to the detriment of any other party.

(Reason: To ensure the site is drained appropriately and does not interfere with the natural flow of flood waters.)

47. **TRAFFIC - CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CC)**

A Construction Traffic Management Plan (CTMP) is to be prepared by an appropriately qualified Traffic Management Consultant and submitted to and approved by Council's Engineering Section, prior to the commencement of any works including demolition.

The following matters should be addressed in the CTMP (where applicable):

- i) description of the demolition, excavation and construction works;
- ii) site plan/s showing the site, roads, footpaths, site access points and vehicular movements;
- iii) size, type and estimated number of vehicular movements (including removal of excavated materials, delivery of materials and concrete to the site);
- iv) proposed route(s) from the arterial (state) road network to the site and the proposed route from the site back to the arterial road network;
- v) impacts of the work and vehicular movements on the road network, traffic and pedestrians and proposed methods to safely manage pedestrians and construction related vehicles in the frontage roadways;
- vi) any Traffic Control Plans (TCP's) proposed to regulate traffic and pedestrian movements for construction activities (such as concrete pours, crane installation/removal etc.);
- vii) proposed hours of construction related activities and vehicular movements to and from the site;
- viii) current/proposed approvals from other Agencies and Authorities (including Roads and Maritime Services, Police and State Transit Authority);
- ix) any activities proposed to be located or impact upon Council's road, footways or any public place;
- x) measures to maintain public safety and convenience;
- xi) any proposed road and/or footpath closures;
- xii) turning areas within the site for construction and spoil removal vehicles, allowing a forward egress for all construction vehicles on the site;
- xiii) locations of work zones (where it is not possible for loading/unloading to occur on the

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- site) in the frontage roadways accompanied by supporting documentation that such work zones have been approved by the Local Traffic Committee and Council;
- xiv) location of any proposed crane and concrete pump and truck standing areas on and off the site (and relevant approvals from Council for plant on road);
  - xv) a dedicated unloading and loading point within the site for all construction vehicles, plant and deliveries;
  - xvi) material, plant and spoil bin storage areas within the site, where all materials are to be dropped off and collected;
  - xvii) on-site parking area for employees, tradespersons and construction vehicles as far as possible;
  - xviii) proposed areas within the site to be used for the storage of excavated material, construction materials and waste and recycling containers during the construction period; and
  - xix) how it is proposed to ensure that soil/excavated material is not transported onto surrounding footpaths and roadways.

(Reason: To mitigate traffic impacts on the surrounding area during the construction period.)

48. **TREE BONDS (CC)**

A tree bond of **\$6,600.00** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

(Reason: To ensure the protection of trees to be retained on Council's Road Reserve.)

49. **WASTE MANAGEMENT PLAN (CC)**

A Waste Management Plan (WMP) is to be provided in accordance with Part H of Strathfield Consolidated Development Control Plan 2005. All requirements of the approved Waste Management Plan must be implemented during demolition, construction and on-going use of the premises.

The WMP must identify the types of waste that will be generated, all proposals to re-use, recycle or dispose of the waste and designs of the waste storage and collection areas. The WMP is to be submitted to council for comment prior to approval by the Principal Certifying Authority, approval must be provided prior to the issuing of the Construction Certificate. Specifically, the development must comply with the following requirements:

Bins Required

- 3 x 240L Recycling

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- 3 x 240L General Waste

General Garbage room space

- 7m<sup>2</sup>

Bulky store room space

- 2m<sup>2</sup>

Collection vehicles must not impede access to, within or from the site for other uses

Full compliance must be given to the endorsed Waste Management Plan submitted for the proposed development. Copies of any weighbridge receipts from all approved waste disposal facilities shall be retained for presentation to the Principal Certifying Authority upon request.

NOTE: The property must be inspected by a Council Waste Officer prior to the issue of an Occupation Certificate so as to ensure that the correct number of general waste and recycling bins are ordered from Strathfield Council.

(Reason: To ensure appropriate management of waste.)

50. **WASTE - GARBAGE ROOMS OR GREASE ARRESTOR ROOMS (CC)**

Garbage rooms or grease arrester rooms must be constructed of solid material: cement rendered and steel trowelled to a smooth even surface. The door to the garbage room is to be designed and constructed to ensure the room is vermin proof and can be opened from the inside at all times. The garbage room is to be ventilated to the external air by natural ventilation or an approved air handling exhaust system.

(Reason: To keep garbage rooms in a clean and sanitary condition to protect public health.)

51. **WATER SUSTAINABILITY – GENERALLY (CC)**

Water collected in the rainwater tank must comprise roof water only and not surface water. Water from the rainwater tank must only be used for following purposes and not for human consumption:

- i) toilet flushing;
- ii) clothes washing;
- iii) garden irrigation;
- iv) car washing and similar outdoor uses;
- v) filling swimming pools, spa pools and ornamental ponds; and
- vi) fire fighting.

(Reason: To promote sustainable water management practice.)

52. **WATER HEATING SYSTEMS - LOCATION OF (CC)**

Water heating systems shall be located so as not to be visible from public places and the ground level of adjoining properties. Details (type and location) of the water heaters shall be submitted to and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To maintain streetscape character.)



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**53. WORKS ZONE - APPROVAL BY COUNCIL'S TRAFFIC COMMITTEE (CC)**

An application for a 'Works Zone' must be submitted to and approved by the Strathfield Council Traffic Committee prior to the commencement of any site work (including demolition).

The suitability of the proposed length and duration of the Works Zone is to be demonstrated in the application for the Works Zone. The application for the Works Zone must be submitted to Council at least six (6) weeks prior to the commencement of work on the site to allow for assessment and tabling of agenda for the Strathfield Council Traffic Committee.

The requirement for a Works Zone may be varied or waived only if it can be demonstrated in the Construction Traffic Management Plan (to the satisfaction of Council) that all construction related activities (including all loading and unloading operations) can and will be undertaken wholly within the site. The written approval of Council must be obtained to provide a Works Zone or to waive the requirement to provide a Works Zone prior to the commencement of any site work.

(Reason: Council requirement.)

**CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORKS (CW)**

**54. APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY (PCA) (CW)**

No work shall commence in connection with this Development Consent until:

- i) A construction certificate for the building work has been issued by the consent authority or a Principal Certifying Authority.
- ii) The person having the benefit of the development consent has appointed a principal certifying authority for the building work, and notified the principal certifying authority that the person will carry out the building work as an owner/builder, if that is the case.
- iii) The principal certifying authority has, no later than 2 days before the building work commences:
  - notified the Council of his or her appointment, and
  - notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- iv) The person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:
  - appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved;
  - notified the principal certifying authority of such appointment; and
  - unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- v) The person having the benefit of the development consent has given at least 2 days notice to the Council of the person's intention to commence the erection of the building.

Note: If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address

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and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement.)

**55. NOTICE OF COMMENCEMENT (CW)**

No work shall commence until the following details are submitted to Council:

- i) a Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- ii) details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- iii) details of the name, address and licence details of the Builder.

(Reason: Statutory requirement.)

**CONDITIONS TO BE SATISFIED DURING DEMOLITION AND BUILDING WORKS (DW)**

**56. FILL MATERIAL (DW)**

The only waste derived material which may be received at the development site is:

- i) Virgin excavated material (within the meaning of the Protection of the Environment Operations Act 1997), and
- ii) any other waste-derived material the subject of a resource recovery exemption under cl.51A of the Protection of the Environment Operations (Waste) Regulation 2005 that is permitted to be used as fill material.

Any (b)-type material received at the development site must be accompanied by documentation certifying by an appropriately qualified environmental consultant the materials compliance with the exemption conditions; and this documentation must be provided to the Principal Certifying Authority on request.

(Reason: To ensure imported fill is of an acceptable standard for environmental protection purposes.)

**57. OBSTRUCTION OF PUBLIC WAY NOT PERMITTED DURING WORKS (DW)**

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances, without the prior approval of Council.

(Reason: To maintain public access and safety.)

**58. PUBLIC INFRASTRUCTURE AND SERVICES (DW)**

The applicant must comply with the requirements (including financial costs) of any relevant utility provider (e.g. Energy Australia, Sydney Water, Telstra, RMS, Council etc.) in relation to any connections, works, repairs, relocation, replacements and/or adjustments to public infrastructure or services affected by the development.

(Reason: To maintain public infrastructure and/or services.)

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59. **SITE REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION**

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standards AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out with close boarded, hardwood timber footpath protection pads. The pad shall cover the entire width of the footpath opening for the full width of the fence.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.
- x) All excavated material should be removed from the site in the approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts etc.) should be kept on site as evidence of approved methods of disposal and recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways and roadways adjacent to the site must be fully maintained and cleared of obstructions during construction unless prior separate approval from Council is obtained including payment of relevant fees.
- xvi) Building operations such as brick cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Stamped plans, specifications, documentation and the consent shall be available on site at all times during construction.
- xvii) All protected trees are to be managed in accordance with Australian Standard AS4970 - 2009 , Protection of Trees on Development Sites.

(Reason: To ensure that demolition, building and any other site works are undertaken in

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accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

**60. SURVEY REPORT OF APPROVED LEVELS DURING AND POST CONSTRUCTION (DW)**

A Survey Certificate to Australian Height Datum shall be prepared by a Registered Surveyor as follows:

- i) At the completion of the first structural floor level prior to the pouring of concrete indicating the level of that floor and the relationship of the building to the boundaries.
- ii) At the completed height of the building, prior to the placement of concrete inform work, or the laying of roofing materials.
- iii) At the completion of the development.

Progress certificates in response to points (1) through to (3) shall be provided to the Principal Certifying Authority at the time of carrying out relevant progress inspections. Under no circumstances is work allowed to proceed until such survey information is submitted to and approved by the Principal Certifying Authority.

(Reason: To ensure compliance with the approved plans.)

**CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE (OC)**

**61. ENGINEERING WORKS (CERTIFICATION OF)**

Prior to occupation of the premises, a Work As Executed (WAE) Plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate Membership standing in the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that:

- i) the stormwater drainage system; and/or
- ii) the car parking arrangement and area; and/or
- iii) any related footpath crossing works; and/or
- iv) the proposed basement pump and well system; and/or
- v) the proposed driveway and layback; and/or
- vi) any other civil works

have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

For major works, such as subdivisions, works within the road reserve (requiring separate S138 approval) and as where specified by Council, a Part 4A Certificate will be required. It is strongly recommended that an Engineer supervise all engineering related works.

Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council, prior to the issue of any Occupation Certificate.

(Reason: Asset management.)

**62. MAINTENANCE AND PROTECTION OF LANDSCAPING AND SOFT LANDSCAPED AREAS (OU)**

The applicant and property owner/s are to maintain and enhance the completed landscape works in all private and strata areas, in accordance with the approved landscape design and

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conditions of development (inclusive of the maintenance and protection of all retained and planted trees).

In this regard the applicant is to provide an annual statement to Council, on or by the 1 July of each calendar year, for the first 5 years after the issue of the occupation certificate, from an AQF Level 5 Landscape Designer or Landscape Architect certifying that;

- All plants (including planted and retained trees) are in a healthy safe condition.
- The turf areas are well maintained.
- The landscaped area is free of all notifiable weeds, pests and diseases as detailed in the NSW Biosecurity Act 2015.
- The landscaped area is free of hazards.
- The mulched areas are well maintained.
- The irrigation systems, sub soil drainage and lighting systems are in a good condition and operating according to both design and manufacturers specifications.
- That all missing plants have been replaced and are establishing well.

This annual statement shall also include reports and information from relevant expert consultants, in support of the statements made and as evidence of proof, in the annual statement.

(Reason: To protect landscape amenity and community environmental values)

**63. OCCUPATION OF BUILDING (OC)**

A person must not commence occupation or use (or change of use where an existing building) of the whole or any part of a new building (within the meaning of section 109H (4) of the Act) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

The Principal Certifying Authority is required to be satisfied, amongst other things, that:

- i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent have been met.

Note: New building includes an altered portion of, or an extension to, an existing building.

(Reason: Statutory requirement.)

**64. RAINWATER TANKS (OC)**

Rainwater tanks must be installed on residential properties by a suitably qualified and licensed plumber and in accordance with the following:

- i) Australian/New Zealand Standard AS/NZS 3500:2003;
- ii) NSW Code of Practice Plumbing and Drainage, 2006 produced by Committee on Uniformity of Plumbing and Drainage Regulations in NSW (CUPDR); and
- iii) Council's rainwater tank policy.

Details demonstrating compliance with this condition are to be submitted to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To protect public health and amenity.)

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65. **STORMWATER - CERTIFICATION OF THE CONSTRUCTED DRAINAGE SYSTEM (OC)**

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

(Reason: Adequate stormwater management.)

66. **STORMWATER - COVENANT AND RESTRICTION AS TO USER FOR STORMWATER CONTROLLED SYSTEMS (OC)**

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility (on-site detention, pump-out, charged lines, etc.).

Where any drainage line or service conduit is to traverse any property other than that which it serves, an appropriate easement will be required. In this case, the applicant shall register an easement no less than 1200mm wide over the proposed drainage line or service concurrently with any subdivision registration.

The wording on the 88E and/or the 88B Instrument is to make reference to the Council file where the Construction plans and the Work As Executed (as built), plans are held. Typical wording can be obtained from Council's Specification for the Management of Stormwater document.

(Reason: To ensure the on-site detention and/or pump system is maintained to an appropriate operational standard.)

**CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A SUBDIVISION CERTIFICATE (SC)**

67. **COMMENCEMENT OF SUBDIVISION WORKS - REQUIREMENTS PRIOR TO (SC)**

Subdivision work in accordance with a consent must not commence until:

- i) a Construction Certificate has been issued;
- ii) the person having the benefit of the development consent has appointed the Principal Certifying Authority (PCA);
- iii) the PCA (if not Council) has, no later than two (2) days before the subdivision work commences, notified the Council (or other consent authority where applicable) of the PCA's appointment; and
- iv) the person having the benefit of the consent has given at least two (2) day's notice to the Council of the person's intention to commence the subdivision work.

NB: Crown work certified in accordance with s109R of the Environmental Planning and Assessment Act 1979 is exempted from the above requirements.

(Reason: Statutory requirements.)

68. **ENGINEERING WORKS - CERTIFICATION OF WORK AS EXECUTED (SC)**

Prior to the issue of the Subdivision Certificate, a Work As Executed (WAE) plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate

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Membership standing in the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that all engineering works including the provision of services, drainage, driveways and earthworks have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council.

(Reason: To ensure adequate access and services have been provided for the new lots.)

**69. SUBDIVISION CERTIFICATE - REQUIREMENTS PRIOR TO THE ISSUE OF (SC)**

A Subdivision Certificate allows a person to lodge a plan of subdivision with NSW Land and Property Information (LPI). The plan of subdivision identifies each of the allotments approved under the original consent (if required) or each allotment subject to an exempt boundary adjustment. The plan of subdivision is required to be prepared by a registered surveyor.

All types of subdivision (Torrens, Strata and Community Title) are required to be registered with NSW LPI before a new 'allotment' of a subdivision of land can be created.

The release of a Subdivision Certificate confirms that the Principal Certifying Authority (Council or Accredited Certifier) is satisfied that works are completed in accordance with the applicable Development Consent and that the land is suitable to occupy.

Prior to the issuing of any Subdivision Certificate under section 37A of the Strata Schemes (Freehold Development) Act 1973, and section 66A of the Strata Schemes (Leasehold Development) Act 1986, and in accordance with section 29A of the Strata Schemes (Freehold Development) Regulation 2007 and section 30A of the Strata Schemes (Leasehold Development) Regulation 2007, the PCA is required to be satisfied that:

- i) the floors, external walls and ceilings depicted in the proposed strata plan for the building correspond to those of the building as constructed;
- ii) the floors, external walls and ceilings of the building as constructed correspond to those depicted in the building plans that accompanied the construction certificate for the building; and
- iii) any facilities required by the relevant development consent (such as parking spaces, terraces and courtyards) have been provided in accordance with those requirements.

As construction of the building nears completion, or after it has been completed, the Principal Certifying Authority must inspect the building and the common property areas around the building, so as to be satisfied, as required by section 66AA of the Act, that the above requirements have been met.

The Principal Certifying Authority shall also be satisfied that:

- i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent or complying development certificate have been met.

The Subdivision Certificate must not be issued until the Principal Certifying Authority has issued the Final Occupation Certificate in relation to the approved development.

(Reason: Statutory requirements.)

DA2018/076 - 76 Water Street, Belfield  
Lot S in DP 394194 (Cont'd)

70. **SUBDIVISION - LODGEMENT OF FINAL PLAN OF SUBDIVISION (SC)**

Once a Subdivision Certificate is issued by the Principal Certifying Authority, the Final Plan of Subdivision must be registered with Land and Property Information. Documentary evidence that the linen plan has been registered with Land and Property Information must be submitted to Strathfield Council as soon as practicable.

(Reason: Statutory requirement.)

**ATTACHMENTS**

1. [↓](#) Architectural Plans



# DEVELOPMENT APPLICATION

RESIDENTIAL FLAT BUILDING AT 76 Water Street Belfield Australia 2191

## DRAWING LIST

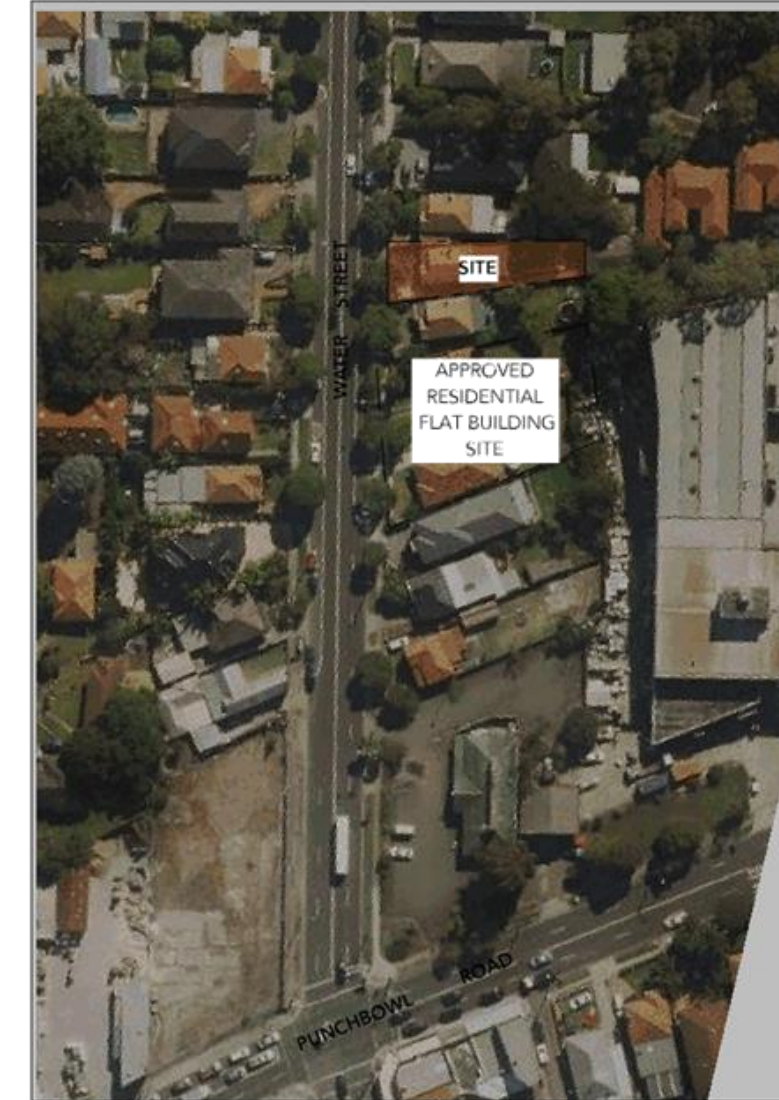
Layout ID	Layout Name
DA00	Title and Legends
DA01	Location Plan
DA02	Site Plan and Analysis
DA101	Ground Floor Plan
DA102	Ground Floor, Unit 1
DA103	Ground Floor Unit 2, 3
DA104	First Floor
DA105	Second Floor Plan
DA106	Roof Plan
DA107	Basement Plan
DA108	Floor Areas
DA109	Demolition Plan
DA110	Strata Layout Plan
DA201	Section A
DA202	Section B
DA203	Section C
DA204	Front Drive Access
DA301	Elevation 01 - North
DA302	Elevation 02 - East and West
DA303	Elevation 03 - South
DA304	Streetscape
DA901	Existing Shadows - 22 June
DA902	Proposed Shadows - 22 June
DA903	Existing Shadows - 22 December
DA904	Proposed Shadows - 22 December
DA905	Unit 3 - Adaptability
DA991	Materials Schedule
DA992	Notification Plan

## BASIX COMMITMENTS

Dwelling no.	Fixtures				Appliances			Individual pool			Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
4, 6	central water tank (no. 1)	See central systems	See central systems	no	yes	-	-	-
All other dwellings	central water tank (no. 1)	See central systems	See central systems	yes	yes	-	-	-

## LOCATION MAP



## Thermal notes for 76 Water St, Belfield.

Thermal Performance Assessment Based on the Following Requirements			
Floor Types	Suspended concrete slab	with	R1.9 Foilboard insulation
		with	
		with	
Floor Coverings	Tiles	Wet areas	Timber
	Carpet	Bedrooms	Concrete
External Walls	Cavity brick	with	R1.2 cavity board
	Insulated concrete formwork - 150mm Dintel	with	Nil
		with	Colour
Internal Walls	Single skin brick	with	Nil
		with	
Ceiling (floor over)	Concrete above plasterboard	with	Nil
Ceilings (roof over)	Concrete above plasterboard	with	R2.5 insulation
		with	
Roof	Concrete	0 degrees	with Nil
		degrees	with Colour
Notes	AF single glazed clear	Group B   ALM-002-01   U-Value 6.70 or less   SHGC 0.70 +/- 5%	
	All unit 4 glazing		
	AF single glazed LowE	Group B   ALM-002-03   U-Value 5.40 or less   SHGC 0.58 +/- 5%	
	All unit 1 glazing   Unit 2 windows   All unit 3 glazing	Group B   ALM-002-04   U-Value 5.60 or less   SHGC 0.41 +/- 5%	
All unit 5 glazing   All unit 6 glazing			
AF double glazed LowE	Group B   ALM-004-03   U-Value 4.30 or less   SHGC 0.53 +/- 5%		
Unit 2 sliding door			
Group A windows are Awning, Bifold, Casement or Tilt n'turn	Group A doors are Bifold, Entry, French or Hinged		
Group B windows are Double hung, Fixed, Louvre or Sliding	Group B doors are Sliding or Stacker		
AF = Aluminium Framed	TF = Thermally Broken Aluminium Framed	TF = Timber Framed	

Notes

This document to be read in conjunction with the Basix Certificate and Naters Universal Certificate

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## LEGEND

		EXISTING WALL
		DEMOLISHED ITEMS
		PROPOSED ITEMS



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REV	DATE	ISSUE
A	25.05.18	DEVELOPMENT APPLICATION

**CLIENT**  
Water Street Project

**PROJECT**  
Residential Flat Building

**ADDRESS**  
76 Water Street Belfield Australia 2191

SCALE - AS NOTED @ A3

JOB NUMBER

313

REVISION

A

DRAWING

Title and Legends

DRAWING NO

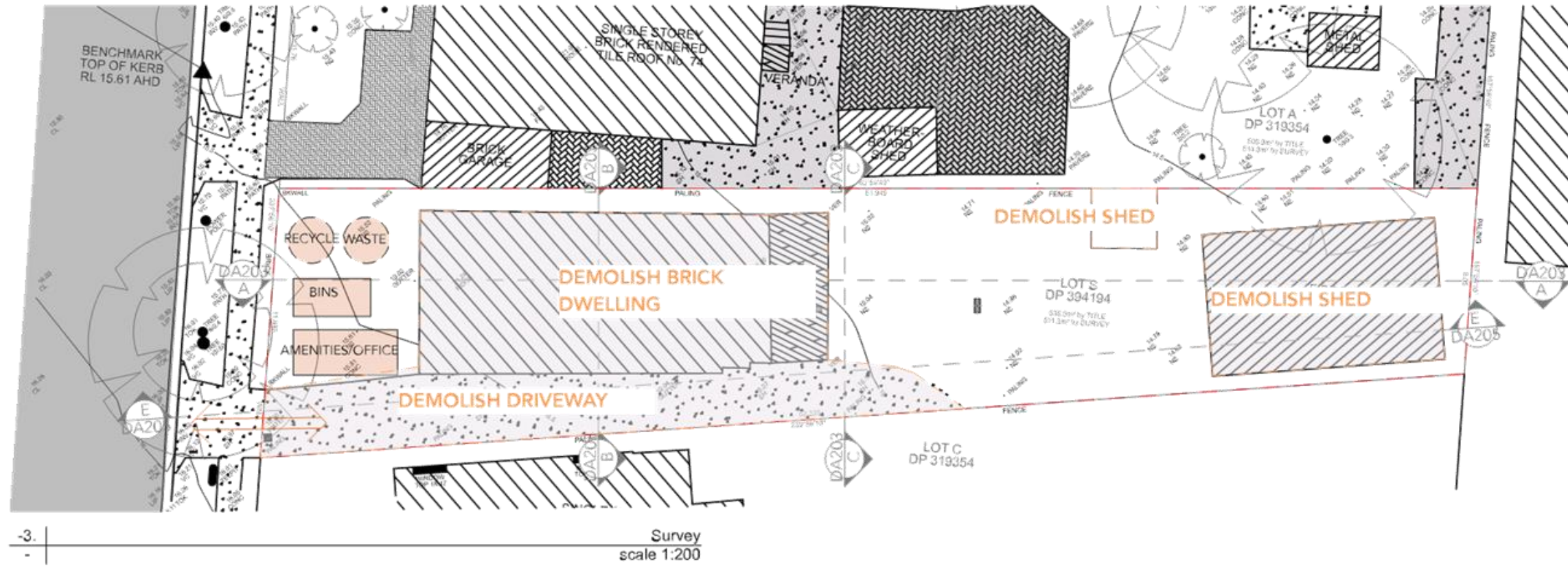
DA00

**NOTES:**

- Protect Council Infrastructure , street trees during demolition.
- Install soil/silt run off barriers in accordance with sediments and erosion control plan.
- Demolition to AS 2601 in accordance with council permits and requirements.
- Provide notice to neighbours and council if hazardous materials are to be demolished in accordance with AS 2601.

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Water Street Project

**PROJECT**  
Residential Flat Building

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SCALE - AS NOTED @ A3

JOB NUMBER  
**313**

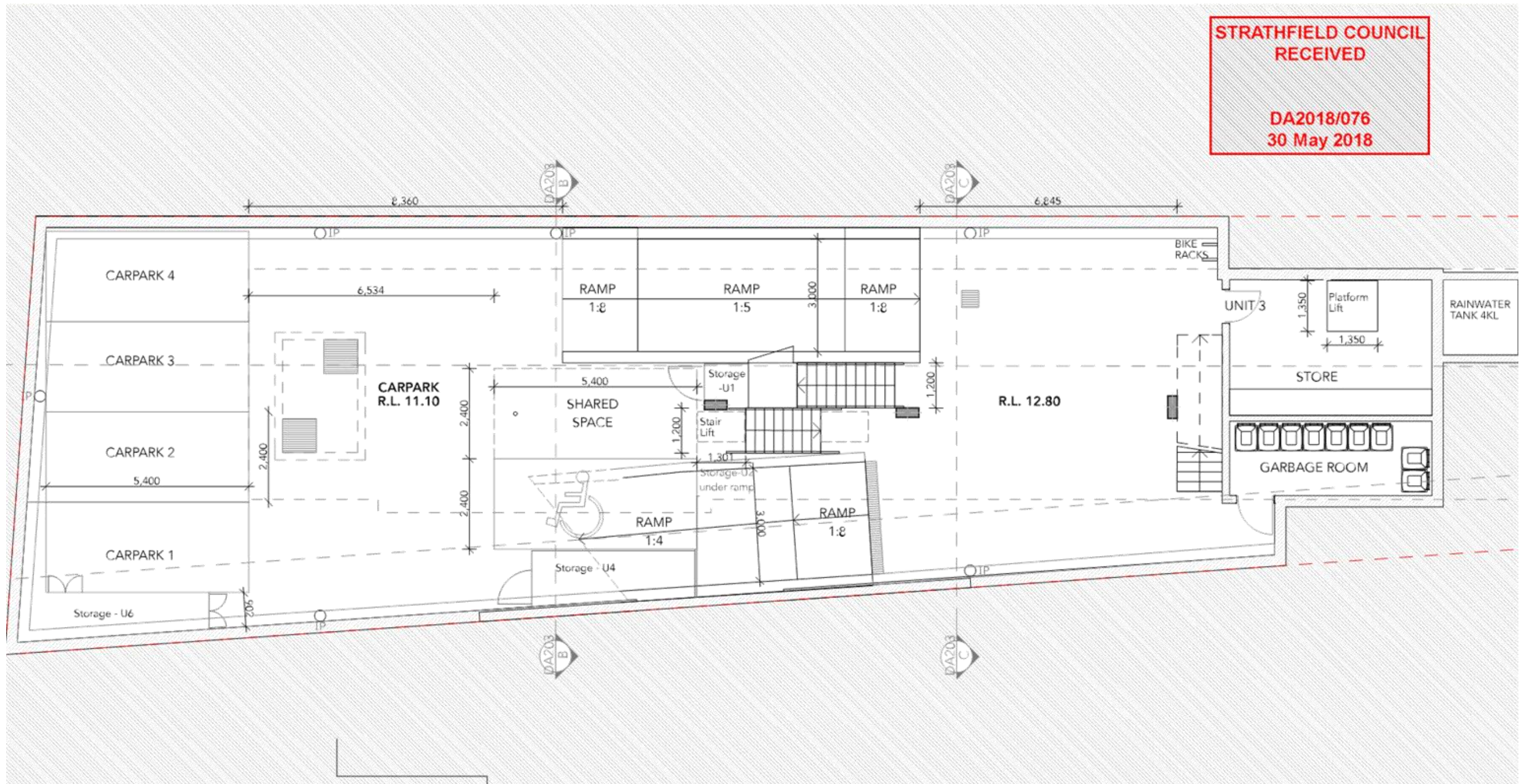
DRAWING  
**Demolition Plan**

REVISION  
**A**

DRAWING NO  
**DA109**

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-1.1. BASEMENT PROPOSED 1:1

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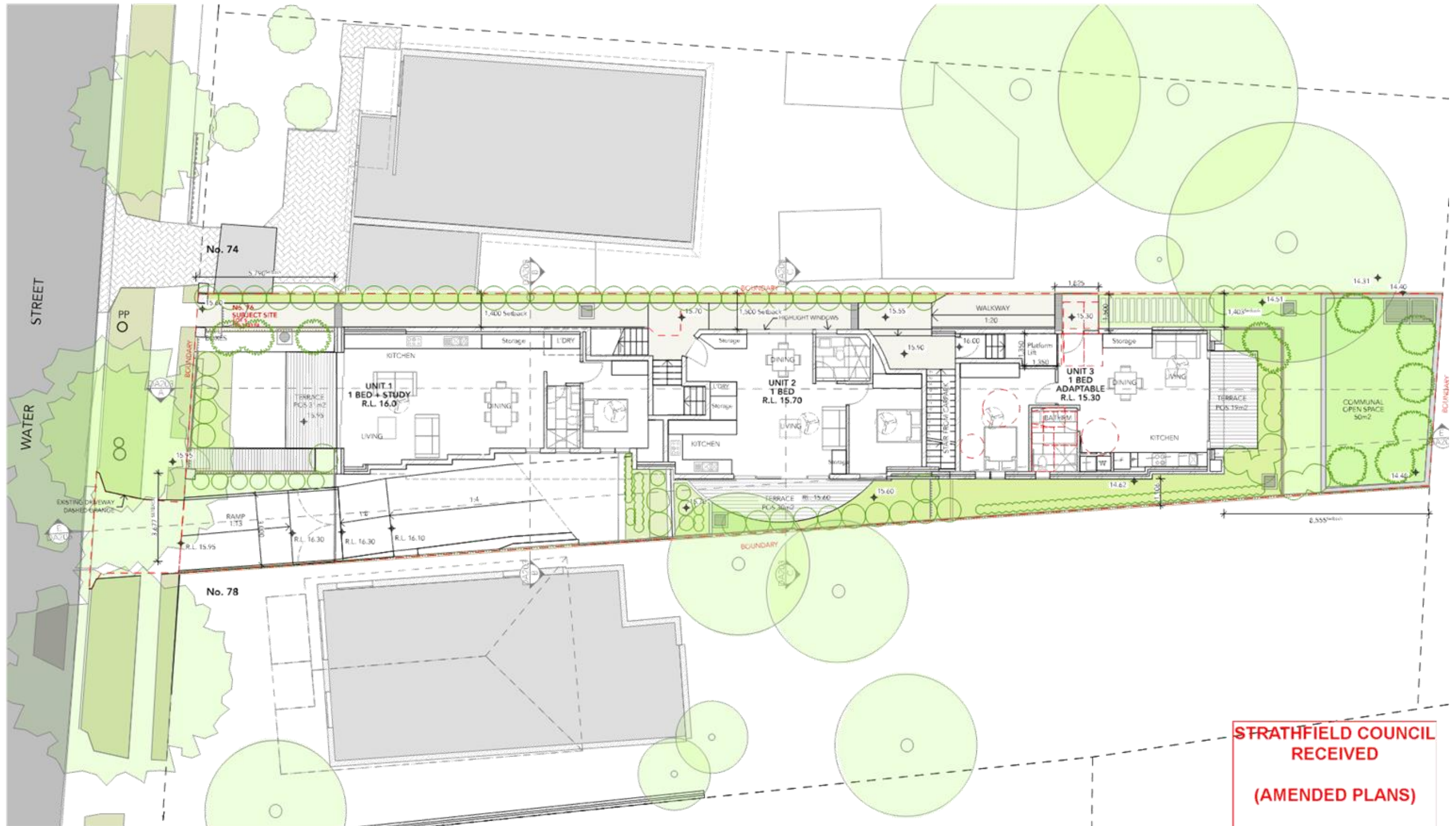
SCALE - AS NOTED @ A3

JOB NUMBER  
**313**

REVISION  
**A**

DRAWING  
**Basement Plan**

DRAWING NO  
**DA107**



GROUND FLOOR PROPOSED  
1:150

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SCALE - AS NOTED @ A3

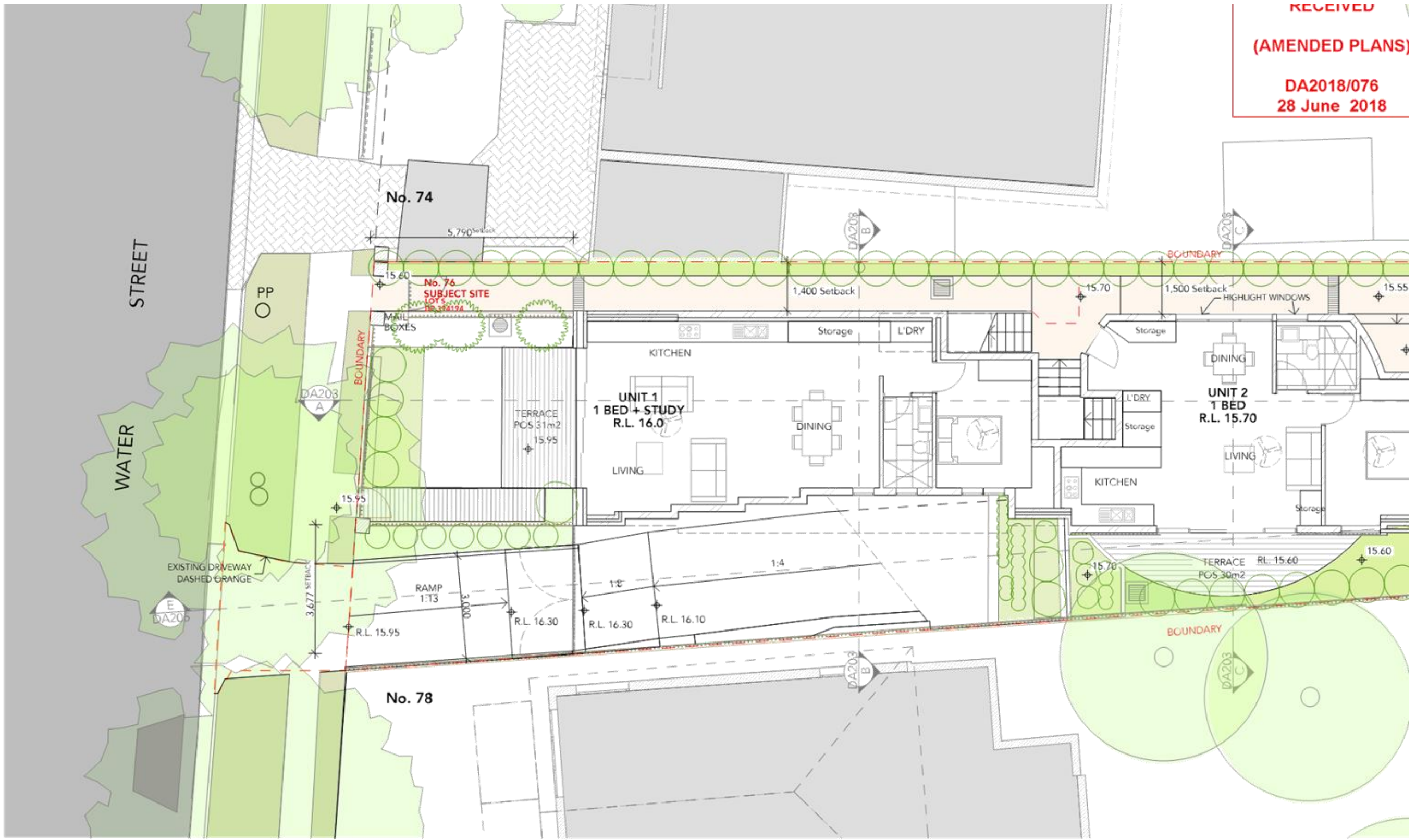
JOB NUMBER  
**313**

REVISION  
**B**

DRAWING  
Ground Floor Plan

DRAWING NO  
**DA101**

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**DA2018/076**  
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Ground Floor Plan  
 1:100

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 Water Street Project

**PROJECT**  
 Residential Flat Building

**ADDRESS**  
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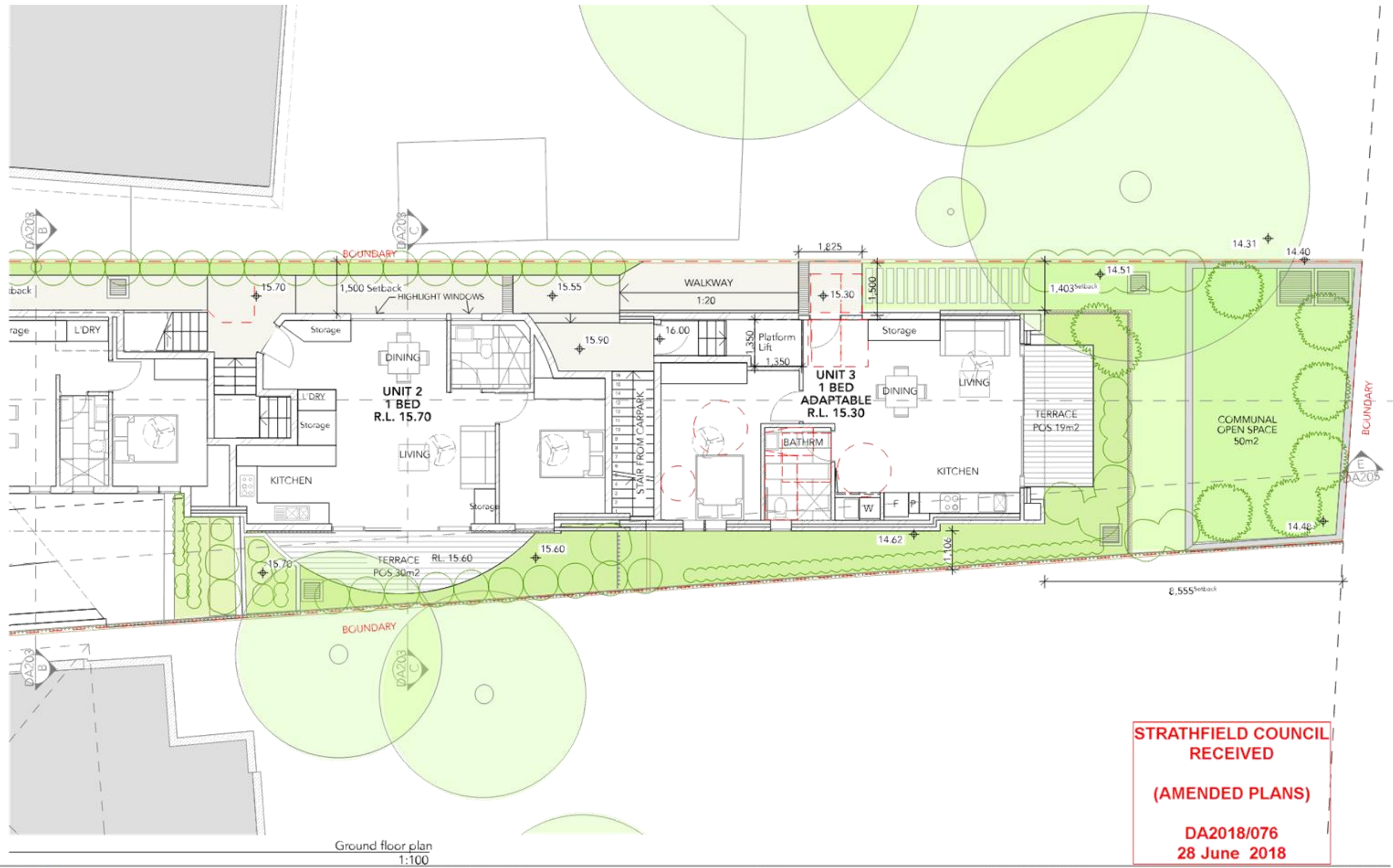
SCALE - AS NOTED @ A3

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**313**

REVISION  
**B**

DRAWING  
**Ground Floor, Unit 1**

DRAWING NO  
**DA102**



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Ground floor plan  
1:100

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**CLIENT**  
Water Street Project

**PROJECT**  
Residential Flat Building

**ADDRESS**  
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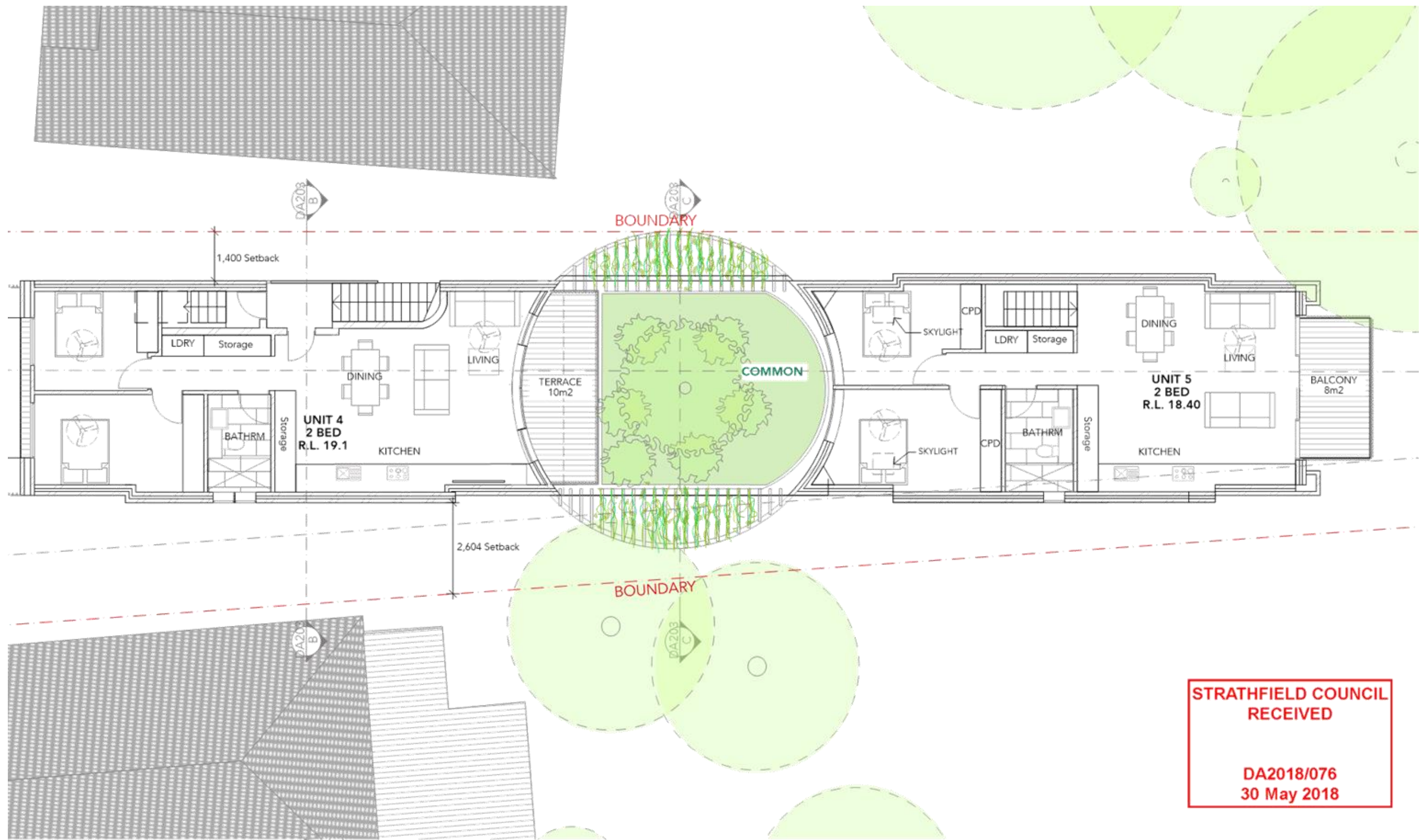
SCALE - AS NOTED @ A3

JOB NUMBER  
**313**

REVISION  
**B**

DRAWING  
Ground Floor Unit 2, 3

DRAWING NO  
**DA103**



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Site Plan Proposed  
1:100

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**PROJECT**  
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SCALE - AS NOTED @ A3

JOB NUMBER

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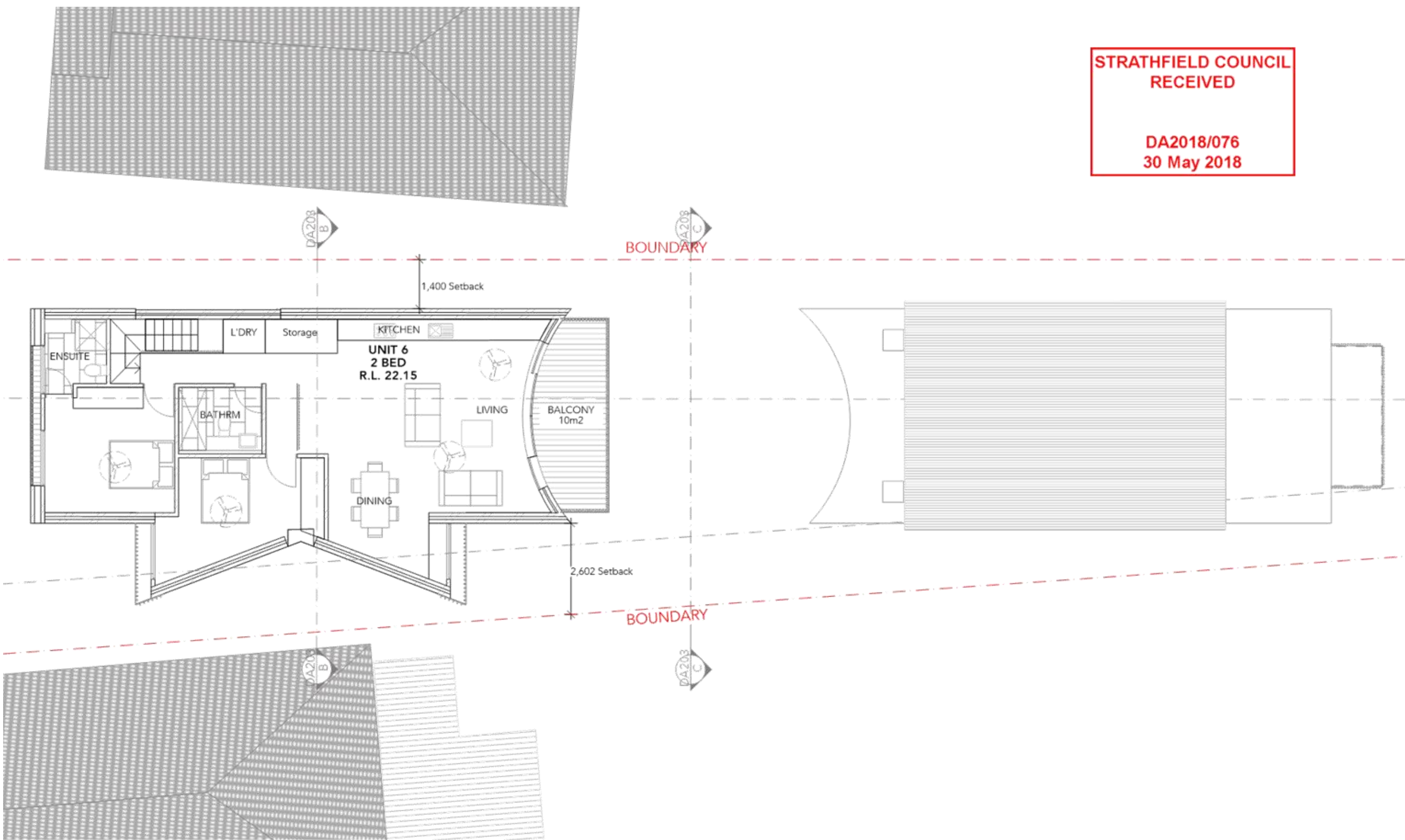
REVISION

A

DRAWING  
First Floor

DRAWING NO

DA104



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Second Floor Plan Proposed  
1:100

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Water Street Project

**PROJECT**  
Residential Flat Building

**ADDRESS**  
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SCALE - AS NOTED @ A3

JOB NUMBER

313

REVISION

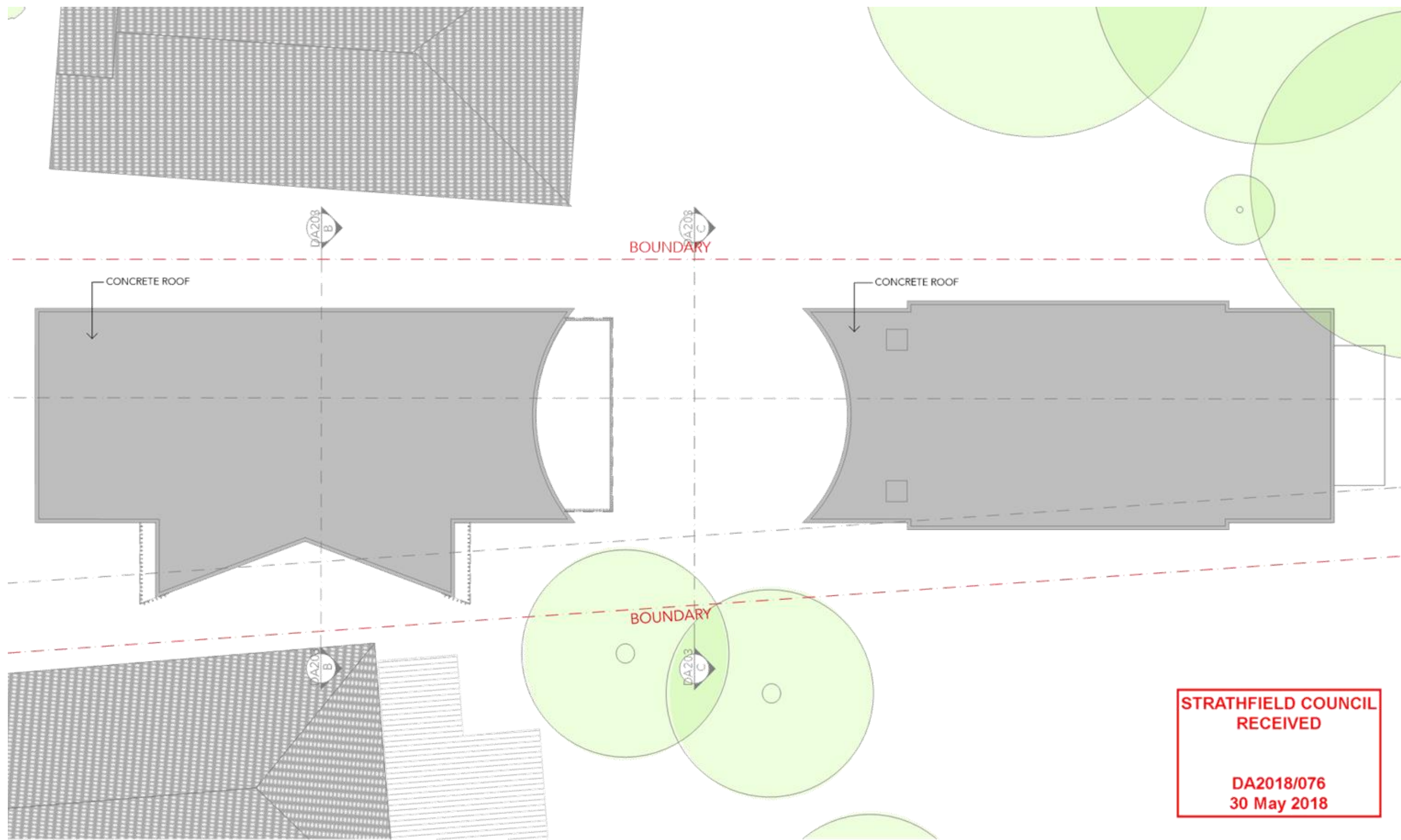
A

DRAWING  
Second Floor Plan

DRAWING NO

DA105





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ROOF PROPOSED  
1:100

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**ADDRESS**  
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SCALE - AS NOTED @ A3

JOB NUMBER

313

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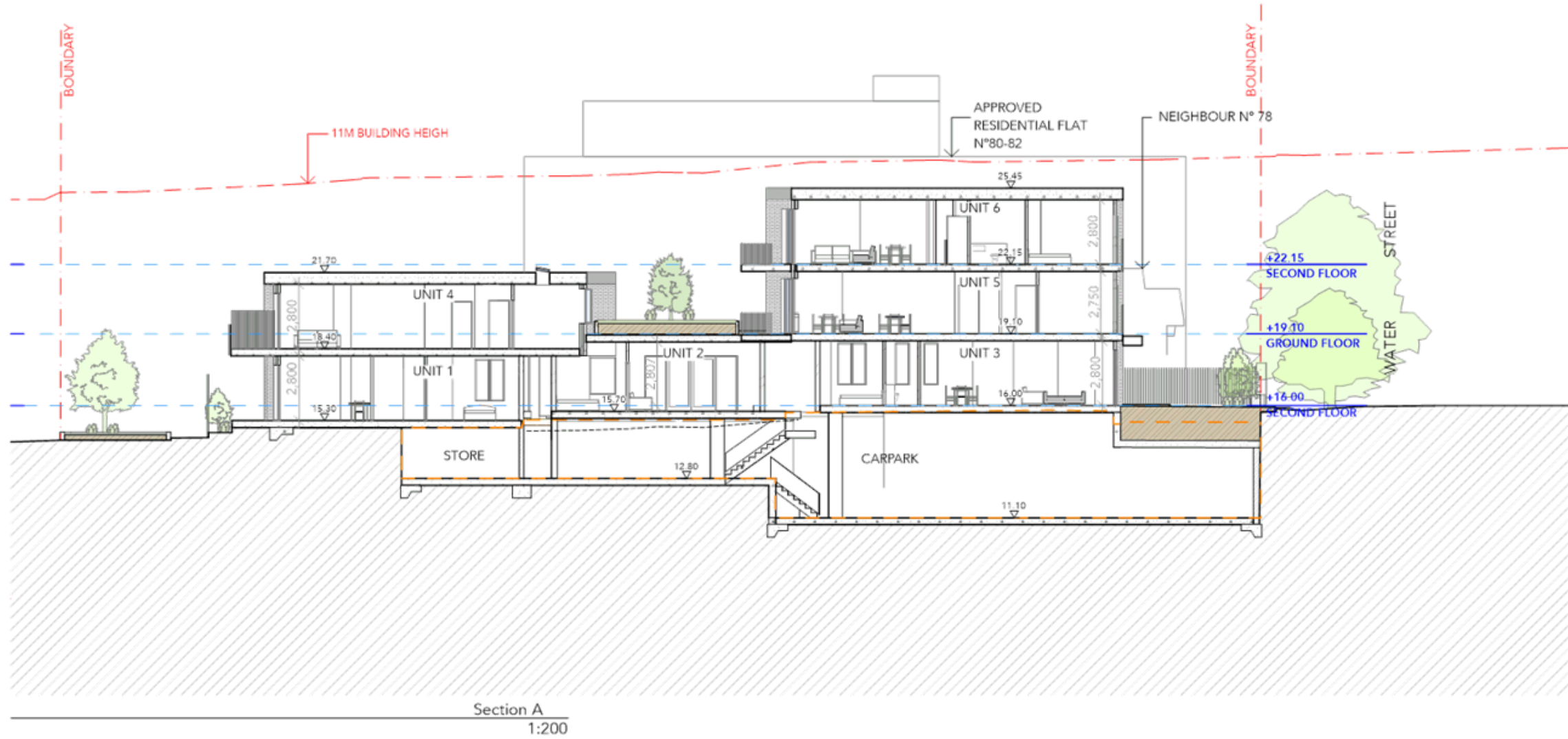
A

DRAWING  
Roof Plan

DRAWING NO

DA106

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REV	DATE	ISSUE
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**CLIENT**  
Water Street Project

SCALE - AS NOTED @ A3

DRAWING  
**Section A**

**PROJECT**  
Residential Flat Building

JOB NUMBER

REVISION

DRAWING NO

**ADDRESS**  
76 Water Street Belfield Australia 2191

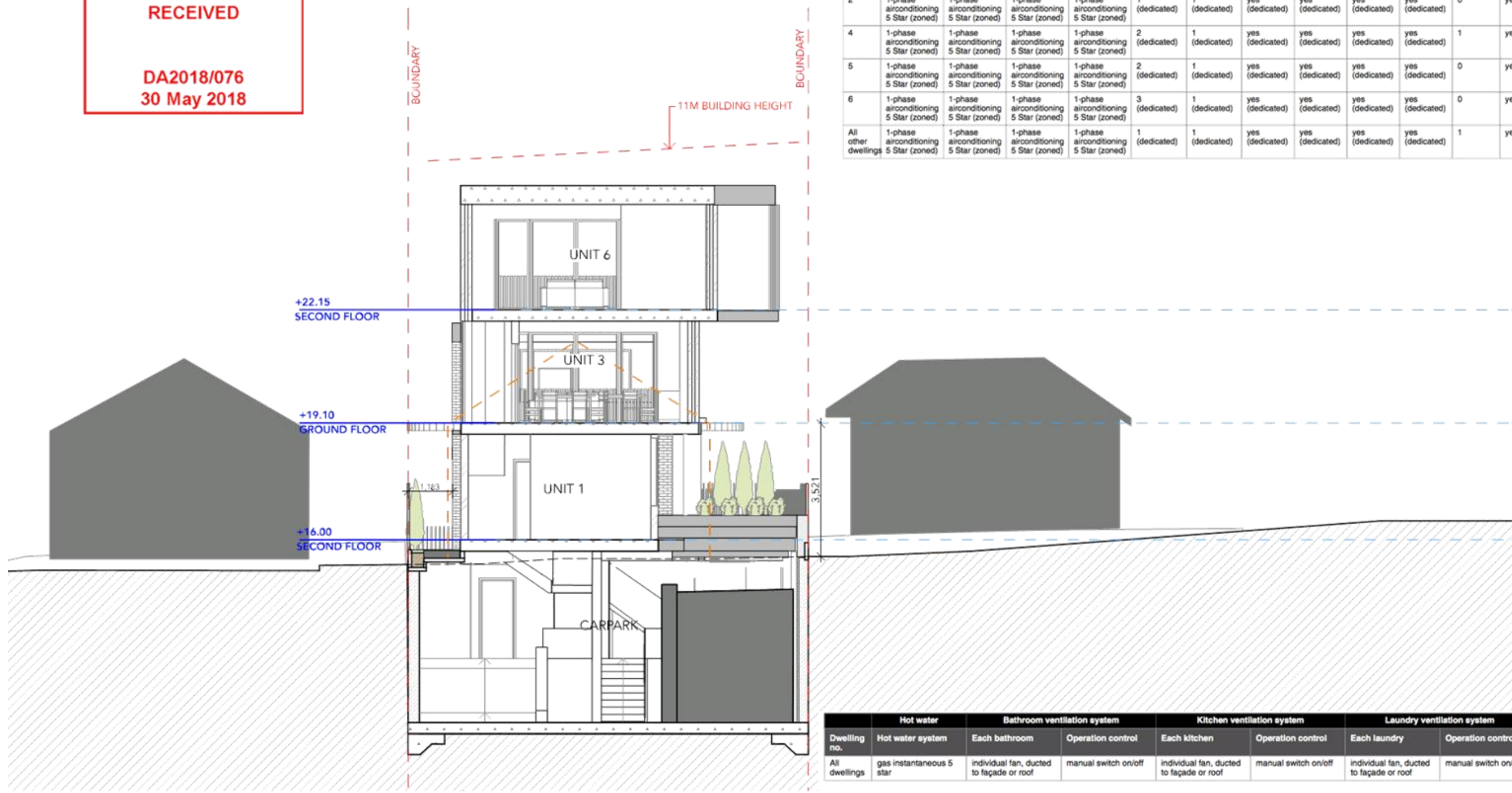
**313**

**A**

**DA201**

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Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitc
2	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes
4	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes
5	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes
6	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes
All other dwellings	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1-phase airconditioning 5 Star (zoned)	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes

Dwelling no.	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

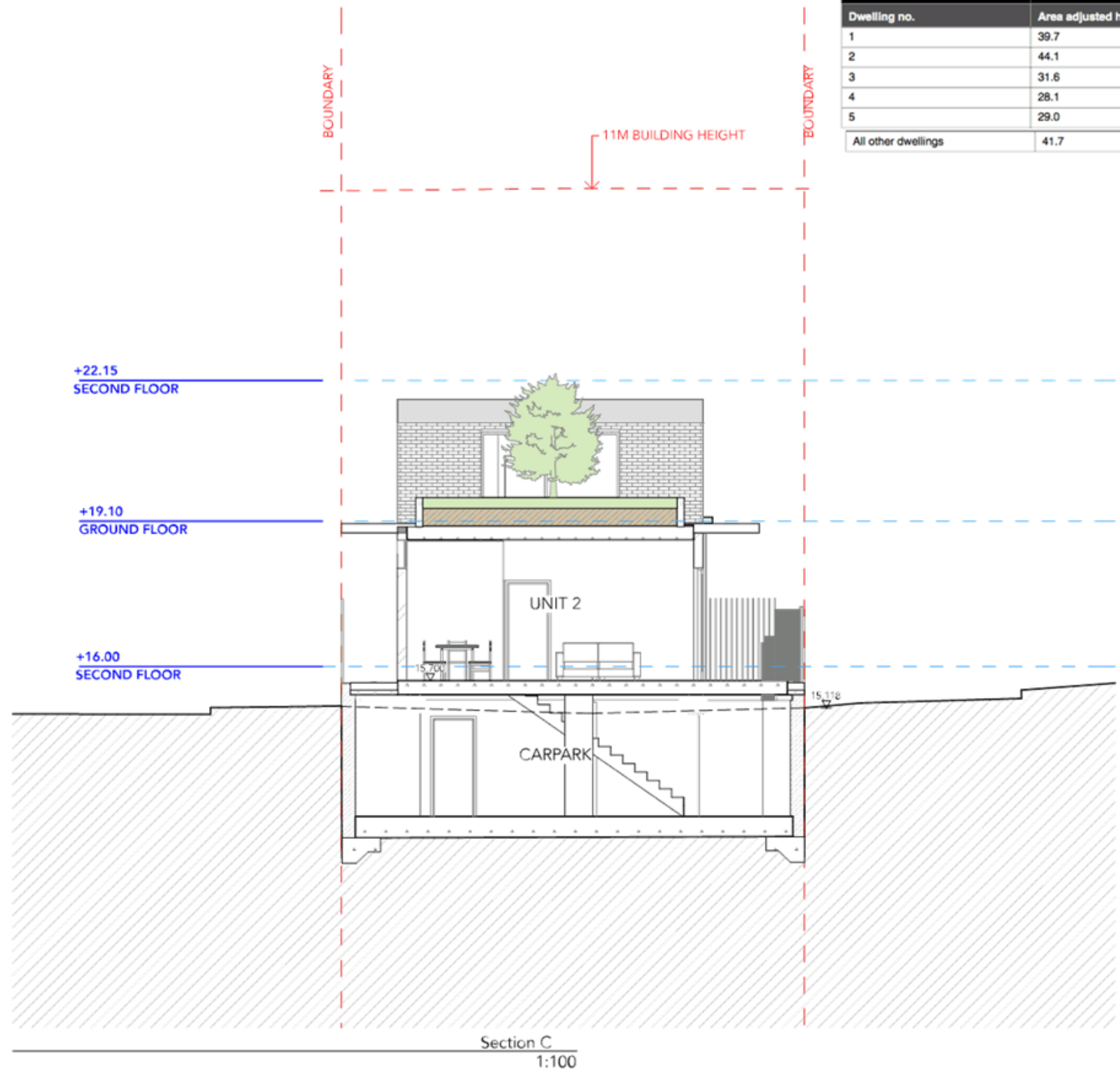
Section B  
1:100

  
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<b>CLIENT</b> Water Street Project	<b>SCALE</b> - AS NOTED @ A3	<b>DRAWING</b> Section B
<b>PROJECT</b> Residential Flat Building	<b>JOB NUMBER</b> 313	<b>REVISION</b> A
<b>ADDRESS</b> 76 Water Street Belfield Australia 2191	<b>DRAWING NO</b> DA202	



Dwelling no.	Thermal loads	
	Area adjusted heating load (in mJ/m /yr)	Area adjusted cooling load (in mJ/m /yr)
1	39.7	25.9
2	44.1	9.3
3	31.6	14.3
4	28.1	25.3
5	29.0	24.3
All other dwellings	41.7	25.5

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**CLIENT**  
 Water Street Project  
  
**PROJECT**  
 Residential Flat Building  
  
**ADDRESS**  
 76 Water Street Belfield Australia 2191

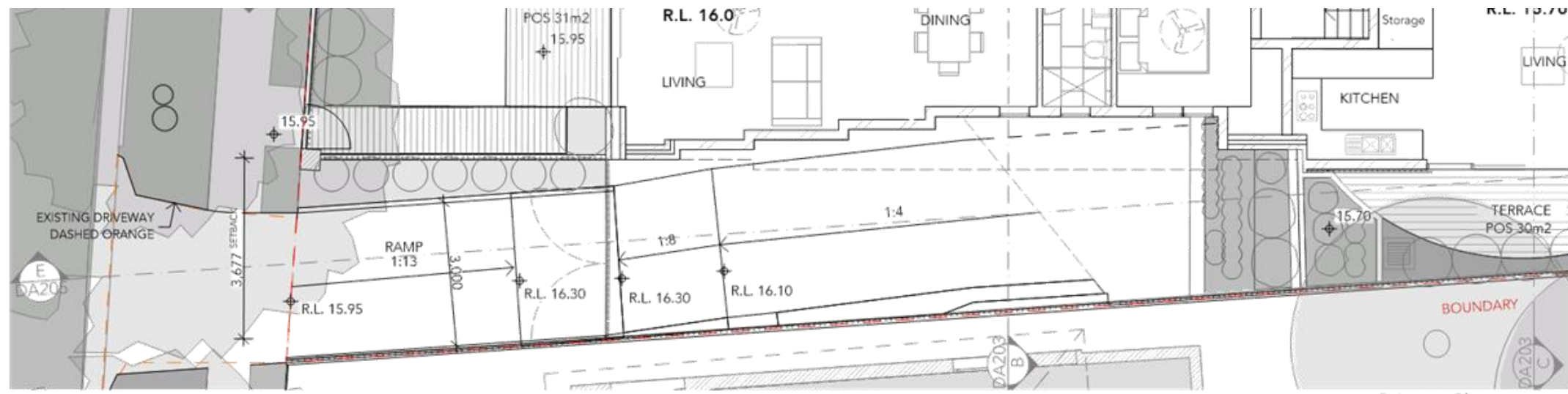
SCALE - AS NOTED @ A3

JOB NUMBER  
**313**

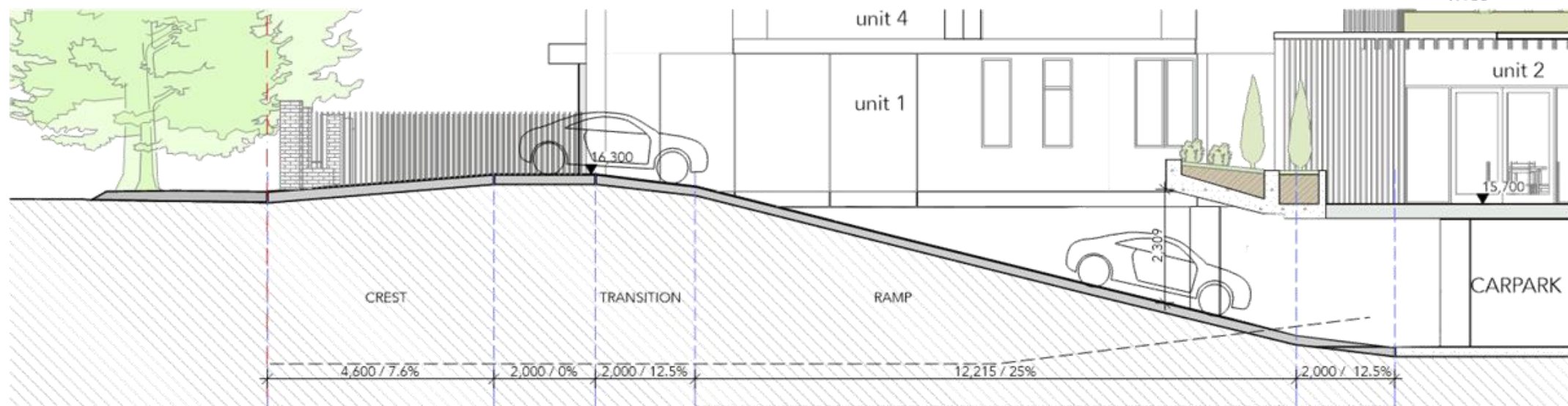
REVISION  
**A**

DRAWING  
**Section C**

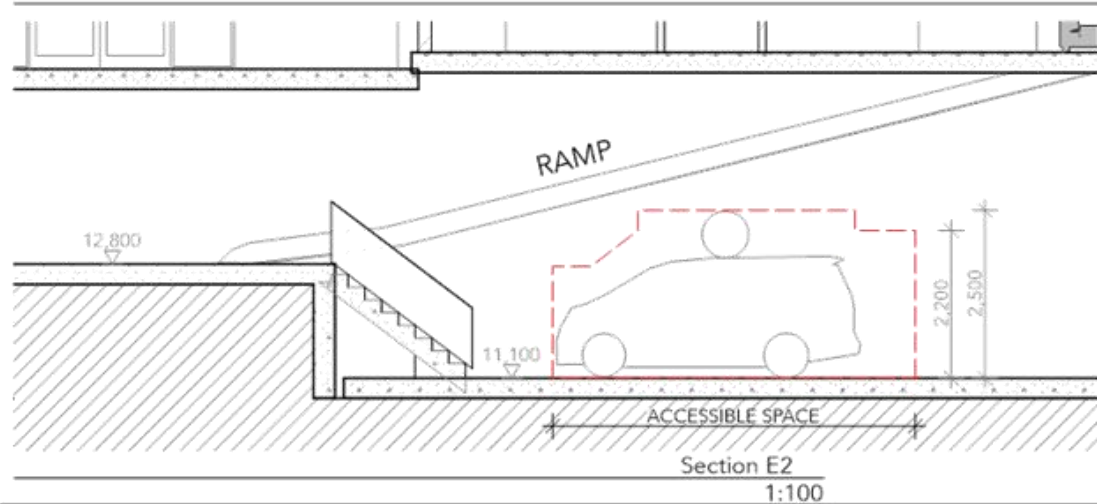
DRAWING NO  
**DA203**



Driveway Plan  
1:100



Section E  
1:100



Section E2  
1:100

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**(AMENDED PLANS)**  
  
**DA2018/076  
28 June 2018**

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B	29.06.18	DEVELOPMENT APPLICATION AMENDMENTS

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**CLIENT**  
Water Street Project

**PROJECT**  
Residential Flat Building

**ADDRESS**  
76 Water Street Belfield Australia 2191

SCALE - AS NOTED @ A3

JOB NUMBER

313

REVISION

B

DRAWING  
Front Drive Access

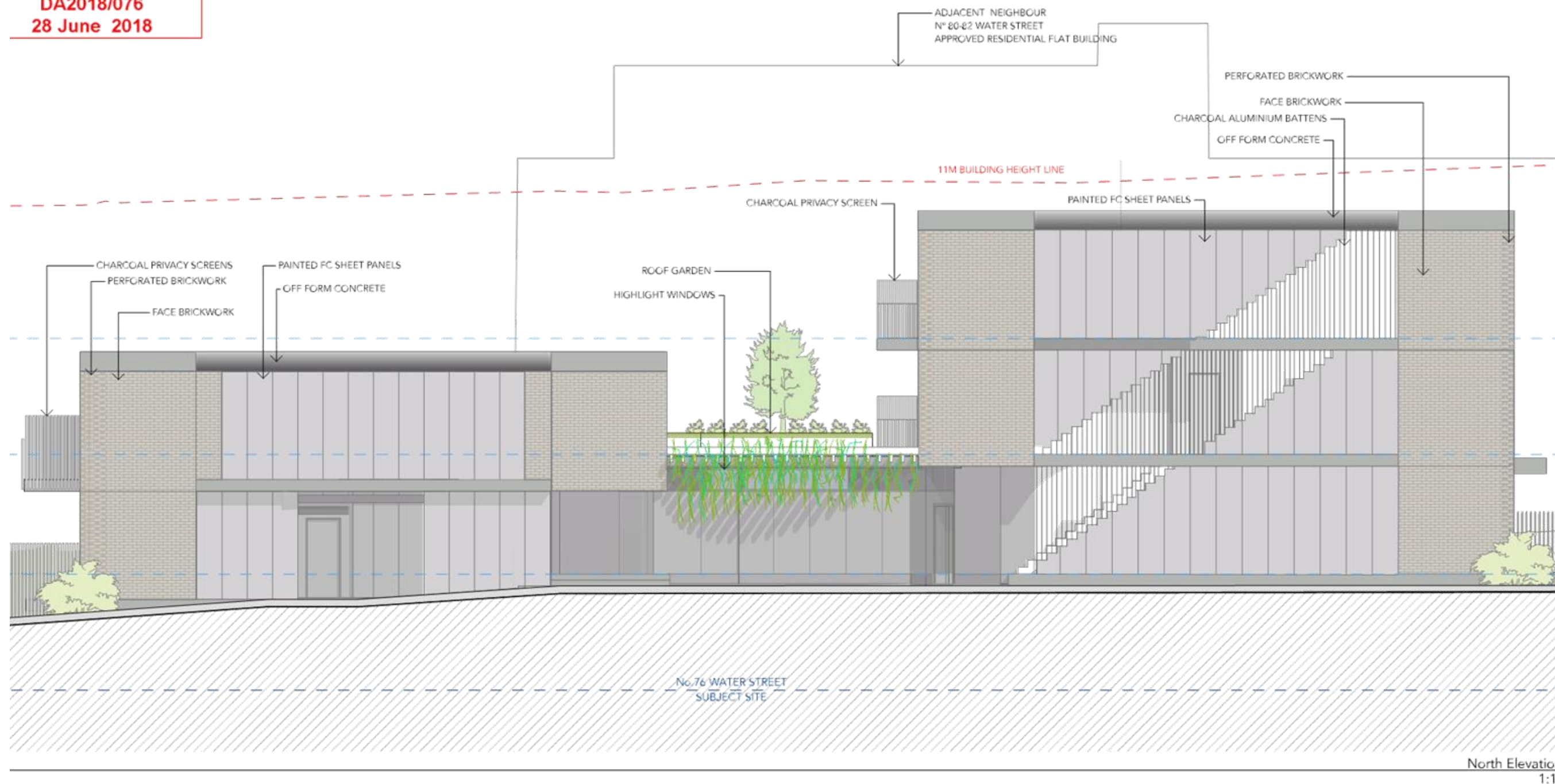
DRAWING NO

DA204

**RATHFIELD COUNCIL  
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**(AMENDED PLANS)**

**DA2018/076  
28 June 2018**



**UJ**

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**CLIENT**  
Water Street Project

SCALE - AS NOTED @ A3

DRAWING

Elevation 01 - North

**PROJECT**  
Residential Flat Building

JOB NUMBER

REVISION

DRAWING NO

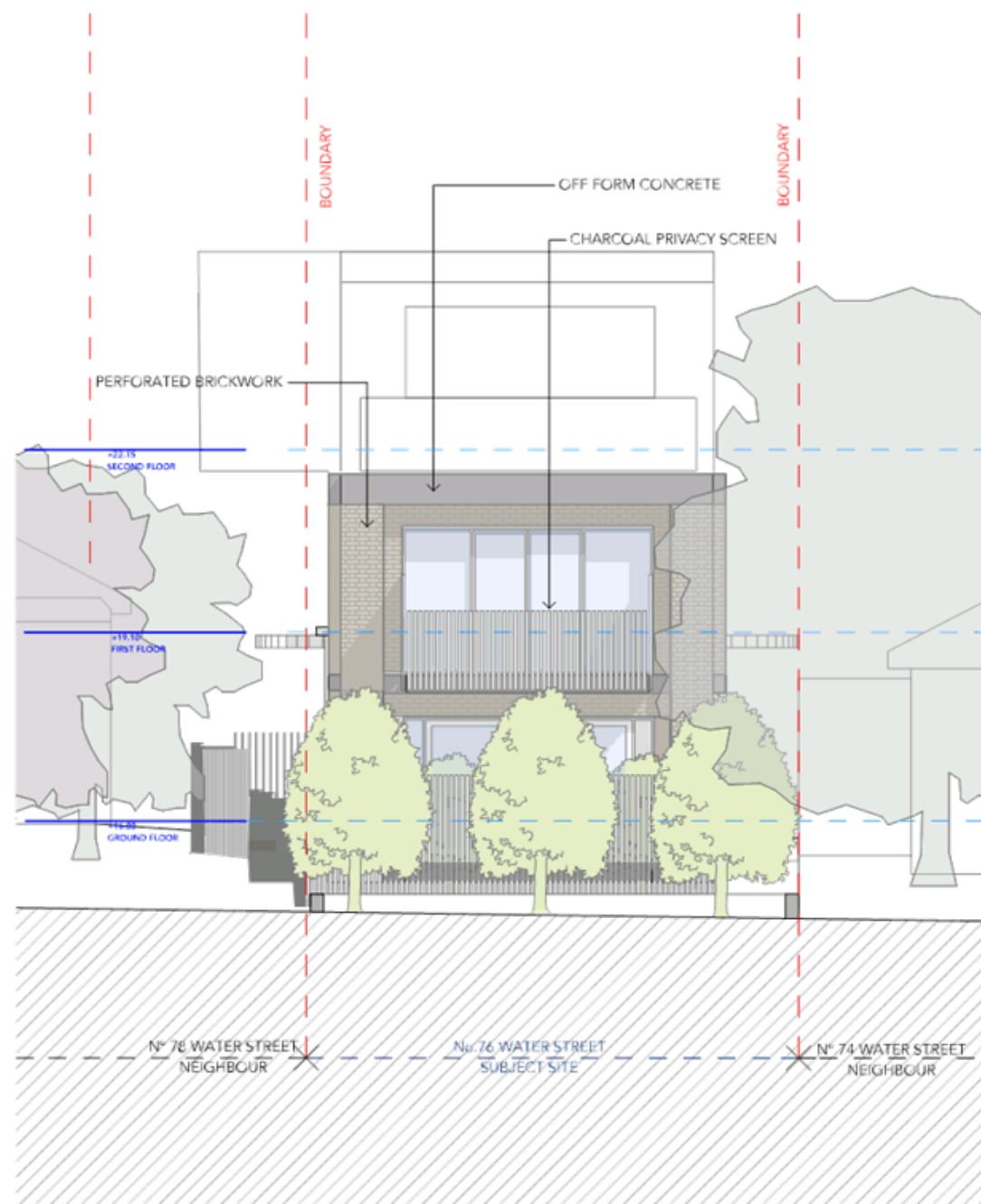
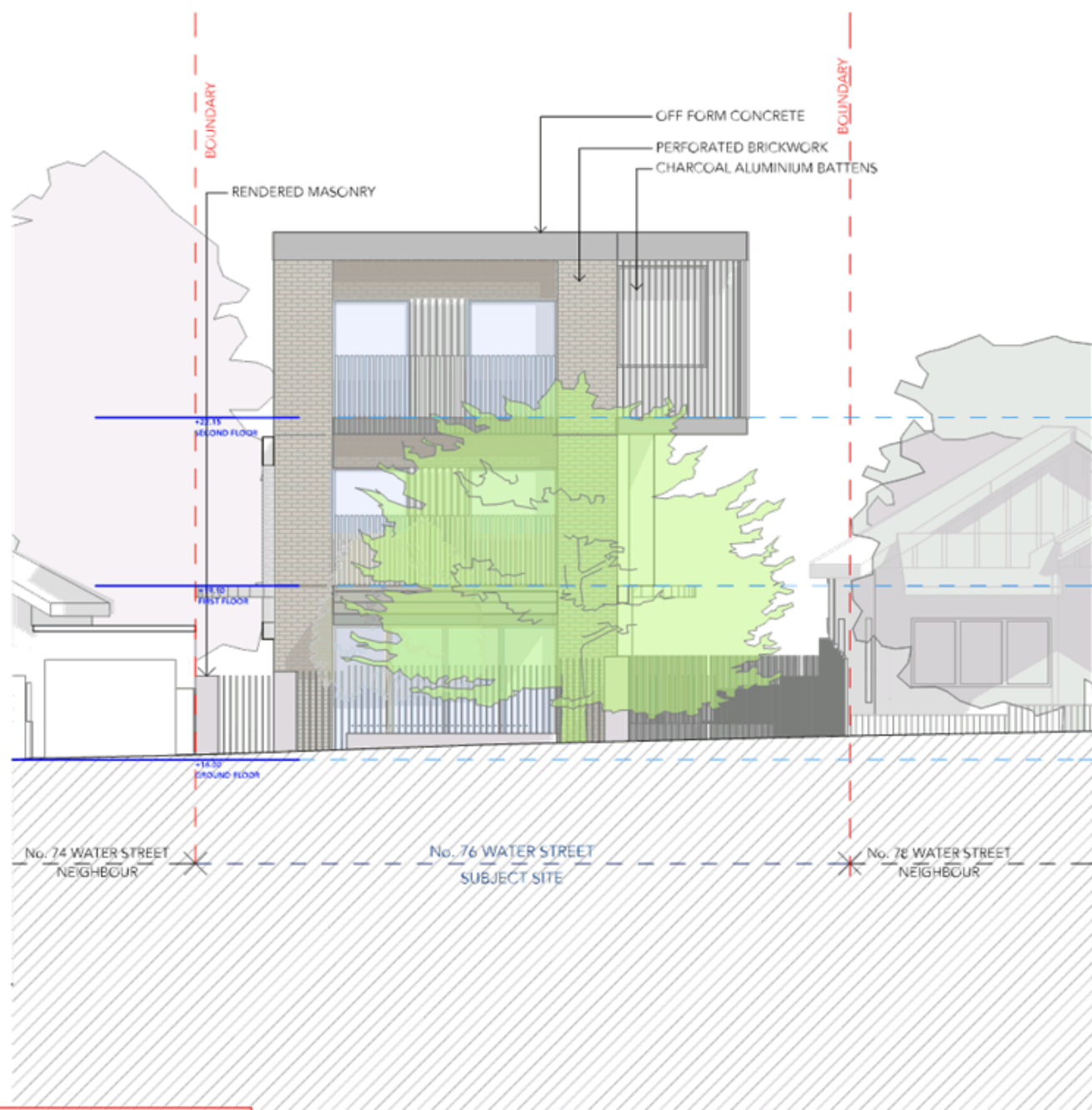
**ADDRESS**  
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313

B

DA301

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**(AMENDED PLANS)**

**DA2018/076  
28 June 2018**

West Elevation  
1:100

East Elevation  
1:100



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NSW Registered Architects Martin Urakawa No.6776 and Zoe Jenkins No.7580

REV	DATE	ISSUE
A	25.05.18	DEVELOPMENT APPLICATION
B	29.06.18	DEVELOPMENT APPLICATION AMENDMENTS

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**CLIENT**  
Water Street Project

SCALE - AS NOTED @ A3

DRAWING

**PROJECT**  
Residential Flat Building

Elevation 02 - East and West

**ADDRESS**  
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JOB NUMBER  
313

REVISION  
B

DRAWING NO  
DA302

LEGEND  
W. = Windows



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**CLIENT**  
Water Street Project

**PROJECT**  
Residential Flat Building

**ADDRESS**  
76 Water Street Belfield Australia 2191

SCALE - AS NOTED @ A3

JOB NUMBER

313

REVISION

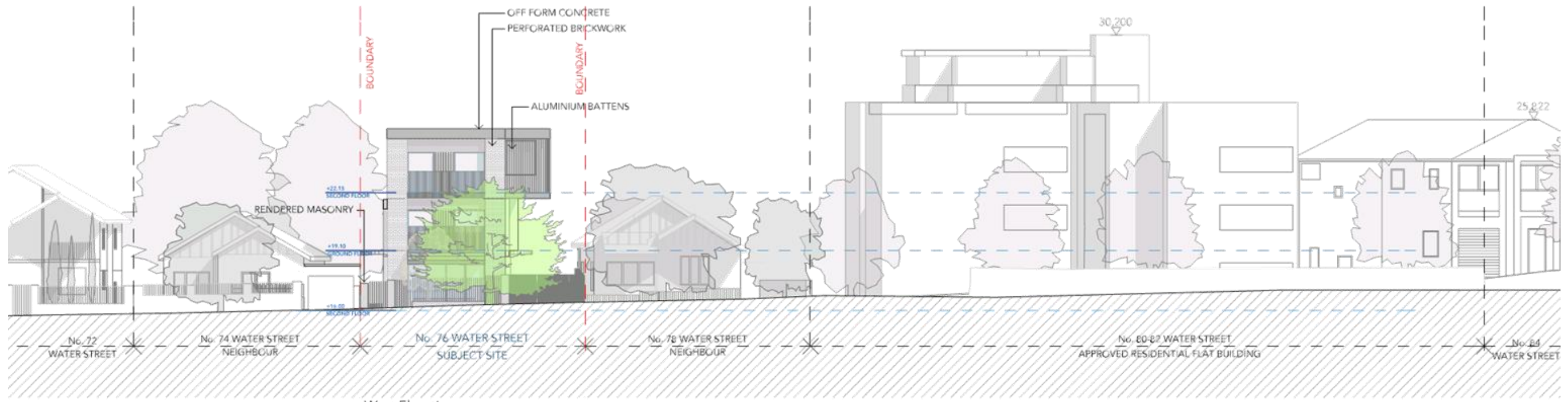
B

DRAWING  
Elevation 03 - South

DRAWING NO

DA303





West Elevation  
1:200



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30 May 2018**

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Water Street Project

**PROJECT**  
Residential Flat Building

**ADDRESS**  
76 Water Street Belfield Australia 2191

SCALE - AS NOTED @ A3

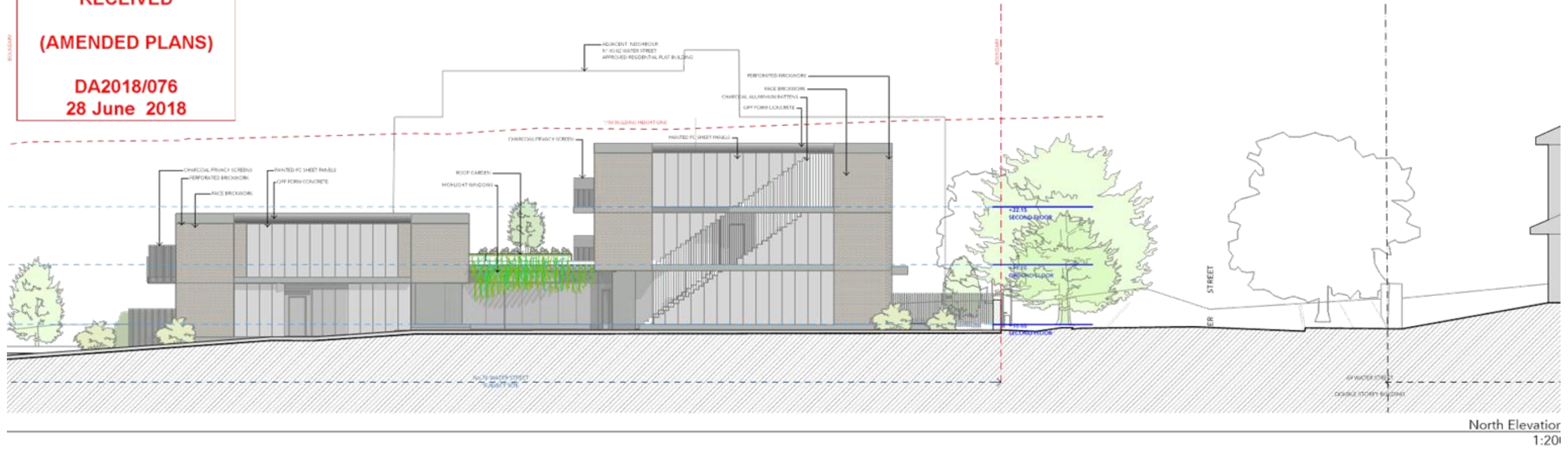
JOB NUMBER  
**313**

REVISION  
**A**

DRAWING  
**Streetscape**

DRAWING NO  
**DA304**

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**(AMENDED PLANS)**  
**DA2018/076**  
**28 June 2018**



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**CLIENT**  
Water Street Project

SCALE - AS NOTED @ A3

DRAWING

**PROJECT**  
Residential Flat Building

JOB NUMBER

REVISION

DRAWING NO

**ADDRESS**  
76 Water Street Belfield Australia 2191

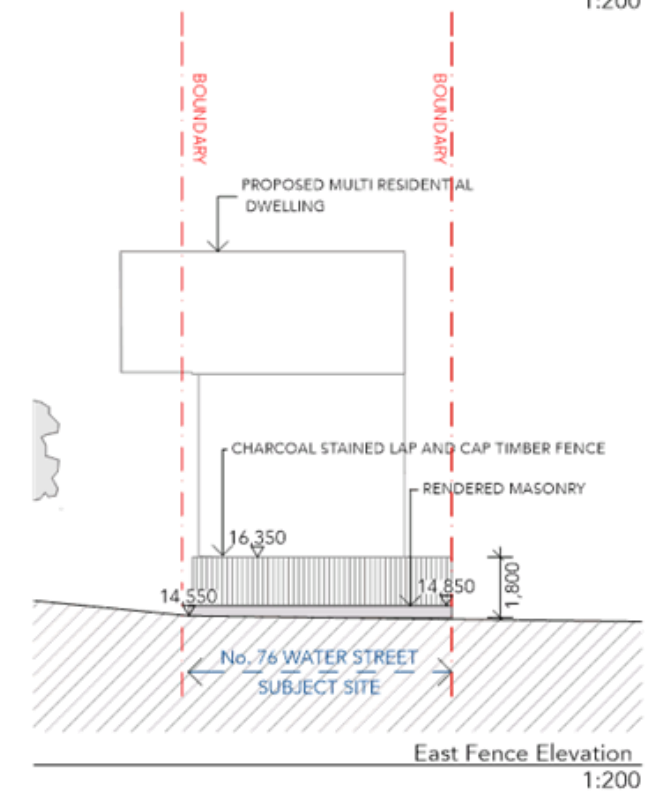
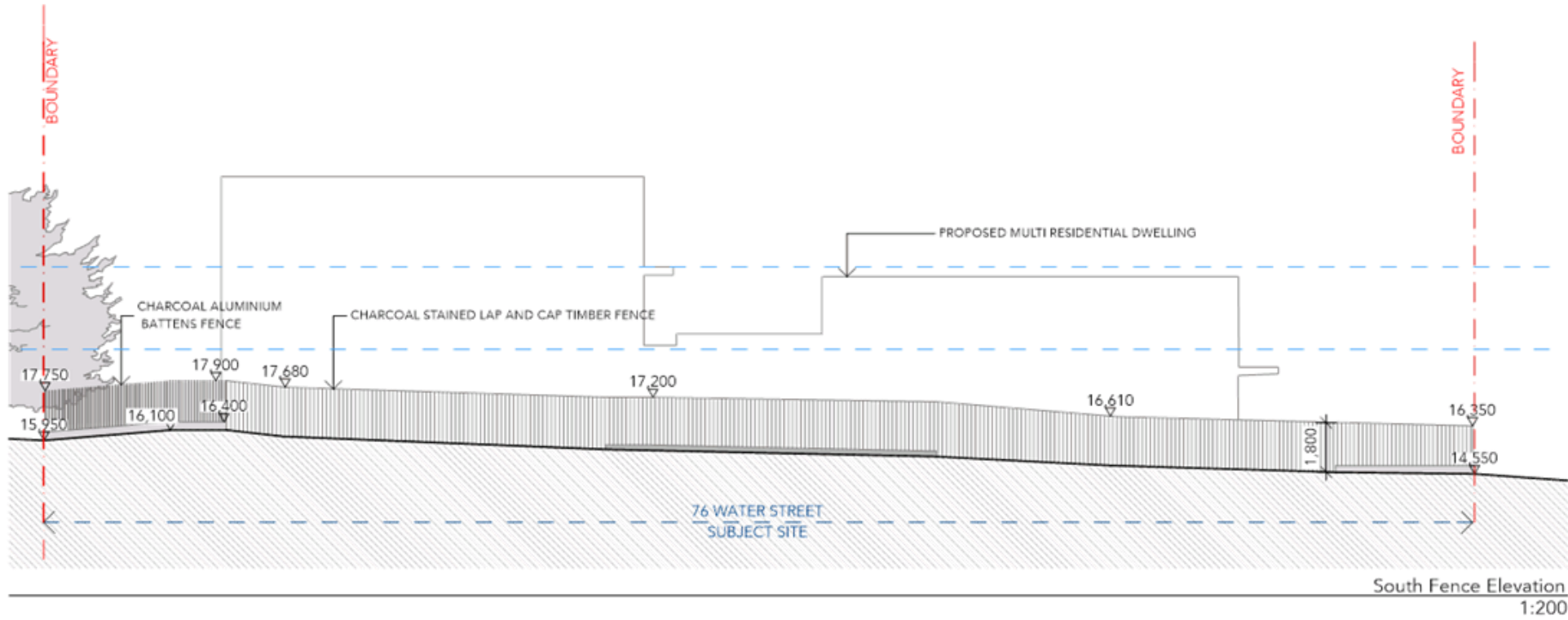
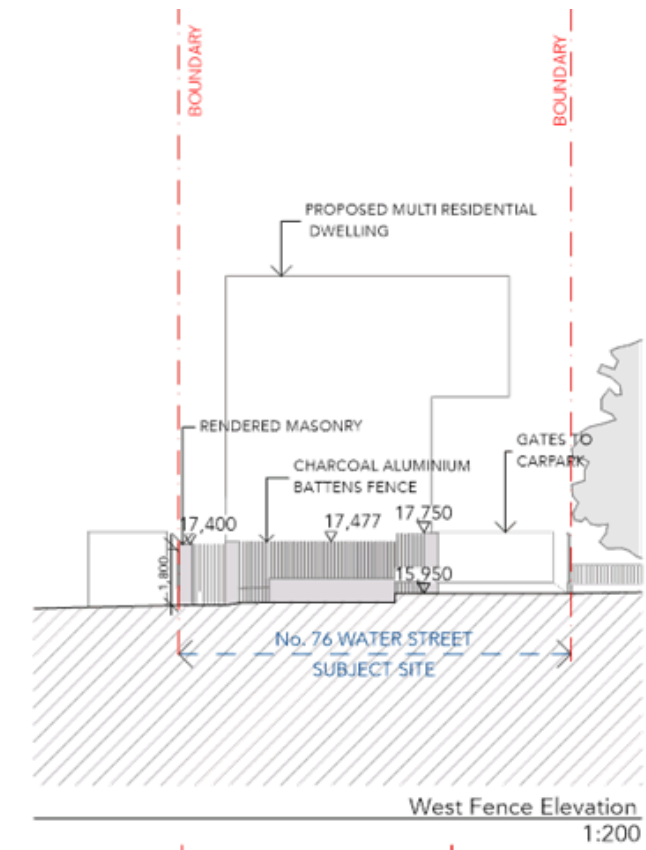
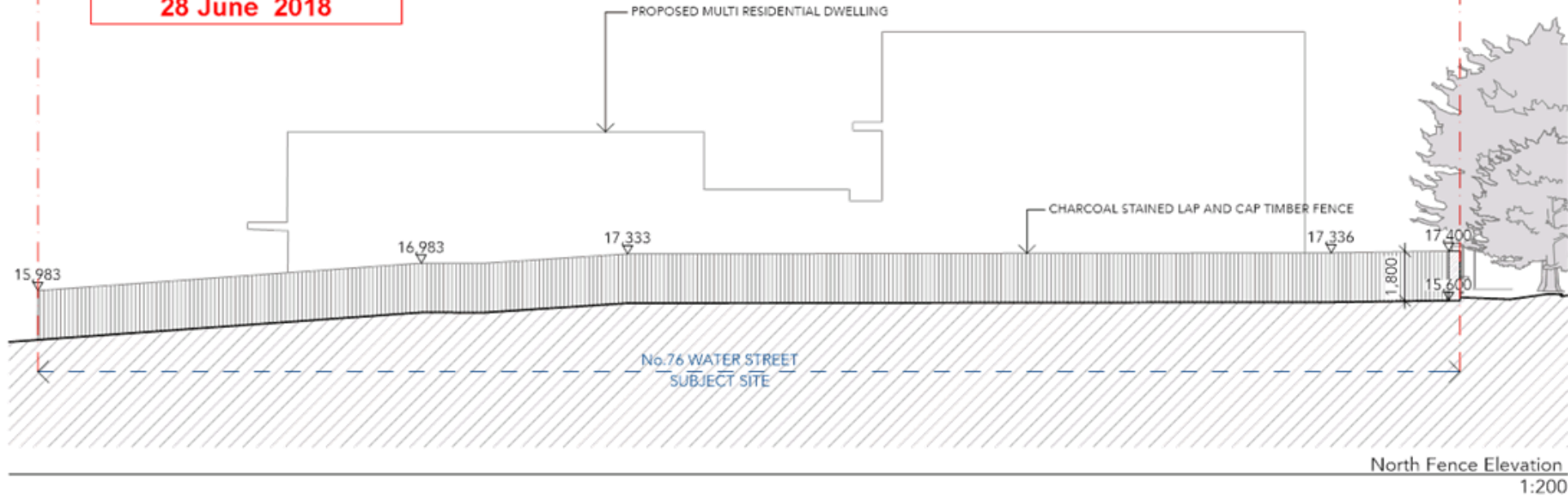
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Water Street Project

**PROJECT**  
Residential Flat Building

**ADDRESS**  
76 Water Street Belfield Australia 2191

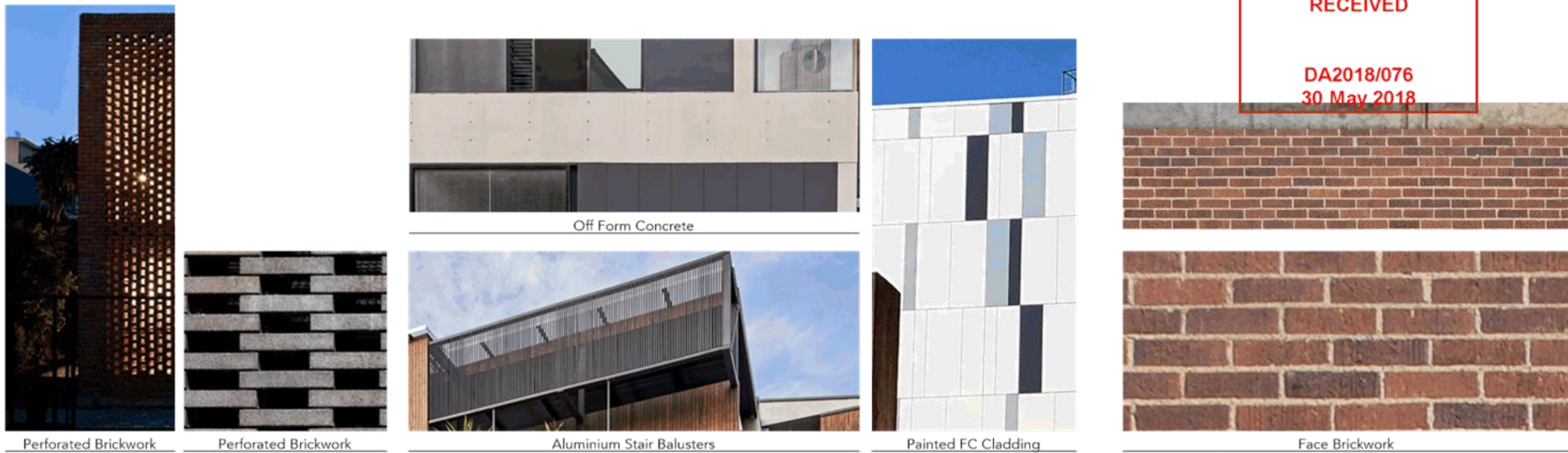
SCALE - AS NOTED @ A3

JOB NUMBER  
**313**

REVISION  
**B**

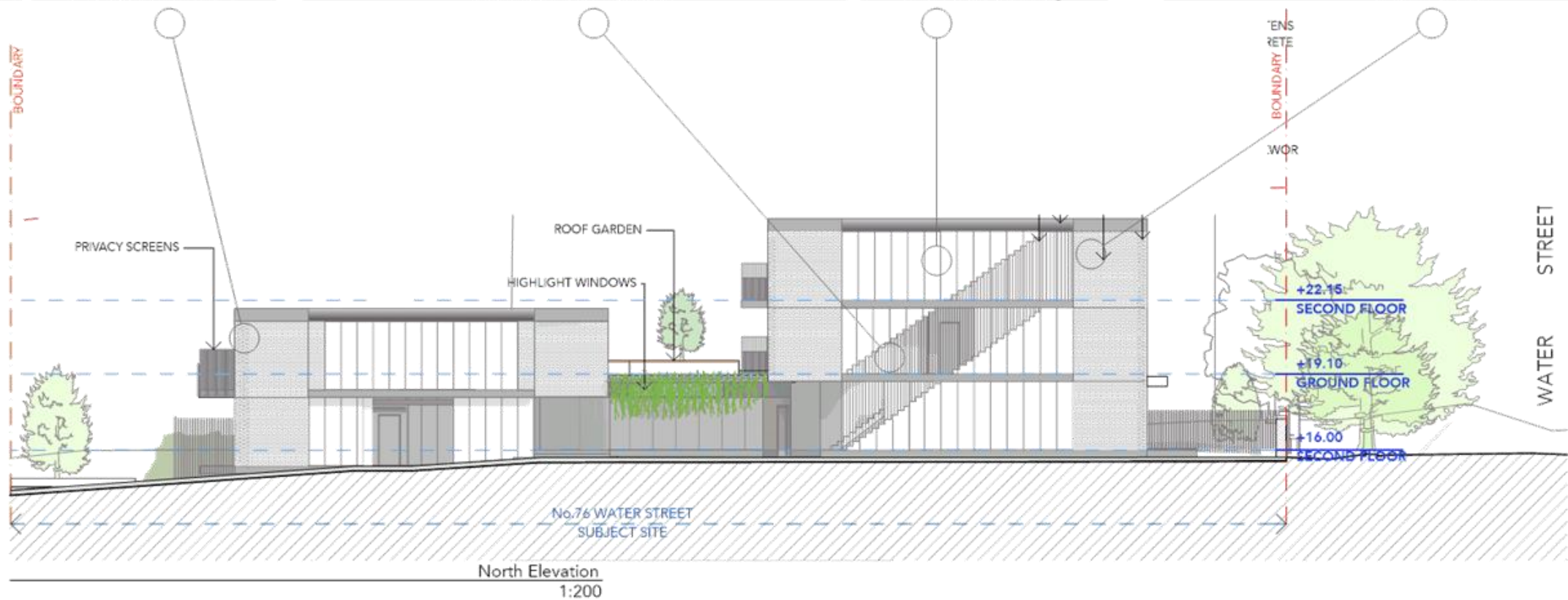
DRAWING  
**Fence Elevation Plan**

DRAWING NO  
**DA306**



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**CLIENT**  
Water Street Project

**PROJECT**  
Residential Flat Building

**ADDRESS**  
76 Water Street Belfield Australia 2191

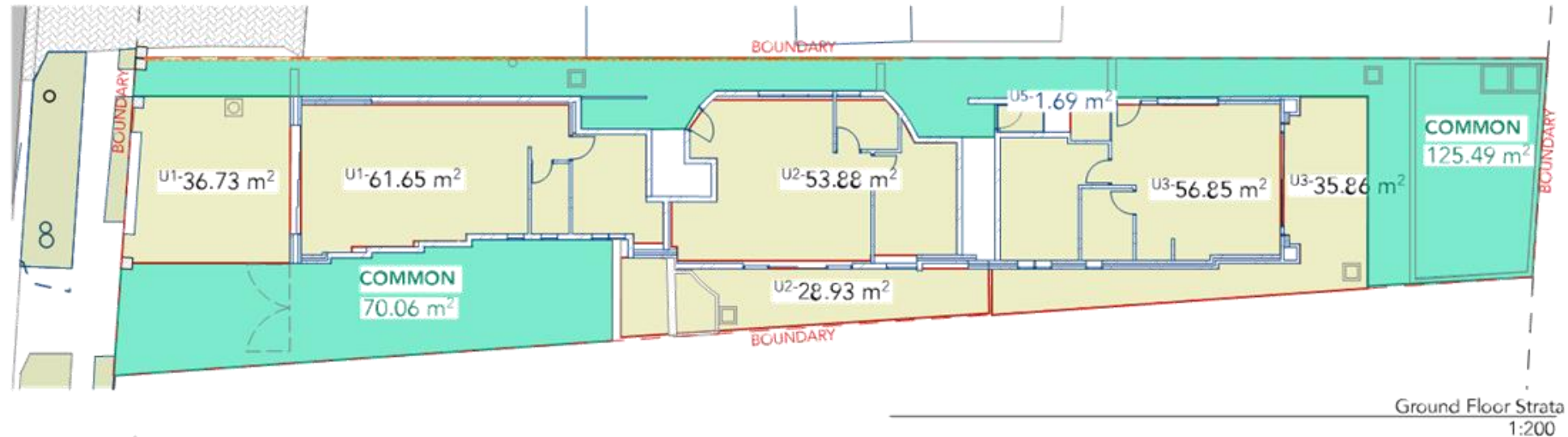
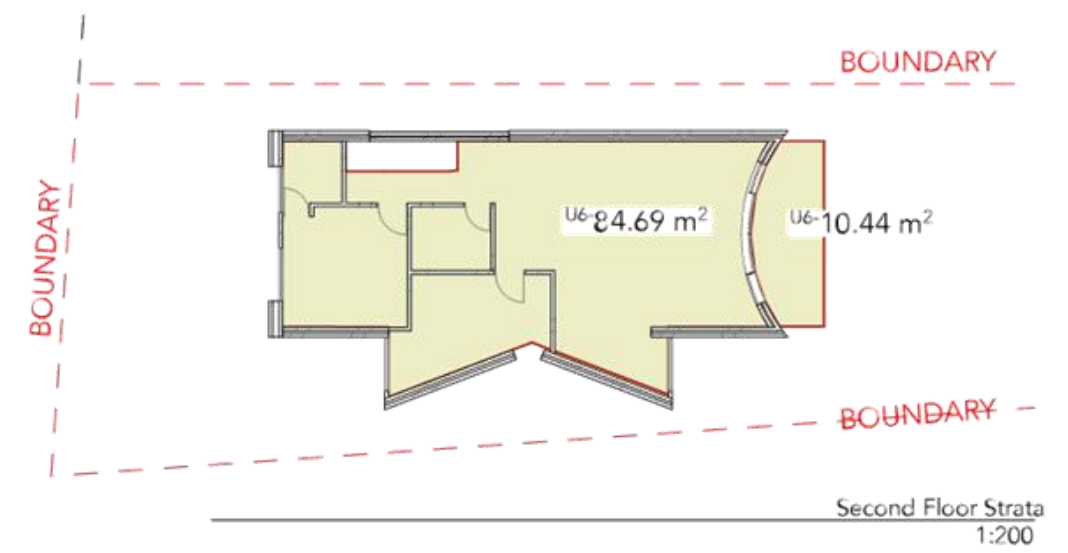
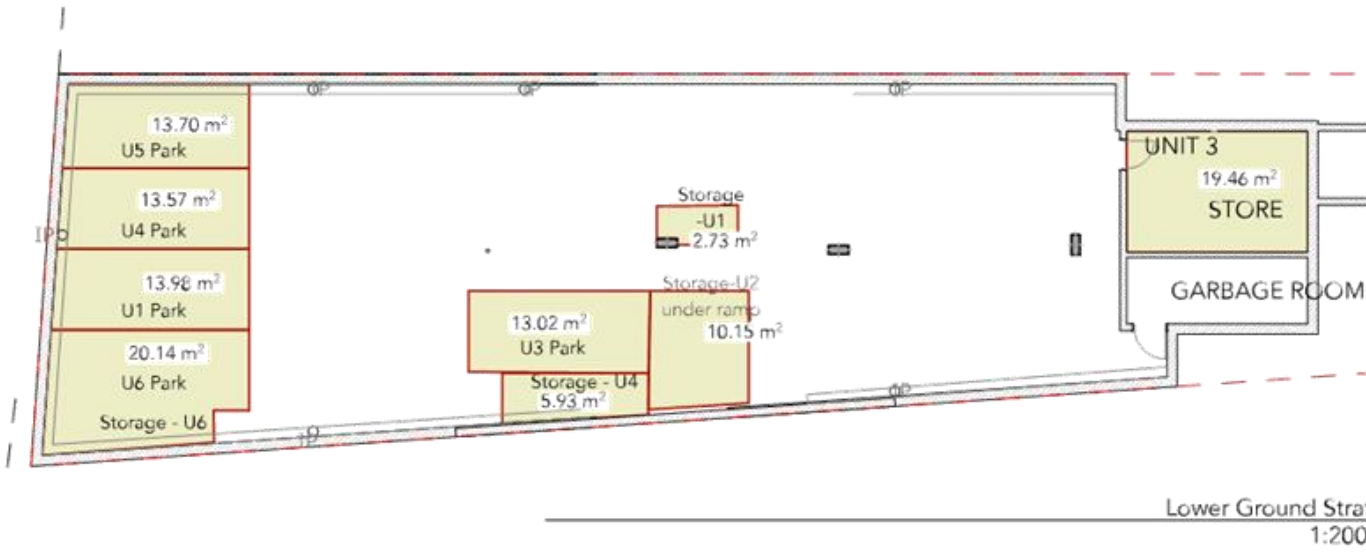
SCALE - AS NOTED @ A3

JOB NUMBER  
**313**

REVISION  
**A**

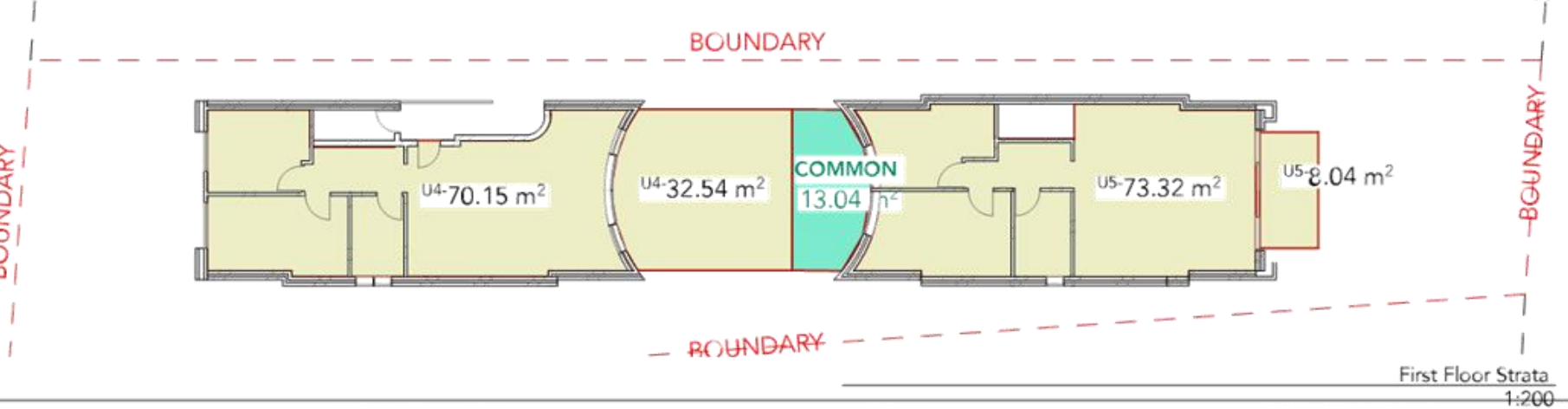
DRAWING  
**Materials Schedule**

DRAWING NO  
**DA991**



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**CLIENT**  
Water Street Project

**PROJECT**  
Residential Flat Building

**ADDRESS**  
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SCALE - AS NOTED @ A3

JOB NUMBER  
**313**

REVISION  
**A**

DRAWING  
**Strata Layout Plan**

DRAWING NO  
**DA110**

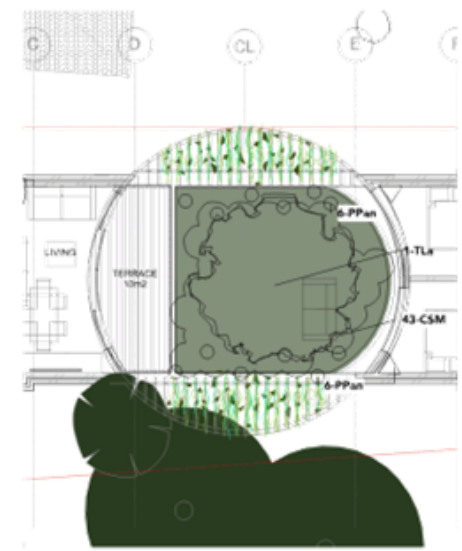


**IRRIGATION**  
 Contractor's Requirement:  
 The contractor is to provide a design and lump sum cost to install an approved irrigation system which meets the requirements of the Australian Standards and the specifications to the garden beds. All work is to be carried out to the generally accepted urban irrigation industry standards and, as a minimum, is to meet the requirements of AS 2000 and AS 2009.1.  
**Connection to Water Supply**  
 A water connection point is to be provided for the irrigation system. A back flow prevention valve meeting the requirements of AS 2550, AS 2550.1 shall be fitted at the water connection point.  
**Irrigation types**  
 Garden beds - drip irrigation  
 Turf need to be 200 - 300 up sprinklers  
 A minimum of 220KPa water pressure will be required at the source of the irrigation system.  
 Unless KPA exceeds 200KPa a variable frequency drive booster pump for lifting supply main pressure to 450KPa will be required.  
 Irrigation schedule will be 6 hours to apply 4mm per night to the irrigated area. 4 Litres a second will be required to deliver this water within the 6 hour period.

**Specifications**  
 \* Hunter ACC Decoder System with 20 Stations per 2 wire cable run  
 \* Hunter Color Enc Rain Sensor with ET Adjustment  
 \* RPZ Backflow device with Primary Filtration to 120 micron  
 \* Filtration will be required at each incoming water valve to ensure preventative maintenance.  
 \* Pop up sprinklers to turf areas:  
 - Hunter 100 or equivalent for large turf areas  
 - Hunter MP-1000s or 8 inch PPG40 bodies for smaller zones  
 \* Drip irrigation to garden beds:  
 - Toro rugged at 0.2m spacing at 2 litres per hour  
 \* Tree Planting  
 - Toro rugged at 0.2m spacing in 0.6 metre diameter ring around each tree  
 \* The central main line piping:  
 - 75mm 30psi for the start of the line  
 - 42mm 30psi for branching into garden beds and turf zones  
 \* Sub-lines running off mainline will be 20-40mm pipe

**PLANTING MAINTENANCE**  
 Throughout the planting establishment period, carry out maintenance work including, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, staking and tying, re-planting, mulching, pruning, hedge clipping, weeding, replacement of mulch, re-sodding, top dressing, and keeping the site neat and tidy. Continue to replace failed, damaged or stolen plants.

FIRST FLOOR INSET. PLANTING PLAN

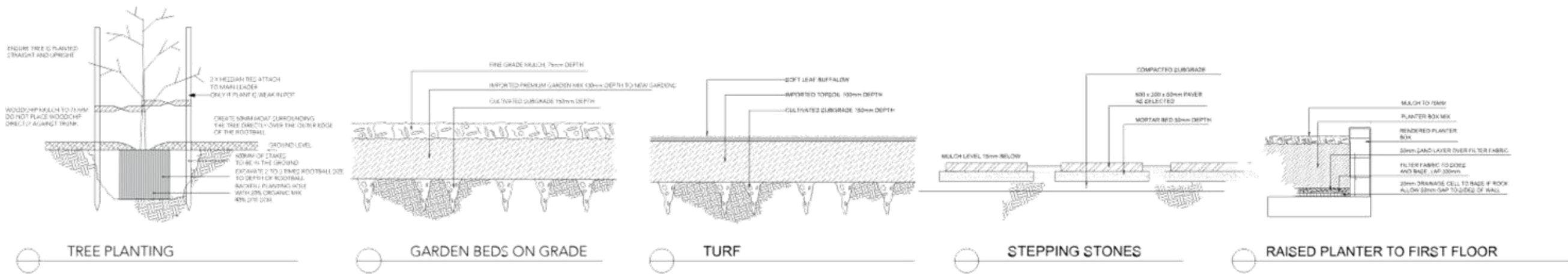


ID	Botanical Name	Common Name	Quantity	Scheduled Size	Mature Height	Mature Spread
Amin	Acronia smithii 'Minor'	Lilybilly	53	2.5 litre	3m	2m
RYU	Bescherera yuccoides	Renga Lily	1	5 litre	1m	1m
CAp	Carex appressa	Tall Sedge	21	2.5 litre	0.9 - 1.5m	0.3 - 0.6m
CGu	Ceratopetalum gummiferum	NSW Christmas Bush	6	45 litre	3 - 5m	2.0 - 3.5m
CR	Cycas revoluta	Sago Palm	4	5 litre	1.5 - 3m	1m
CSM	Cornifolius sabbatus ssp. mauritanicus	Ground Morning Glory	48	2.5 litre	0.1 - 0.2m	1m
DCae	Dianella caerulea	Paroo Lily, Blue Flax-lily	42	2.5 litre	0.3 - 0.45m	0.3 - 0.6m
DL	Dianella tasmanica	Flax Lily	27	2.5 litre	0.75 - 0.9m	0.0 - 0.3m
JUJ	Juncus unistatus	Common Rush	23	2.5 litre	0.9 - 1.5m	0.5 - 0.9m
LepC	Leptospermum 'Cardwell'	Tea tree	6	5 litre	2m	2m
Pmy	Phlotocha myoporoides	Long-leaf Wax Flower	6	5 litre	0.9 - 1.5m	0.9 - 1.2m
PPan	Pandorea pandorana	Wonga Wonga Vine	112	2.5 litre	1m	0.8m
PX	Philodendron Xanadu	Philodendron	3	5 litre	2m	1m
RI	Rapheoclepis indica 'Oriental Pearl'	Dwarf White Indian Hawthorn	52	2.5 litre	1.5m	1.2 - 2.0m
SC	Scaevola calendulacea	Dune Fan Flower	1	2.5 litre	0.1m	0.1m
TLa	Tristanopsis laurina	Water Gum	1	100 litre	7m	5m
TTR	Trachelospermum tricolor	Variegated Star Jasmine	51	2.5 litre	0.9 - 1.5m	0.3 - 0.6m
Vh-1	Viola hederacea	Native Violet	44	2.5 litre	0.0 - 0.1m	0.7m

- LEGEND**
- GARDEN BEDS
  - STEPPING STONES WITHIN GARDEN BEDS
  - LAWN AREA
  - TREES REMOVE
  - OSD GARDEN

Mr. O. Abdul-Rahman  
 76 Water Street, Belfield 21  
 Landscape DA Plan  
 Nicholas Bray  
 Landscapers  
 23.03.2018

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SOUTHERN ELEVATION



INDICATIVE PLANTING PALETTES

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 DA2018/076  
 30 May 2018



Mr. O. Abdul-Rahman

76 Water Street, Belfield 21

Landscape Details and Elevations

Nicholas Bray  
 Landscapes

23.03.2018

1 2





**TO:** Strathfield Local Planning Panel Meeting - 2 August 2018  
**REPORT:** SLPP – Report No. 2  
**SUBJECT:** DA2018/010 - 44 REDMYRE ROAD, STRATHFIELD  
LOT 2 IN DP 962760  
**DA NO.** DA2018/010

## SUMMARY

**Proposal:** Alterations and additions to an existing residential dwelling situated in a heritage conservation area to include a new second storey addition to the rear.

**Applicant:** The Site Foreman (NSW) Pty Ltd

**Owner:** Mr S Sethi and Ms Khurana

**Date of lodgement:** 24 January 2018

**Notification period:** 1 February 2018 to 14 February 2018

**Submissions received:** Nil

**Assessment officer:** LM

**Estimated cost of works:** \$950,000.00

**Zoning:** R2 Low Density Residential - SLEP 2012

**Heritage:** Heritage Conversation Area

**Flood affected:** Yes

**RECOMMENDATION OF OFFICER:** **Approval**

## EXECUTIVE SUMMARY

- 1.0 The application seeks approval for the alterations and additions to an existing residential dwelling situated in a heritage conservation area to include a new second storey addition to the rear.
- 2.0 The application was notified in accordance with Part L of the Strathfield Consolidated Development Control Plan (SCDCP) 2005 from 1 February 2018 to 14 February 2018, where no submissions were raised during this time.
- 3.0 The site is located in a Heritage Conservation area and therefore amended plans were required to reflect the overall heritage significance of the area. The amended plans were submitted to Council on 24 April 2018 to respond to a deferral letter sent out on 28 March 2018. Issues raised in the deferral letter include the rear addition not being sympathetic in terms of the proposed bulk and scale, the design of the roof form and the provided setbacks controls for the garage located at the rear of the subject site.
- 4.0 The amended plans are considered to be more responsive of the existing character and therefore this application is recommended for approval, subject the relevant conditions of consent.

## BACKGROUND

**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

On 10 October 2001, DA1/282 was granted approval by Council for the alterations and additions to an existing residential dwelling that is located in a heritage conservation area. This application was then further modified by way of a Section 4.55 (1A) application for minor internal and external reconfigurations.

The subject application was lodged on 24 January 2018 and notified for a period of two (2) weeks from 1 -14 February 2018; no submissions were received during this time.

On 28 March 2018, a preliminary assessment was completed and letter requesting additional information and amendments was sent out by Council's Planning Officer raising various issues with the submitted proposal. The issues identified in the deferral letter recommended:

- A new design outcome that would result in a reduction to the proposed bulk and scale;
- Make further amendments to the roof design in order to ensure the required works are more reflective of the existing streetscape;
- Make further changes to the schedule of colours and finishes to ensure the proposal will not detract from the overall heritage significance within the wider streetscape; and
- Make further changes to the proposed side and rear setbacks of the garage that demonstrates compliance with Part A of the SCDCP 2005.

Amended plans to reflect the concerns raised by Council were submitted on 24 April 2018. These plans are relied upon during the assessment of this application.

**SITE AND LOCALITY**

The subject site is legally described as Lot 2 in DP 962760 and is commonly known as 44 Redmyre Road, Strathfield (Figure 1). The site is located west of Vernon Street and has an area of 685m<sup>2</sup>. The site is irregular in shape and has a frontage of 18.2m to the north, rear boundary of 14.7m to the south, and side boundary length of 49.7m to the east.

Existing development on site comprises of a single storey residential dwelling that has a rendered finish and a tiled pitched roof form (Figure 2). Vehicular access onto the site is provided via an existing driveway that is accessible via Vernon Street (east of the subject site) to an existing garage located at the rear (Figure 3). The current streetscape is characterised by single and two (2) storey residential dwellings that primarily comprise of exposed face brick to exterior walls and tiled pitched roof forms (Figure 4 and 5).

DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)



**Figure 1: The site (as outlined) and the surrounding context**



**Figure 2: The existing residential dwelling located on the subject site.**



DA2018/010 - 44 Redmyre Road, Strathfield  
 Lot 2 in DP 962760 (Cont'd)

**Figure 3: The driveway entry located on Vernon Street that leads directly to the garage situated at the rear of the subject site.**



**Figure 4: Residential dwellings located directly opposite the subject site.**



**Figure 5: The residential dwelling that directly neighbours the subject site.**

#### **PROPERTY BURDENS AND CONSTRAINTS**

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

#### **DESCRIPTION OF THE PROPOSED DEVELOPMENT**

The application seeks Council approval for alterations and additions to the existing residential dwelling located on the subject site. Proposed works includes the construction of a second storey addition to the rear, internal reconfigurations, new outdoor area to the rear, demolition and reconstruction of the timber shed and six (6) skylights. Specific elements in relation to the proposed internal reconfigurations include:

##### **Ground floor level:**

- Two (2) bedrooms;
- Bathroom;
- Formal dining room; and

**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

- Formal lounge.

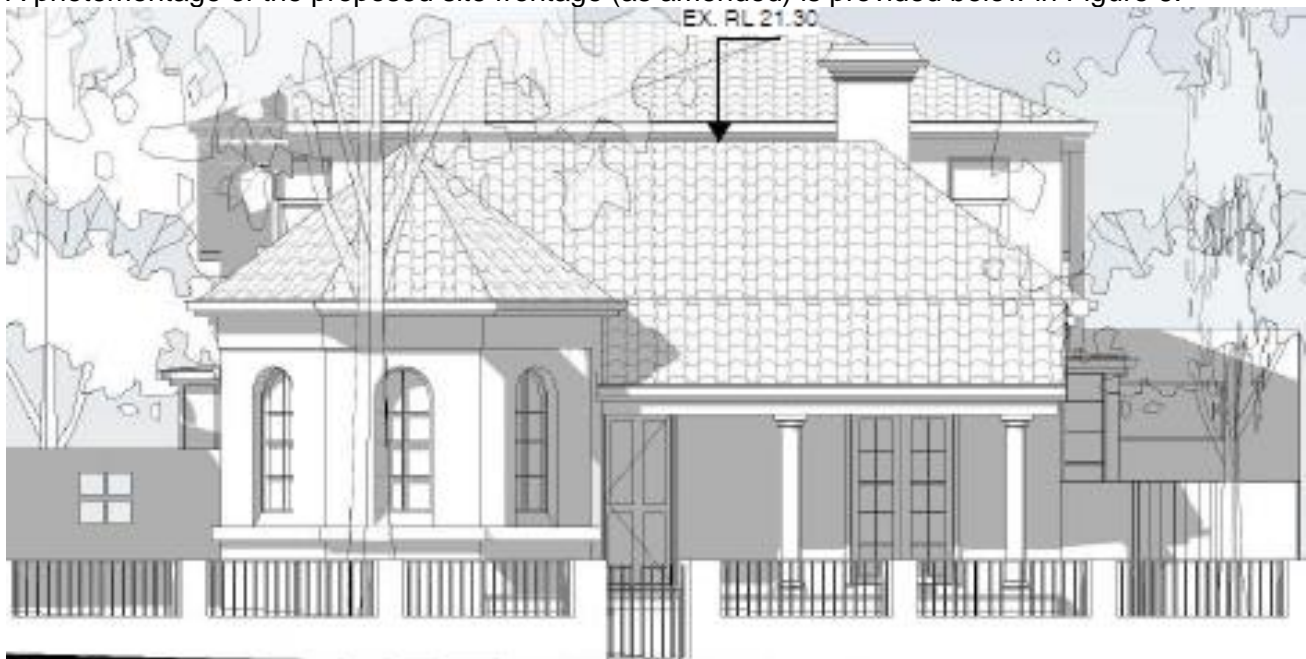
**First floor level:**

- Three (3) bathrooms;
- Three (3) bedrooms;
- Hall;
- Walk in robe; and
- A void area.

Specific elements in relation to the external works includes:

- A new Garage;
- Alfresco area; and
- Barbeque area.

A photomontage of the proposed site frontage (as amended) is provided below in Figure 6.



**Figure 6: Photomontage of the proposed site frontage.**

## REFERRALS

### INTERNAL REFERRALS

#### Engineering Comments

As the site and surrounding allotments are greatly flood affected, Council's Engineer has commented on the proposal stating the following:

*"The stormwater management plan needs to be signed off by Chartered Professional Engineer, certifying that it has no adverse flooding to adjacent properties due to this proposed development, prior to the issuing of a construction certificate."*

Council's Engineer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

#### Landscaping Comments

Council's Tree Coordinator has commented on the proposal as follows:

**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

*“While the proposed works will not directly affect trees on and adjoining the subject site there is potential for trees in the front setback and the road reserve to be damaged by vehicle movements during the delivery of materials and/or the removal of waste from the site.*

*It will therefore be necessary to implement protection measures that meet the provisions of AS4970-2009 Protection of Trees on Development Sites, as detailed in the conditions below.”*

Council’s Tree Coordinator offered no further objections to the proposal, subject to the imposition of recommended conditions of consent.

**Heritage Comments**

Council’s Heritage Advisor has commented on the proposal as follows:

*“The siting of the two-storey addition to the rear of the existing dwelling house permits the original dwelling house to be understood in the context of the new development, and the lowering of the overall height of the addition as shown in the amended plans alters the impact of the proposal on the Redmyre Road Conservation Area to an acceptable level, subject to the imposition of appropriate conditions regarding further refinements to the detailing. To that end, a condition has been included in the recommendation of this report requiring the window treatments to be further refined. No objections are raised to the demolition of the rear lean-to addition of the existing dwelling house or the replacement of the 1970’s garage.*

*The amended proposal is of a lower height, with greater side setbacks and would have a lesser impact on the identifiable character of the Redmyre Road Conservation Area and its setting. The amended proposal is considered to be acceptable on heritage grounds.”*

Council’s Heritage advisor offered no further objections to the proposal subject to the imposition of appropriate conditions of consent as recommended.

**SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979**

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within Section 4.15 of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

**4.15(1)(a) the provisions of:**

**(i) any environmental planning instrument**

**STATE ENVIRONMENTAL PLANNING POLICY (SEPP) – BASIX 2004**

In accordance with the BASIX SEPP all new housing in NSW is required to meet a designated target for energy and water reduction.

A BASIX Certificate was submitted as part of the application which indicates that the proposal meets the required reduction targets. An appropriate condition of consent will be imposed to ensure future compliance with these targets.

**State Environmental Planning Policy No 55 – Remediation of Land**

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

The objectives outlined within SEPP55 are considered to be satisfied.

**State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017**

The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

In this instance the proposal was referred to Council's Tree Management Officer who outlined specific conditions to be imposed with any development consent in order to ensure the protection of these trees. Further, no objection was raised in relation to the removal of a number of trees on the site subject to replacement planting. Relevant consent conditions will be imposed to ensure this is done appropriately.

**STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012**

An assessment of the proposal against the general aims of SLEP 2012 is included below:

<b>Cl. 1.2(2)</b>	<b>Aims</b>	<b>Complies</b>
<b>(a)</b>	<i>To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield</i>	<b>Yes</b>
<b>(b)</b>	<i>To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development</i>	<b>Yes</b>
<b>(c)</b>	<i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	<b>Yes</b>
<b>(d)</b>	<i>To provide opportunities for economic growth that will enhance the local community</i>	<b>Yes</b>
<b>(e)</b>	<i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	<b>Yes</b>
<b>(f)</b>	<i>To identify and protect environmental and cultural heritage</i>	<b>Yes</b>
<b>(g)</b>	<i>To promote opportunities for social, cultural and community activities</i>	<b>Yes</b>
<b>(h)</b>	<i>To minimise risk to the community by identifying land subject to flooding and restricting incompatible development</i>	<b>Yes</b>

**Comments:** The proposed alterations and additions to the existing residential dwelling will result in a high quality built form that will better meet the needs of future residents on site. The additional bulk sought to the rear of the subject site reflects the existing and desired future character of the area, whilst still allowing for a design outcome that is sympathetic to the overall heritage significance within the existing streetscape.

**Permissibility**

The subject site is Zoned R2 Low Density Residential under the Strathfield Local Environmental Plan (SLEP) 2012.

**"Dwelling Houses"** are permissible within the R2 Low Density Residential Zone with consent and is defined under SLEP 2012 as follows:

*"Means a building containing only one dwelling."*

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The proposed development for the purpose of alterations and additions to the existing residential dwelling is consistent with the definition above and is permissible within the R2 Low Density Residential Zone with consent.

**Zone Objectives**

An assessment of the proposal against the objectives of the R2 Low Density Residential Zone is included below:

Objectives	Complies
➤ To provide for the housing needs of the community within a low density residential environment.	Yes
➤ To enable other land uses that provide facilities or services to meet the day to day needs of residents.	Yes
➤ To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas.	Yes

**Comments:** The proposed works as part of this development application will seek alterations and additions that will better support the future residence in meeting their daily needs. The proposed works are reflective of the heritage significance within the area and will therefore contribute to the overall character of the wider streetscape.

**Part 4: Principal development standards**

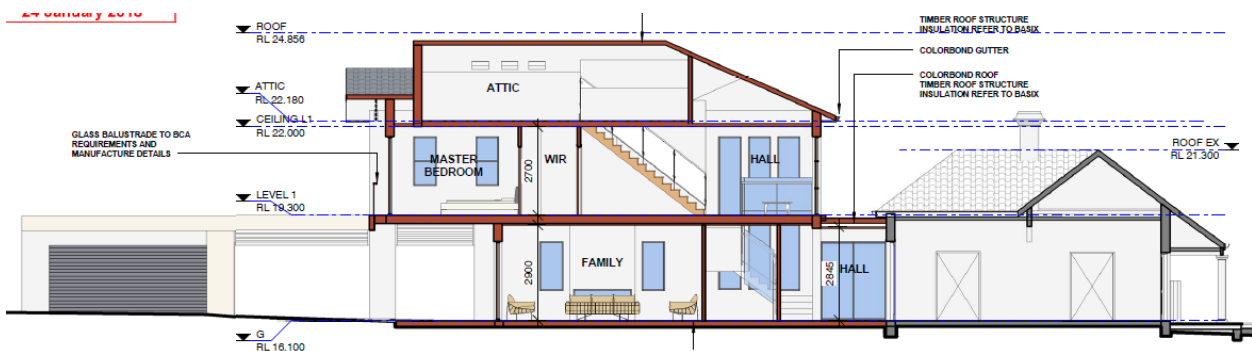
An assessment of the proposal against the relevant provisions contained within Part 4 of the SLEP 2012 is provided below.

**Height of building**

Cl.	Standard	Controls	Proposed	Complies
4.3	Height of building	9.5m	6.59m	Yes

Objectives	Complies
(a) To ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area	Yes
(b) To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area	Yes
(c) To achieve a diversity of small and large development options.	Yes

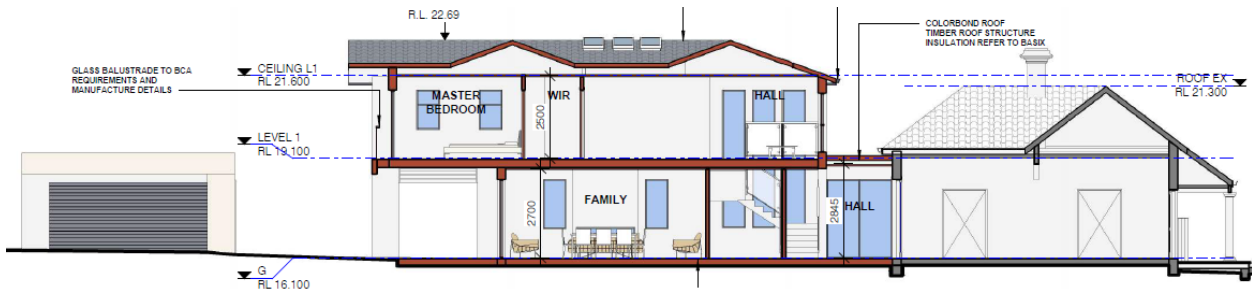
**Comments:** The proposed second storey addition to the rear of the existing residential dwelling will seek a maximum building height of 6.59m which is consistent with the 9.5 maximum requirement as provided within Clause 4.3 of the Strathfield Local Environmental Plan (SLEP) 2012.



**Figure 7: Section of proposed additions (original)**



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**Figure 8: Section of the proposed additions (as amended)  
Floor space ratio**

Cl.	Standard	Controls	Proposed	Complies
4.4	Floor space ratio	0.60:1 (411m <sup>2</sup> )	0.29:1 (198.65m <sup>2</sup> )	Yes

Objectives	Complies
(a) To ensure that dwellings are in keeping with the built form character of the local area	Yes
(b) To provide consistency in the bulk and scale of new dwellings in residential areas	Yes
(c) To minimise the impact of new development on the amenity of adjoining properties	Yes
(d) To minimise the impact of development on heritage conservation areas and heritage items	Yes
(e) In relation to Strathfield Town Centre: i. to encourage consolidation and a sustainable integrated land use and transport development around key public transport infrastructure, and ii. to provide space for the strategic implementation of economic, social and cultural goals that create an active, lively and people-oriented development	Yes
(f) In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor	Yes

**Comments:** The proposed rear addition will result in a total floor space of 0.29:1 (198.65m<sup>2</sup>), which is consistent with Councils 0.60:1 (411m<sup>2</sup>) requirement as provided within Clause 4.4C of the SLEP 2012.

**Part 5: Miscellaneous Provisions**

The relevant provisions contained within Part 5 of the SLEP 2012 are addressed below as part of this assessment:

**5.6 Architectural roof features**

The proposed rear addition to the existing residential lot will seek a tile pitched roof form that will result in a design outcome consistent with the existing roof form on the subject site. The proposed colours and finishes to the roof form will maintain consistency of other buildings within the existing streetscape, which ensures the wider amenity, is not being greatly impacted. Further, the proposal is considered appropriate as it will contribute to the overall character of the area, whilst still creating greater visual interest at a human scale and being empathetic to heritage listed dwellings situated in the vicinity of the subject site.

**5.10 Heritage Conservation**

The subject site is located within a heritage conservation area and therefore further consideration in relation to the design intention was required. Due to the site being located within the immediate vicinity of key heritage items including the Russian Orthodox Church (Item I1209) and ‘Trelawney’

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– Victorian Villa (Item I112), amended plans were required in order to demonstrate a more sympathetic design outcome to those unique built forms (Figure 9).

To reflect on this, amended plans were submitted to Council, which have demonstrated a reduction to the building height and floor space. As a result, this has formed a more sympathetic design outcome in that the overall bulk and scale apparent from the front setback will not result in detrimental impacts in terms of influencing the overall amenity of the area and potential view corridors for surrounding built forms (Figure 11).



***Figure 9: The existing dwelling located on the subject site where the Russian Orthodox Church (Heritage listed item I1209) is visible from the street frontage (as highlighted in red).***

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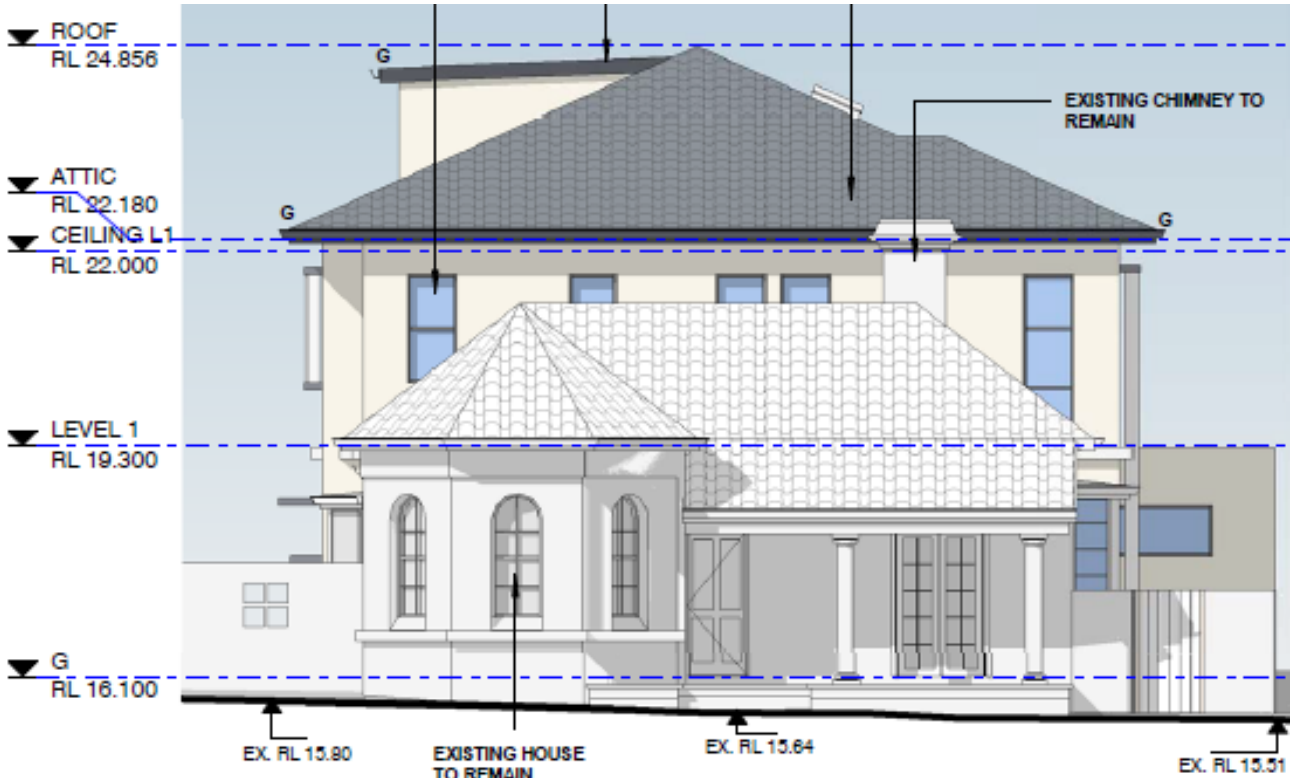


Figure 10: The existing residential dwelling with the original proposed rear addition

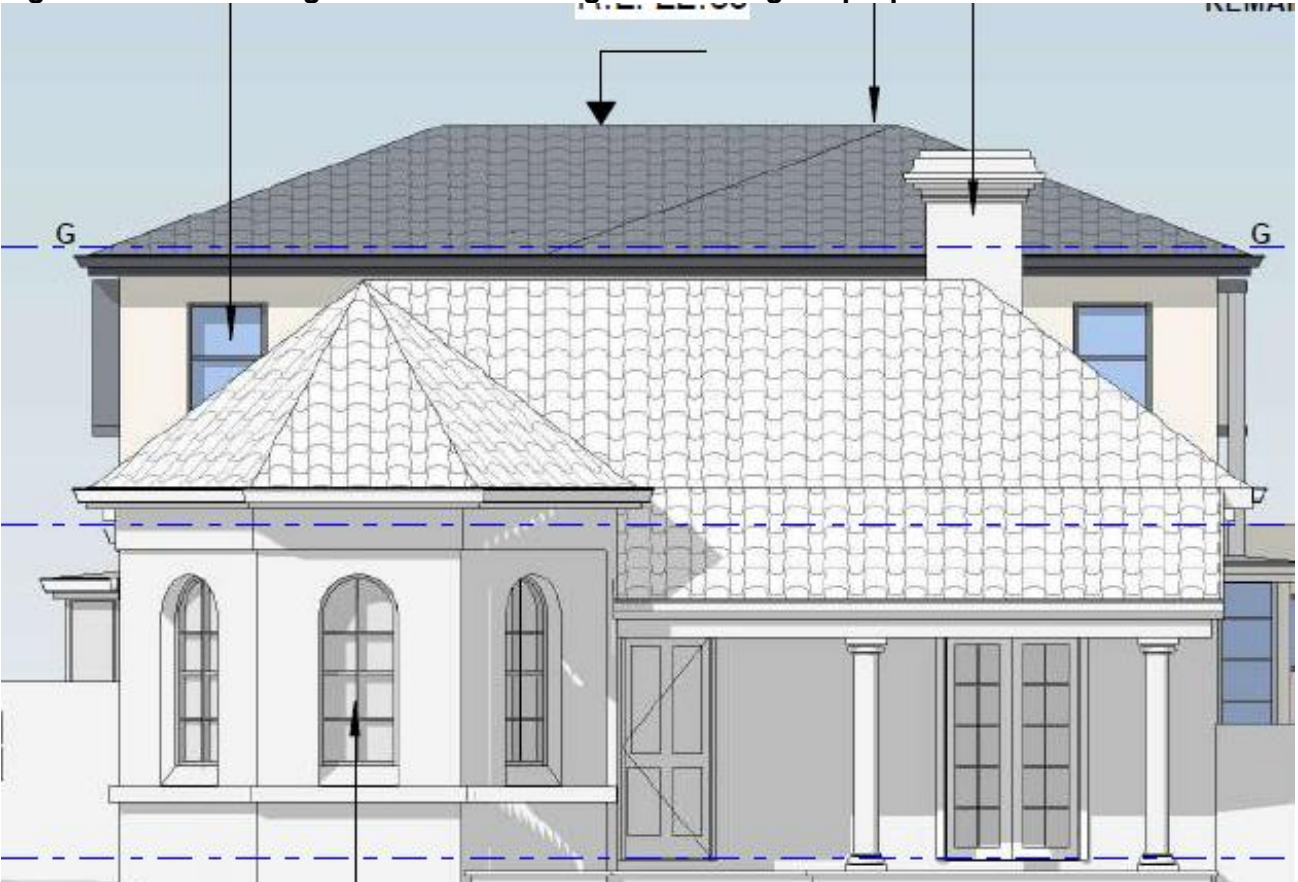


Figure 11: The existing residential dwelling with the proposed rear addition (as amended)

**Part 6: Local Provisions**

The relevant provisions contained within Part 6 of the SLEP 2012 are addressed below as part of this assessment:

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### 6.3 Flood planning

The subject site is situated on land that is affected by a 1-in-100 flood event. After further assessment by Council's Stormwater engineer, it was concluded that the proposed works are unlikely to result in detrimental impacts to future residents located on site or situated within the immediate vicinity. Further, the proposed works are considered appropriate in this regard.

#### 4.15(1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

#### 4.15 (1)(a)(iii) any development control plan

### STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

#### Heritage and Conservation

Cl. 1.11	Aims	Complies
A	To preserve and enhance the visual and environmental amenity of heritage items and heritage conservation areas within the municipality of Strathfield	Yes
B	Ensure all new development affecting heritage items and conservation areas is designed to be compatible in setting, scale, setbacks, form, materials and character with the building and surrounding area	Yes
C	Ensure that development in the vicinity of a heritage item or conservation area does not have any adverse impact on the heritage significance or setting and that development is compatible in setting, scale, setbacks, form, materials and character with the item or conservation area	Yes
D	Conserve archaeological sites and places of Aboriginal significance	Yes
Cl. 1.11	Controls	Complies
(1)	A Statement of Heritage Impact is required for proposed development: <ul style="list-style-type: none"> <li>a) affecting a heritage item;</li> <li>b) within a heritage conservation area; or</li> <li>c) in the vicinity of an item or heritage conservation area</li> </ul>	Yes
(2)	This statement must set out the heritage significance of the structure or place and assess the extent to which carrying out of the proposed development would affect the significance of the heritage item or heritage conservation area concerned and outline measures to minimise any identified impact	Yes

**Comments:** Although the inclusion of a second storey addition to the rear of the existing residential dwelling will result in an increase of bulk and scale, the proposal has been designed in a way that is sympathetic to the existing heritage character evident within the wider streetscape. This has been done by way of ensuring the design of the exterior face replicates the existing dwelling located on the subject site, allowing for greater consistency across the wider streetscape. As the required works will contribute to the development of the overall amenity of the streetscape, the proposed alterations and additions is being considered appropriate in this regard and can therefore be supported on heritage grounds.

### PART A – DWELLING HOUSES AND ANCILLARY STRUCTURES

An assessment of the proposal against the objectives contained within Clause 1.3 of Part A of SCDCP 2005 is included below:

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**Comment:** The proposal is considered appropriate in that it will support the desired housing needs for future residence on site as well as maintaining the existing heritage character within the wider streetscape.

## 2: Architectural Design & Streetscape Presentation

2.1	Objectives	Satisfactory	
A.	To ensure that development respects the predominant height, scale, character, type, form, colour, materials and architectural qualities of the existing dwelling house (in the case of alterations and additions) and surrounding neighbourhood especially any adjoining or nearby heritage item or heritage conservation area.	Yes	
B.	To achieve quality architecture in new development through the appropriate composition and articulation of building elements.	Yes	
C.	To ensure that the dominant building rhythm of the streetscape is reflected in the building design in terms of the spacing and proportion of the built elements.	Yes	
D.	To ensure that new dwellings have facades, which define, address and enhance the public domain.	Yes	
E.	To encourage contemporary architecture that is innovative, uses high quality detailing, and incorporates elements characteristic of Strathfield.	Yes	
F.	To promote the continuance of pyramidal roof forms within Strathfield where they are already prevalent.	Yes	
G.	To retain a feeling of openness and space between built elements by maintaining landscaped setbacks and preserve the appearance of dwellings set in the treelined streets and park-like environment.	Yes	
H.	To reduce the use of highly reflective colours and materials that create visual prominence.	Yes	
I.	To ensure fencing is sympathetic to the design of the dwelling and the street and enhances the character of both the individual house and street whilst maintaining casual surveillance of the neighbourhood.	Yes	
J.	To protect and retain the amenity of adjoining properties.	Yes	
2.2	Development Controls	Complies	
.1.	<i>Streetscape Presentation</i>		
	1	New dwellings address street frontage with clear entry.	Yes
	2	Consistently occurring building features integrated within dwelling design.	Yes
	3	Consideration of streetscape elements	Yes
	4	Integrated security grilles/screens, ventilation louvres and garage doors	Yes
.2.	<i>Scale, Massing &amp; Rhythm of Street</i>		
	1	Scale, massing, bulk and layout complement the existing streetscape and the dominant building rhythm	Yes
	2	Building height and mass maintains amenity to adjacent properties open space or the public domain	Yes
.3.	<i>Building Forms</i>		
	1	Building form articulated.	Yes
	2	Dwellings on corner sites address both street frontages and articulated	Yes
	3	Attic located within roof space of 1 or 2-storey dwelling or garage via internal stairs.	Yes

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Lot 2 in DP 962760 (Cont'd)**

<b>.4.</b>	<i>Roof Forms</i>		
	1	Roof form complements predominant form in the locality	<b>Yes</b>
	2	Roof form minimises bulk and scale of building and remains an important architectural element in the street.	<b>Yes</b>
	3	First floor additions complement the architectural style of the ground floor and delineate the existing roof form, slope and ridge	<b>Yes</b>
	4	Roof structures are not visible from the public domain	<b>Yes</b>
	<i>Materials</i>		
	5	Materials compatible with the existing dwelling house, adjoining dwelling houses and the streetscape (type, form and colour)	<b>Yes</b>
	6	Monotone face brick walls and terracotta tiles for roofs where common in the streetscape	<b>Yes</b>
	7	New buildings and facades do not result in glare (Reflectivity Report may be required)	<b>Yes</b>
	<i>Colours</i>		
	8	New development incorporates traditional colour schemes	<b>Yes</b>
	9	The external colours integrate harmoniously with the external design of the building	<b>Yes</b>

**Comments:** The amended plans have demonstrated a sympathetic design outcome in terms of the proposed height, scale and bulk. The height will now seek a maximum of 6.59m, which ensures that there will be minimal impacts on neighbouring allotments, whilst also ensuring the views of surrounding heritage listings are not being comprised accordingly. The proposed roof form as part of the rear addition will result in a design outcome similar to the roof form on the existing residential dwelling in that it will include a tiled roof pitch with a colourbond basalt finish. The proposed colours and finishes to the exterior walls of the proposed addition will also seek to replicate the existing built form, allowing for the amenity of the subject site to be retained. As there are no immediate changes in the front setback, the subject site will continue to maintain a feeling of openness and space between the built form and private open space.

#### **4: Building Envelope**

<b>4.1</b>	<b>Objectives</b>	<b>Satisfactory</b>
<b>A.</b>	<i>To ensure that dwellings are compatible with the built form of the local area and that overall bulk and scale, size and height of dwellings relative to natural ground level responds to the adjoining dwellings, topography and desired future character.</i>	<b>Yes</b>
<b>B.</b>	<i>To minimise impact on the amenity of adjoining properties.</i>	<b>Yes</b>
<b>C.</b>	<i>To establish and maintain the desired setbacks from the street and define the street edge.</i>	<b>Yes</b>
<b>D.</b>	<i>To create a perception or reinforce a sense of openness in the locality.</i>	<b>Yes</b>
<b>E.</b>	<i>To maintain view corridors between dwellings</i>	<b>Yes</b>
<b>F.</b>	<i>To assist in achieving passive surveillance whilst protecting visual privacy.</i>	<b>Yes</b>
<b>G.</b>	<i>To provide a transitional area between public and private space.</i>	<b>Yes</b>
<b>4.2</b>	<b>Development Controls</b>	<b>Complies</b>
<b>.1.</b>	<i>Floor Space Ratio</i>	

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	1	Floor Space Ratio permissible pursuant to SLEP 2012	Yes
	2	Development compatible with the lot size	Yes
<i>Building Height</i>			
	1	Height of building permissible pursuant to SLEP 2012	Yes
.2.	2	Height of outbuildings, detached garages and carports is 3.5m (max) measured at the highest point on the roof above NGL	Yes
	3	Dwelling houses and any ancillary structures 2-storeys (max)	Yes
	4	Building height responds to the gradient of the site to minimise cut and fill	Yes
<i>Street Setbacks</i>			
.3.1.	1	Setbacks consistent with minimum requirements of Table A.1	Yes
<i>Side and Rear Setbacks</i>			
	1	A combined side setback of 20% of the width of the block (incorporating a 1.2m min side setback on each side).	Yes
.3.2.	2	A rear setback of 6m (min)	Yes
	3	Subject to meeting the minimum landscaped area (as per section 5 of this part of the DCP) in the rear of the site, ancillary facilities such as garages/outbuildings may be located within the rear setback area.	Yes
	4	Garages and carports setbacks consistent with Table A.2	Yes

**Comments:** The proposed works will not seek an amendment to the existing front and side setbacks. This ensures that for the existing building line along the Redmyre Road is being retained. The proposed second storey addition will seek a rear setback of 10.52m which is consistent with Councils 6m requirement. Although there will be an increase in building height, view corridors between the subject site and other buildings will be retained, whilst also protecting the visual privacy for future residents located on the subject site.

## 5: Landscaping

5.1	Objectives	Satisfactory
A.	To encourage landscaping that is appropriate to the style and scale of the dwelling and adjoining development, and to the streetscape.	Yes
B.	To enhance the existing streetscape and promote a scale and density of planting that softens the visual impact of buildings, structures, vehicle circulation and ancillary areas.	Yes
C.	To preserve existing landscape elements on site (such as existing trees) and encourage their integration into the design of proposals.	Yes
D.	To ensure adequate deep soil planting is retained on each allotment.	Yes
E.	To ensure developments make an equitable contribution to the landscape setting of the locality.	Yes

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Lot 2 in DP 962760 (Cont'd)**

<b>F.</b>	<i>To ensure both existing and new landscaping provides suitable shade and facilitates convective cooling breeze paths in summer.</i>	<b>Yes</b>
<b>G.</b>	<i>To encourage the use of native flora such as open woodland canopy trees, to provide a habitat for native fauna.</i>	<b>Yes</b>
<b>H.</b>	<i>To ensure that landscaped areas are designed to minimise water use.</i>	<b>Yes</b>
<b>I.</b>	<i>To provide functional private open spaces for active or passive use by residents.</i>	<b>Yes</b>
<b>J.</b>	<i>To provide private open areas with provision for clothes drying facilities screened from the street and lane or a public place.</i>	<b>Yes</b>
<b>K.</b>	<i>To ensure the protection of trees during construction</i>	<b>Yes</b>
<b>L.</b>	<i>To ensure suitable fencing is provided to reduce acoustic impacts and enhance visual privacy between neighbouring residents whilst enabling front fences passive surveillance of the street.</i>	<b>Yes</b>
<b>M.</b>	<i>To maximise the amenity of existing and proposed developments, including solar access, privacy and open space.</i>	<b>Yes</b>

<b>5.2</b>	<b>Development Controls</b>	<b>Complies</b>
<b>.1.</b>	<i>Landscaped area</i>	
	1 Landscaped area in accordance with Table A.3	<b>Yes</b>
	2 At least 50% of the minimum landscaped area located behind the building line to the rear boundary	<b>Yes</b>
	3 At least 50% of the front yard maintained as deep soil soft landscaping	<b>Yes</b>
	4 Minimise hard surface area (concrete/brick/stone paving and bitumen). Run-off directed to permeable surfaces.	<b>Yes</b>
	5 Planting areas soften the built form	<b>Yes</b>
	6 Front gardens respond and contribute to the garden character of Strathfield.	<b>Yes</b>
	7 Retain and reinforce the prevailing streetscape and surrounding locality	<b>Yes</b>
	8 Plant species must be retained, selected and planted to improve amenity	<b>Yes</b>
<b>.2.</b>	<i>Tree Protection</i>	
	1 Arboricultural Impact Assessment Report prepared by an AQF Level 5 Arborist	<b>Yes</b>
	2 The Arboricultural Impact Assessment Report address minimum criteria	<b>Yes</b>
	3 Development provides for the retention and protection of existing significant trees	<b>Yes</b>
	4 New dwellings and alterations and additions are set back in accordance with the Arboricultural Impact Assessment Report	<b>Yes</b>
	5 Council may request the applicant to engage a project Arborist	<b>Yes</b>
	6 Opportunities for planting new canopy trees within the front setback	<b>Yes</b>
	7 At least one (1) canopy tree provided in the rear yard.	<b>Yes</b>
	8 Trunk of a proposed canopy tree planted 4m (min) from built structures, or 3m (min) from pier beam footings	<b>Yes</b>
	9 Planting on side boundaries a 0.6m (min) deep root deflection barrier provided 1.5m (min) either side of the tree center	<b>Yes</b>
10 Driveway construction does not result in the removal, lopping or root damage to any street	<b>Yes</b>	



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	tree		
	11	25% (min) of canopy trees and other vegetation shall be locally sourced indigenous species	Yes
	<i>Private Open Space</i>		
	1	Provided in a single parcel rather than a fragmented space, directly accessible from internal living areas	Yes
	2	Includes a deep soil area compliant with the minimum landscaped area.	Yes
.3.	3	Terraces and decks (at least 10m <sup>2</sup> ) with one length or width 3m (min) and directly accessible from an internal living area. Decks cannot be located more than 500mm above NGL	Yes
	4	Unless 3m (min) width, areas within setbacks are not to be included as private open space	Yes
	5	Private open space located at the rear of the property.	Yes

**Comments:** The provided deep soil landscaped area has provided a minimum of 41.5% (302.6m<sup>2</sup>) which meets Councils 41.5% (302.6m<sup>2</sup>) requirement under Part A of the SCDCP 2005. Further, a condition is recommended where appropriate measures for the protection of trees in the vicinity of the proposed works are carried out in accordance with the provisions under the AS4970-2009 Protection of Trees on Development Sites.

### 6: Solar Access

<b>6.1</b>	<b>Objectives</b>		<b>Satisfactory</b>
A.	To ensure the design of new dwelling houses and alterations and additions maximises solar access to living areas and open space areas.		Yes
B.	To minimise overshadowing of adjoining properties.		Yes
<b>6.2</b>	<b>Development Controls</b>		<b>Complies</b>
	<i>Sunlight Access</i>		
.1.	1	New dwellings - 3 hours solar access between 9.00am and 3.00pm on June 21 to the windows of habitable rooms and 50% of private open space	Yes
	2	Alterations or Additions – maintain 3 hours solar access between 9.00am and 3.00pm on June 21 to the windows of habitable rooms and to the majority of private open space	Yes
	3	50% of the principal private open space of any adjoining premises receives 3 hours solar access between 9.00am and 3.00pm on June 21	Yes
	4	The proposed development does not further reduce the amount of solar access	Yes

**Comments:** Proposed alterations and additions have been designed in a way that will ensure that neighbouring allotments can achieve a minimum of three (3) hours of sunlight during the winter solstice.

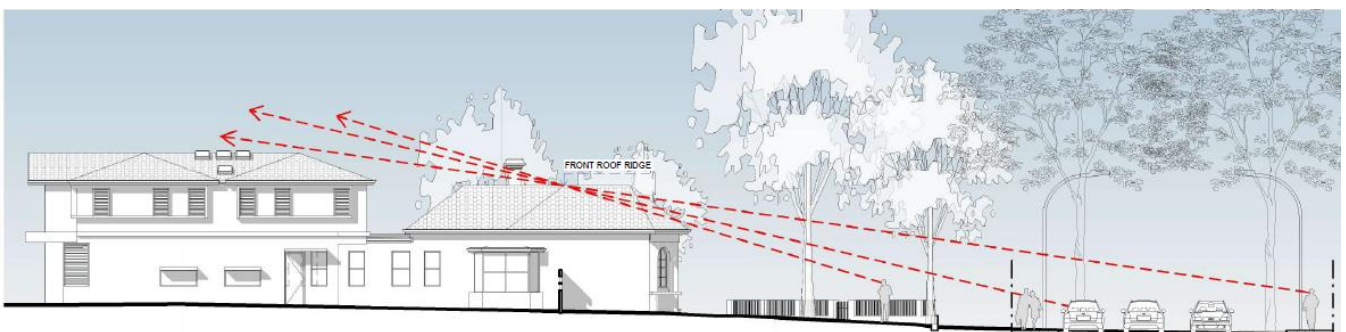
### 7: Privacy

<b>7.1</b>	<b>Objectives</b>		<b>Satisfactory</b>
A.	Development that is designed to provide reasonable privacy to adjacent properties		Yes
B.	To maintain reasonable sharing of views from public places and living areas		Yes
C.	To ensure that public views and vistas are protected, maintained and where possible, enhanced		Yes

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<i>D.</i>	<i>To ensure that canopy trees take priority over views</i>	<b>Yes</b>	
<i>E.</i>	<i>To ensure that the siting and design of buildings minimises noise impacts from abutting roads, rail corridors and other noise-generating land uses</i>	<b>Yes</b>	
<b>7.2</b>	<b>Development Controls</b>	<b>Complies</b>	
<i>Visual Privacy</i>			
<b>.1.</b>	1	Protect POS, bedrooms, balconies and living rooms of proposed and any existing adjoining dwellings from direct overlooking	<b>Yes</b>
	2	Provide adequate separation of buildings	<b>Yes</b>
	3	Ensure elevation of finished floor levels above NGL is not excessive	<b>Yes</b>
	4	Improve privacy to adjacent properties with screen planting	<b>Yes</b>
<i>Windows</i>			
<b>.2.</b>	1	Windows do not directly face the windows, balconies and courtyards of adjoining dwelling	<b>Yes</b>
	2	A window within 9m of another window in a habitable room of an adjoining dwelling is offset by 0.5m (min) or a sill height of 1.7m (min) above the FFL	<b>Yes</b>
	3	Windows directly facing balconies or courtyards are narrow, incorporate obscure glazing and/or a sill height of 1.7m (min) above FFL	<b>Yes</b>
<i>Acoustic Privacy</i>			
<b>.4.</b>	1	SEPP (Infrastructure) 2007 and Development near Rail Corridors and Busy Roads Interim Guideline considered	<b>Yes</b>
	2	Noise-sensitive rooms located away from noise sources	<b>Yes</b>
	3	Suitable acoustic screen barriers or other noise mitigation measures are required where physical separation cannot be achieved	<b>Yes</b>
	4	An acoustic report (where relevant) demonstrates that habitable rooms achieve internal noise levels of no greater than 35 dBA	<b>Yes</b>

**Comments:** The existing side boundary fence will be retained, thus ensuring visual privacy will be maximised for future residence located on the subject site and on surrounding allotments. As the proposed works to the rear will provide appropriate setbacks from the side and rear boundary, potential overlooking onto neighbouring allotments will not be of a great concern. The amended height, bulk and scale of the building will still ensure the view of surrounding heritage items are being protected, and therefore further mitigation measures will not be a required (Figure 12). The location of living areas and bedrooms are primarily located on the northern end of the subject site where acoustic privacy is at an appropriate level.



**Figure 12: View above proposed additions (eastern elevation)**

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**8: Vehicle Access and Parking**

<b>8.1 Objectives</b>		<b>Satisfactory</b>
<b>A.</b>	<i>To provide adequate and convenient on-site car parking.</i>	<b>Yes</b>
<b>B.</b>	<i>To ensure that the location and design of driveways, parking spaces and other areas used from the movement of motor vehicles are efficient, safe and convenient.</i>	<b>Yes</b>
<b>C.</b>	<i>To ensure garages, carports, basements and hard standing areas for cars do not visually dominate the street façade of the dwelling.</i>	<b>Yes</b>
<b>D.</b>	<i>To ensure that construction materials used for driveways respect the architectural qualities of the dwelling.</i>	<b>Yes</b>
<b>E.</b>	<i>To minimise the area of access driveways to minimise impermeable surfaces and maximise landscaped areas.</i>	<b>Yes</b>
<b>F.</b>	<i>To ensure basements have discreet entries, safe access and a high degree of natural cross-ventilation.</i>	<b>Yes</b>
<b>G.</b>	<i>To minimise excavation to reduce disturbance to natural ground level particularly adjacent to site boundaries.</i>	<b>Yes</b>
<b>H.</b>	<i>To ensure that any proposed basement minimises disturbance to natural drainage systems and that flooding, drainage or ventilation impacts would not be created for the site, or for adjoining or nearby properties.</i>	<b>Yes</b>
<b>8.2 Development Controls</b>		<b>Complies</b>
<b>.1.</b>	<i>Driveway and Grades</i>	
	1 Existing driveways must be used (exceptions apply)	<b>Yes</b>
	2 The width of driveways at the property boundary is to be 3m	<b>Yes</b>
	3 The edge of driveway crossings located 1m (min) clear of any existing stormwater pits or poles and 2m clear of tree trunks	<b>Yes</b>
	4 Parking and access points easily accessible and recognisable, non-disruptive to pedestrian flow and safety and located to minimise traffic hazards and potential for vehicles to queue.	<b>Yes</b>
	5 One (1) vehicular crossing (max) to any public road (exceptions apply)	<b>Yes</b>
	6 Vehicles accessing sites which front main roads shall be capable of entering and exiting in a forward direction	<b>Yes</b>
	7 Vehicular turning areas for garages complies with relevant Australian Standard	<b>Yes</b>
	8 Rear lane / secondary street frontage - parking and access provided from the secondary street/lane	<b>Yes</b>
	9 Driveways avoid long and straight appearance by using variations and landscaping	<b>Yes</b>
	10 Driveway set back 0.5 metres (min) from side boundaries	<b>Yes</b>
	11 Driveways incorporate unit paving into the design	<b>Yes</b>
	12 Areas of concrete visible from a public road are to be minimal and coloured charcoal, grey or brown	<b>Yes</b>
13 Coloured concrete is not permitted in the driveway crossing outside the property boundary		
<b>.2.</b>	<i>Garages, Carports and Car Spaces</i>	
	1 Two (2) car parking spaces required behind the FBL of all new dwellings (exceptions apply)	<b>Yes</b>
	2 Garages recessed behind the main front facade and/or non-dominant	<b>Yes</b>
	3 Garages not more than 150mm above NGL at entry unless the slope of the site exceeds 1:8	<b>Yes</b>

**DA2018/010 - 44 Redmyre Road, Strathfield**  
**Lot 2 in DP 962760 (Cont'd)**

	(12.5%)	
4	Dimensions of parking spaces and garages comply with the Australian Standards	Yes
5	Garages are not to be converted or used for any purpose other than that for which they are approved	Yes
10	Pump-out systems and stormwater prevention in accordance with Council's Stormwater Management Code	Yes

**Comments:** Vehicular access onto the subject site will be provided via an existing driveway located on Vernon Street. As part of the proposed works, alterations and additions are sought to the existing garage, which includes a new roof link between the main building and the garage. The garage will continue to be designed in accordance with the Australian Standards and the appropriate controls as provided within the SCDP 2005, thus not inflicting any additional implications on neighbouring allotments.

### 11: Access, Safety and Security

11.1	Objectives	Satisfactory
A.	To encourage the incorporation of crime prevention principles in the design of the proposed developments.	Yes
B.	To increase the safety and perception of safety in public and semi-public spaces.	Yes
C.	To provide passive surveillance of the public domain to promote a safe pedestrian environment whilst maintaining the privacy of residents	Yes
D.	To ensure the safety of pedestrians by separating pedestrian access from vehicular access.	Yes
11.2	Development Controls	Complies
	<i>Address and Entry Sightlines</i>	
.1.	1 Occupants able to overlook public places to maximise passive surveillance	Yes
	2 Landscaping design around dwellings and ancillary structures to accommodate plant maturation	Yes
	3 External lighting enhance safe access and security and light spill does not adversely impact on adjoining properties.	Yes
	4 Crime Prevention through Environmental Design (CPTED) principles incorporated.	Yes
	<i>Pedestrian Entries</i>	
.2.	1 Pedestrian entries and vehicular entries suitably separated	Yes
	2 Dwelling entrances easily identifiable	Yes
	3 House numbers are to be clearly visible from the street	Yes

**Comments:** As no amendments are sought to the existing front setback, crime prevention principles will continue to be achieved onto the subject site. The new garage will not impact the existing pedestrian and vehicular entrance via Vernon Street, thus ensuring safety and security is being maintained at all times.

### 12: Ancillary Development

12.1	Objectives	Satisfactory
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Lot 2 in DP 962760 (Cont'd)**

A.	To ensure that ancillary development is compatible with the design of the principal dwelling, streetscape and adjoining dwellings in form, materials and colours	Yes
B.	<i>To limit the size, bulk and scale of ancillary structures and minimise their visibility from the public domain.</i>	Yes
C.	<i>To ensure that the provision of ancillary structures improves the amenity of residents whilst ensuring that the amenity of surrounding dwellings and neighbouring lots is maintained.</i>	Yes
D.	<i>To ensure that the provision of ancillary structures, such as air conditioning units, are considered at the design stage of a proposed development.</i>	Yes

**Comments:** The garage located at the rear will be reconstructed in accordance with Councils requirements and the Australian Standards, which will ensure there will be minimal impacts on adjoining lots.

**PART H - WASTE MANAGEMENT (SCDCP 2005)**

A Waste Management Plan was submitted with the Development Application demonstrating compliance with Part H of the SCDCP 2005. Conditions have been included in the consent to ensure this is being achieved during the ongoing construction works.

**4.15 (1)(iia) any planning agreement or draft planning agreement**

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

**(i) matters prescribed by the regulations**

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) and does not involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

**(ii) any coastal zone management plan**

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

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Lot 2 in DP 962760 (Cont'd)**

The proposed development is located on a site that is affected by the existing 1 in 100 year flood event. Accordingly, the proposed development has been assessed against the relevant provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

**4.15(1)(b) *the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality***

**Heritage**

The subject site is located in a heritage conservation area and is located in the vicinity of key heritage listings under Schedule 5 of the SLEP 2012. The proposal has appropriately responded to the heritage significance of the wider streetscape as exterior finishes will seek to replicate the existing built form situated on the subject site. Further, the proposed increase in building height is only slightly visible from the front setback, which ensures that the existing amenity is not being detracted accordingly. Overall, the proposal is considered appropriate on heritage grounds and therefore recommended for approval subject to the relevant conditions of consent.

**Streetscape**

As part of the development application, the proposal seeks a second storey rear addition that results in additional bulk and scale visible from the front setback. With this in mind, it was noted during a site inspection that a majority of the built forms located within the streetscape are two (2) stories high and therefore the addition to the bulk and scale is considered appropriate in this regard. As a result, the proposed addition is considered appropriate in that it will contribute to heritage significance of the area, ensuring the existing amenity is being maintained.

**4.15(1)(c) *the suitability of the site for the development***

The proposed development is considered to be suitable to the site in that it will meet the needs of future residents located on the subject site.

**4.15(1)(d) *any submissions made in accordance with this Act or the regulations***

The application was notified in accordance with Part L of the SCDCP 2005 from 1 February 2018 to 14 February 2018 where no submissions were raised during this time.

**4.15(1)(e) *the public interest***

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is not considered to be contrary to the public interest.

**SECTION 7.11 CONTRIBUTIONS**

Section 7.11 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Act reads as follows:

- “(1) If a consent authority is satisfied that development for which development consent is sought will or is likely to require the provision of or increase the demand for public amenities and public services within the area, the consent authority may grant the development consent subject to a condition requiring:*
- (a) the dedication of land free of cost, or*
  - (b) the payment of a monetary contribution,*
- or both.*

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- (2) *A condition referred to in subsection (1) may be imposed only to require a reasonable dedication or contribution for the provision, extension or augmentation of the public amenities and public services concerned.*

**STRATHFIELD INDIRECT SECTION 7.11 CONTRIBUTIONS PLAN**

Local Amenity Improvement Levy **\$9,500.00**

**CONCLUSION**

The application has been assessed having regard to Section 4.15 of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions of consent.

**RECOMMENDATION**

That Development Application No. DA2018/010 for alterations and additions to a heritage listed residential dwelling at 44 Redmyre Road, Strathfield be **APPROVED**, subject to the following conditions of consent:

**GENERAL CONDITIONS (GC)**

**1. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)**

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans affixed with Council's 'Development Consent' stamp relating to Development Consent No. DA2018/010:

Drawing No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
A1.03 D	Site Plan	The Site Foreman	Issue D – 10 April 2018	24 April 2018
A1.00 B	Streetscape Elevation	The Site Foreman	Issue B – 10 April 2018	24 April 2018
A1.02 B	Demolishing Plan	The Site Foreman	Issue B – 10 April 2018	24 April 2018
A1.05 E	Ground Floor Plan	The Site Foreman	Issue E – 10 April 2018	24 April 2018
A1.06 E	Level 1 Floor Plan	The Site Foreman	Issue E – 10 April 2018	24 April 2018
A1.08 C	Roof Plan	The Site Foreman	Issue C – 10 April 2018	24 April 2018
A2.01 D	North and South Elevations	The Site Foreman	Issue D – 10 April 2018	24 April 2018
A2.02 D	East and West Elevations	The Site Foreman	Issue E – 10 April 2018	24 April 2018
A3.01 C	Sections	The Site Foreman	Issue C – 10 April 2018	24 April 2018
A5.01 B	Materials and Finishes	The Site Foreman	Issue B – 10 April 2018	24 April 2018
L01/1 – K22415	Landscape Planting Plan	Michael Siu	1 November 2017	24 January 2018

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-	Stormwater Drainage Plan	MBC Engineering	27 November 2017	24 January 2018
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Reference Documentation affixed with Council's 'Development Consent' stamp relating to Development Consent No. DA2018/010:

Title / Description	Prepared by	Issue/Revision Date	& Date received by Council
Heritage Impact Statement	Diana's Planning and Heritage	January 2018	24 January 2018
Basix Certificate – A302983	-	24 January 2018	24 January 2018
Waste Management Plan	The Site Foreman	23 January 2018	24 January 2018

No fencing is approved under this application. Any new front fencing must be the subject of a separate application.

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

**2. CONSTRUCTION HOURS (GC)**

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/ rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

**3. CONSTRUCTION WITHIN BOUNDARIES (GC)**

The development including but not limited to footings, walls, roof barges and guttering must be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

(Reason: Approved works are to be contained wholly within the subject site.)

**4. DEMOLITION – GENERALLY (GC)**

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development.)

**5. DEMOLITION - SITE SAFETY FENCING (GC)**



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Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding/fencing along the street frontage(s) complying with WorkCover requirements must be obtained including:

payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges before the commencement of work; and provision of a Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council.

(Reasons: Statutory requirement and health and safety.)

**6. LANDSCAPING - IRRIGATION OF COMMON AND PRIVATE LANDSCAPE AREAS (GC)**

All common and private landscape areas including all planters of new multi-unit, commercial, mixed-use and industrial development are to have full coverage by a fully automatic irrigation system. The design, materials and installation are to be in accordance with Sydney Water Codes and satisfy all relevant Australian Standards. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior occupation of the premises.

(Reason: To ensure appropriate landscape maintenance.)

**7. LANDSCAPING - TREES PERMITTED TO BE REMOVED (GC)**

The following listed trees are permitted to be removed to accommodate the proposed development:

Tree No. in Arborist Report	Tree	Location
4	Camellia Japonica	Western Boundary

All trees permitted to be removed by this consent shall be replaced by species selected from Council's recommended planting list. Replacements shall be a minimum 50 litre container size and shall be maintained until maturity.

(Reason: To ensure appropriate planting back onto the site.)

**8. LANDSCAPING - TREE PRESERVATION (GC)**

The trees listed below shall be retained at all times:

Tree No. in Arborist Report	Tree	Location
1	Cinnamomum Camphora	Road Reserve
2	Cinnamomum Camphora	Road Reserve
3	Corymbia Citriodora	Front Yard

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Lot 2 in DP 962760 (Cont'd)**

and protected by the establishment of a **protection zone** (in accordance with Australian Standard AS4970-*Protection of trees on development sites*) before any site works begin (including any demolition/excavation). The protection zone shall be maintained for the duration of works and implemented as follows:

- (a) A minimum 1.8m high barrier (Chain wire mesh panels, plywood or wooden paling fence panels: refer to AS4687-*Temporary fencing and hoardings* for fencing requirements) shall be erected around the perimeter of the stated Protection Zone as measured from the base of the tree (or where practical). Shade cloth or similar should be attached to reduce the transport of dust, other particulate matter and liquids into the protected area. Fence posts and supports should have a diameter greater than 20mm and be located clear of roots. The barrier shall be constructed so as to prevent pedestrian and vehicular entry into the protection zone. The barrier shall not project beyond the kerb onto the roadway or any adjacent footpath.
- (b) Signs identifying the Protection Zone should be installed on the fencing and be visible from within the development site. Lettering should comply with AS4970-2009: *Protection of Trees on Development Sites*.
- (c) No concrete slurry or wash, building materials, builders' rubble, excavation soil or similar shall be placed or stored within the tree protection zone.
- (d) The whole of the tree protection zone shall be mulched to a minimum depth of 75mm.
- (e) The tree protection zone shall be regularly watered.
- (f) Any major structural roots which are encountered shall be pruned by a qualified Arborist.
- (g) **No excavation or construction shall be carried out** within the stated *Structural Root Zone* distances from the base of the trunk surface.
- (h) Only permeable surfaces (e.g. decomposed granite, gravel, turfpave, permeable paving systems or soft landscaping) are permitted within the canopy spread of the trees to be protected.
- (i) The following **pre construction measures** are to be carried out on the tree listed tree.
  - (i) Tree protection is to be certified in writing to Council by an AQF5 Qualified consulting arborist prior to commencement of works. Such measures shall be certified by a minimum level 5 (AQF 5) Consultant Arborist who is currently a member or eligible for membership to the *Institute of Australian Consulting Arboriculturists* (IACA) or *Arboriculture Australia* (AA).

(Reason: To ensure the protection of trees to be retained on the site.)

**9. MATERIALS – CONSISTENT WITH SUBMITTED SCHEDULE (GC)**

All external materials, finishes and colours are to be consistent with the schedule submitted to and approved by Council with the development application.

(Reason: To ensure compliance with this consent.)

**10. PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)**

Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

- i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;
- ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and
- iii) the sign must state that unauthorised entry to the work site is prohibited.

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Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

**11. SITE MANAGEMENT (DURING DEMOLITION AND CONSTRUCTION WORKS)**

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- x) All waste must be contained entirely within the site.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways, include nature strips and roadways adjacent to the site must be maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.
- xvi) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an

**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.

- xviii) Any work must not prohibit or divert any natural overland flow of water.
- xix) Toilet facilities for employees must be provided in accordance with WorkCover NSW.
- xx) Protection pads are to be installed to the kerb and gutter where trucks and vehicles enter the site.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

**12. STORMWATER MANAGEMENT PLAN - CERTIFICATION REQUIREMENT (GC)**

A detailed Stormwater Management Plan (SWMP) in line with Council's Stormwater Management Code is to be prepared and certified by a practicing Chartered Professional Engineer on the National Professional Engineer's Register (NPER) at Engineers Australia and submitted to the Principal Certifying Authority and Council, prior to the issue of a Construction Certificate. The SWMP is to be based on the approved development as modified by any conditions of consent.

(Reason: To ensure appropriate provision is made for the disposal and management of stormwater generated by the development, and to ensure public infrastructure in Council's care and control is not overloaded.)

**13. SYDNEY WATER - STAMPED PLANS PRIOR TO COMMENCEMENT (GC)**

The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. Plans will be appropriately stamped.

For Quick Check agent details please refer to the web site [www.sydneywater.com.au](http://www.sydneywater.com.au) (see Building Developing and Plumbing then Quick Check) or telephone 13 20 92. The consent authority or a Certifying Authority must ensure that a Quick Check agent/Sydney Water has stamped the plans before the commencement of work.

(Reason: Compliance with Sydney Water requirements.)

**14. UTILITIES AND SERVICES - PROTECTION OF (GC)**

Any footings or excavation to be located or undertaken adjacent to Council's stormwater must be designed to address the following requirements:

- i) all footings and excavation must be located wholly within the site and clear of any easement boundaries;
- ii) all footings and excavation must be located a minimum of 1000mm from the centreline of the pipeline or 500mm from the outside of the pipeline, whichever is the greater distance from the centreline; and
- iii) footings must extend to at least the depth of the invert of the pipeline unless the footings are to be placed on competent bedrock.

If permanent excavation is proposed beneath the obvert of the pipeline, suitable means to protect the excavation and proposed retaining structures from seepage or other water flow from the pipeline and surrounding subsoil, must be provided. The design must be prepared by a qualified practicing Structural/Civil Engineer.

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Construction plans must be approved by the appropriate utility's office (e.g. council, Sydney Water Corporation) to demonstrate that the development complies with the utility's requirements.

The applicant must provide written evidence (e.g. compliance certificate, formal advice) of compliance with the requirements of all relevant utility providers (e.g. Water, Energy, Telecommunications, Gas).

(Reason: To ensure protection of Council assets.)

**CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (CC)**

**15. BUILDING CODE OF AUSTRALIA - COMPLIANCE WITH (CC)**

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

**16. COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)**

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 4.19 of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

**17. COUNCIL PERMITS – FOR ALL ACTIVITIES ON COUNCIL LAND (CC)**

Works Permit

(as per Section 68 of the Local Government Act 1993 and Section 138 and 139 of the Roads Act 1993)

A Works Permit is required for construction of a vehicular crossing (driveway), new stormwater down pipe connection to kerb and gutter, new footpath and/or stormwater connection. A Works Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Standing Plant Permit

This permit must be applied for where it is intended to park a concrete pump, crane or other

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plant on the roadway or footpath. A Standing Plant Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

**Skip Bin Permit**

This permit must be applied for if you intend to place a skip bin on the roadway or footpath. A Skip Bin Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

**Temporary Full or Part Road Closure Permit**

This permit must be applied for if you require a full or a part road closure to take place to assist in your construction works. Please use the Works Permit Application Form, which is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

**Hoarding/Fencing Permit**

This permit must be applied for if you intend to erect a Class A (fence type) or Class B (overhead type) hoarding/fencing along the street frontage(s). A Hoarding Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

**Work Zone Permit**

This permit must be applied for if you require permanent parking along the kerbside at the front of the site during construction works. A Work Zone Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

**Ground Anchoring Permit**

This permit must be applied for, for the installation of ground anchors under Council's footway/road reserve. It does not cover ground anchors under private properties. A separate approval is required to be obtained from Roads and Maritime Services (RMS) if it is proposed to install ground anchors under a State or Classified Regional Road (please refer to the end of this application form for more information).

(Reason: Council requirement)

**18. EROSION AND SEDIMENTATION CONTROL PLAN (CC)**

An Erosion and Sediment Control Plan is to be prepared where construction or excavation activity requires the disturbance of the soil surface and existing vegetation. Details including drawings and specifications must provide adequate measures for erosion and sediment control to ensure:

- i) Compliance with the approved Soil and Water Management Plan.
- ii) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval).
- iii) All uncontaminated run-off is diverted around cleared or disturbed areas.
- iv) Silt fences or other devices are installed to prevent sediment and other debris escaping from the cleared or disturbed areas into drainage systems or waterways.
- v) All erosion and sediment controls are fully maintained for the duration of demolition/development works.
- vi) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadways.

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- vii) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar.
- viii) All water pumped or otherwise removed from excavations or basement areas is filtered to achieve suspended solids/non filterable residue levels complying with the Australian Water Quality guidelines for Fresh and Marine Waters.
- ix) Pumped or overland flows of water are discharged so as not to cause, permit or allow erosion before the commencement of work (and until issue of the occupation certificate).

Details of the proposed soil erosion and sedimentation controls are to be submitted to the Principal Certifying Authority with the Construction Certificate Application. Under no circumstances are any works to commence, prior to these details being approved by the Principal Certifying Authority and the controls being in place on the site.

(Reason: Environmental protection.)

**19. PRIVACY - OBSCURE GLAZING IN WET AREAS (CC)**

All bathroom, ensuite and toilet windows shall be installed with obscure glazing. Plans shall be notated accordingly and details demonstrating compliance submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Privacy amenity.)

**20. SECTION 7.11 CONTRIBUTION PAYMENT - INDIRECT CONTRIBUTIONS PLAN) (CC)**

In accordance with the provisions of Section 7.11 of the Environmental Planning and Assessment Act 1979 and the Strathfield Indirect Development Contributions Plan 2010-2030, a contribution in the form of cash, cheque or credit card (financial transaction fee applies) shall be paid to Council for the following purposes:

Local Amenity Improvement Levy	\$9,500.00
--------------------------------	------------

The total amount of the contribution is valid as at the date of determination and is subject to quarterly indexation. The amount of the contribution under this condition shall be indexed in accordance with clause 4.12 of the Strathfield Indirect Development Contributions Plan 2010-2030.

Contributions must be receipted by Council and submitted to the Accredited Certifier, prior to the issue of any Construction Certificate.

A copy of this condition is to be presented to Council's Customer Service Centre when paying the contribution so that it can be recalculated.

Note: A copy of Strathfield Council's Section 7.11 Indirect Development Contributions Plan may be downloaded from Council's website.

(Reason: To enable the provision of public amenities and services required/anticipated as a consequence of increased demand resulting from the development.)

**21. STORMWATER DRAINAGE (CC)**

The following stormwater precautions are required to be provided on the site:

- i) Grated drains shall be provided along the driveway/basement entry at the vehicular crossing(s) and are to connect to the internal drainage system.

**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

- ii) Overflow paths shall be provided to allow for flows in excess of the capacity of the pipe/drainage system draining the site.
- iii) Allowance shall be made for surface runoff from adjacent properties, and to retain existing surface flow path systems through the site. Any redirection or treatment of these flows shall not adversely affect any other properties
- iv) Boundary fencing shall be erected in such a manner as not to interfere with the natural flow of ground and surface water to the detriment of any other party.

(Reason: To ensure the site is drained appropriately and does not interfere with the natural flow of flood waters.)

**22. STORMWATER - SILT ARRESTORS AND GROSS POLLUTANT TRAPS (CC)**

Silt and gross pollutant traps shall be fitted in all new stormwater pits and designed in accordance with Council's specification for the management of stormwater. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Environmental protection.)

**23. UTILITIES AND TELECOMMUNICATIONS - ELECTRICITY CONNECTION (CC)**

Provision must be made for connection to future underground distributions mains. This must be achieved by installing:

- i) an underground service line to a suitable existing street pole; or
- ii) sheathed underground consumers mains to a customer pole erected near the front property boundary (within 1 metre).

Note: A limit of one (1) pole per site will apply.

Any costs associated with the relocation of the above are at the requestor's expense. Any disturbance to public land as a result of the undergrounding of services shall be restored at no cost to Council.

Details are to be submitted to the Principal Certifying Authority with the Construction Certificate Application.

(Reason: Environmental amenity.)

**CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORKS (CW)**

**24. APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY (PCA) (CW)**

No work shall commence in connection with this Development Consent until:

- i) A construction certificate for the building work has been issued by the consent authority or a Principal Certifying Authority.
- ii) The person having the benefit of the development consent has appointed a principal certifying authority for the building work, and notified the principal certifying authority that the person will carry out the building work as an owner/builder, if that is the case.
- iii) The principal certifying authority has, no later than 2 days before the building work commences:
  - notified the Council of his or her appointment, and
  - notified the person having the benefit of the development consent of any critical



**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

- stage inspections and other inspections that are to be carried out in respect of the building work.
- iv) The person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:
- appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved;
  - notified the principal certifying authority of such appointment; and
  - unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- v) The person having the person having the benefit of the development consent has given at least 2 days notice to the Council of the person's intention to commence the erection of the building.

**Note:** If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement.)

**25. HOME BUILDING COMPENSATION FUND (CW)**

No residential building work within the meaning of the Home Building Act 1989 may commence until:

- i) A contract of insurance in accordance with Part 6 of the Home Building Act 1989 is entered into and in force, where such a contract is required under that Act (this is a prescribed condition of consent pursuant to clause 981(b) Environmental Planning and Assessment Regulation 2000.
- ii) The PCA is satisfied that the principal contractor for the work is the holder of the appropriate licence and is covered by the appropriate insurance, in each case if required by the Home Building Act 1989 (unless the work is to be carried out by an owner-builder).
- iii) If the work is to be carried out by an owner builder, that the owner builder is the holder of any owner -builder permit required under the Home Building Act 1989.
- iv) Written notice of the following information has been provided to Council (this is a prescribed condition of consent pursuant to clause 98B of the Environmental Planning and Assessment Regulation 2000):
- In the case of work for which a principal contractor is required to be appointed:
  - the name and licence number of the principal contractor; and
  - the name of the insurer by which the work is insured under Part 6 of the Home Building Act 1989.
- In the case of work to be done by an owner-builder:
- the name of the owner-builder; and
  - if the owner-builder is required to hold an owner-builder permit under the Home Building Act 1989, the number of the owner-builder permits.

Where Council is not the PCA, the PCA is responsible for notifying Council of the above

**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

matters.

Note: Where arrangements for doing residential building work change while the work is in progress so that the above information becomes out of date, the PCA (where not the Council) must provide Council with written notice of the updated information.

(Reason: Statutory requirement.)

**26. NOTICE OF COMMENCEMENT (CW)**

No work shall commence until the following details are submitted to Council:

- i) a Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- ii) details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- iii) details of the name, address and licence details of the Builder.

(Reason: Statutory requirement.)

**CONDITIONS TO BE SATISFIED DURING DEMOLITION AND BUILDING WORKS (DW)**

**27. CONTAMINATED LAND UNEXPECTED FINDS (DW)**

In the instance works cause the generation of odours or uncovering of unexpected contaminants works are to immediately cease, Council is to be notified and a suitably qualified environmental scientist appointed to further assess the site.

The contaminated land situation is to be evaluated by the supervising environmental consultant and an appropriate response determined in consultation with the applicant, which is agreed to by Strathfield Council's Environmental Services Manager.

Note: Council may also request that a NSW EPA accredited site auditor is involved to assist with the assessment of the contaminated land situation and review any new contamination information. The applicant must also adhere to any additional conditions which may be imposed by the accredited site auditor.

(Reason: To ensure compliance with statutory requirements.)

**28. HERITAGE - HISTORIC RELICS FOUND DURING WORKS (DW)**

Should any potentially historic relics be discovered on the site during excavation, all excavation or disturbance to the area is to stop immediately and the Heritage Division of the NSW Department of Environment and Heritage should be informed in accordance with Section 146 of the Heritage Act 1977. 'Relics' are any deposit, artefact, object or material evidence that relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and are of State or local heritage significance.

Should any potentially significant Aboriginal material be discovered on the site, all excavation or disturbance of the area is to stop immediately and the Heritage Division of the NSW Department of Environment and Heritage is to be informed in accordance with Section 91 of the National Parks and Wildlife Act 1974.

(Reason: To ensure the proper management and preservation of potentially significant archaeological material.)

**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

**29. OBSTRUCTION OF PUBLIC WAY NOT PERMITTED DURING WORKS (DW)**

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances, without the prior approval of Council.

(Reason: To maintain public access and safety.)

**30. PUBLIC INFRASTRUCTURE AND SERVICES (DW)**

The applicant must comply with the requirements (including financial costs) of any relevant utility provider (e.g. Energy Australia, Sydney Water, Telstra, RMS, Council etc.) in relation to any connections, works, repairs, relocation, replacements and/or adjustments to public infrastructure or services affected by the development.

(Reason: To maintain public infrastructure and/or services.)

**31. SITE REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION**

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standards AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out with close boarded, hardwood timber footpath protection pads. The pad shall cover the entire width of the footpath opening for the full width of the fence.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.
- x) All excavated material should be removed from the site in the approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight docket, receipts etc.) should be kept on site as evidence of approved methods of disposal and recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as

**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

- not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways and roadways adjacent to the site must be fully maintained and cleared of obstructions during construction unless prior separate approval from Council is obtained including payment of relevant fees.
  - xvi) Building operations such as brick cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
  - xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
  - xviii) Stamped plans, specifications, documentation and the consent shall be available on site at all times during construction.
  - xvii) All protected trees are to be managed in accordance with Australian Standard AS4970 - 2009 , Protection of Trees on Development Sites.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

**CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE (OC)**

**32. DRAINAGE SYSTEM - MAINTENANCE OF EXISTING SYSTEM (OC)**

Where elements of the existing drainage system are to be utilised, the existing drainage system shall be overhauled and maintained clear of silt and accumulated debris. Silt and the like shall be removed, not flushed from the system.

A certificate shall be provided by a suitably qualified person (a registered plumber or a person of equivalent or greater experience or qualification) to the satisfaction of the Principal Certifying Authority, prior to the issue of any Occupation Certificate to confirm that the system is in good working order and adequate to accept additional flows having regard to any relevant standards and/or Sydney Water requirements.

(Reason: Maintenance and environment.)

**33. ENGINEERING WORKS (CERTIFICATION OF)**

Prior to occupation of the premises, a Work As Executed (WAE) Plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate Membership standing in the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that:

- i) the stormwater drainage system; and/or
- ii) the car parking arrangement and area; and/or
- iii) any related footpath crossing works; and/or
- iv) the proposed basement pump and well system; and/or
- v) the proposed driveway and layback; and/or
- vi) any other civil works

have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

For major works, such as subdivisions, works within the road reserve (requiring separate

**DA2018/010 - 44 Redmyre Road, Strathfield  
Lot 2 in DP 962760 (Cont'd)**

S138 approval) and as where specified by Council, a Part 4A Certificate will be required. It is strongly recommended that an Engineer supervise all engineering related works.

Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council, prior to the issue of any Occupation Certificate.

(Reason: Asset management.)

**34. OCCUPATION OF BUILDING (OC)**

A person must not commence occupation or use (or change of use where an existing building) of the whole or any part of a new building (within the meaning of section 109H (4) of the Act) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

The Principal Certifying Authority is required to be satisfied, amongst other things, that:

- i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent have been met.

Note: New building includes an altered portion of, or an extension to, an existing building.

(Reason: Statutory requirement.)

**ATTACHMENTS**

1. [↓](#) Architectural Plans
2. [↓](#) Heritage Impact Statement

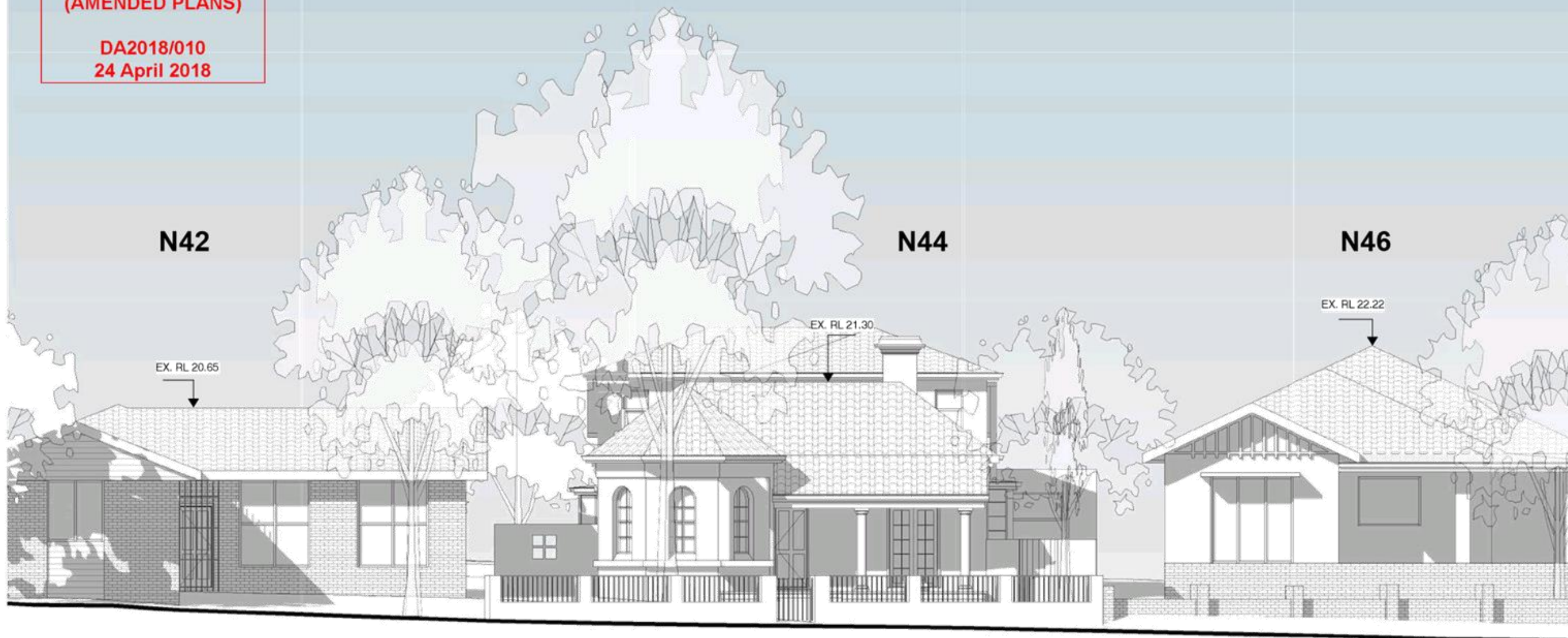


# ALTERATIONS AND ADDITIONS AT N44 REDMYRE ROAD STRATHFIELD NSW

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**(AMENDED PLANS)**

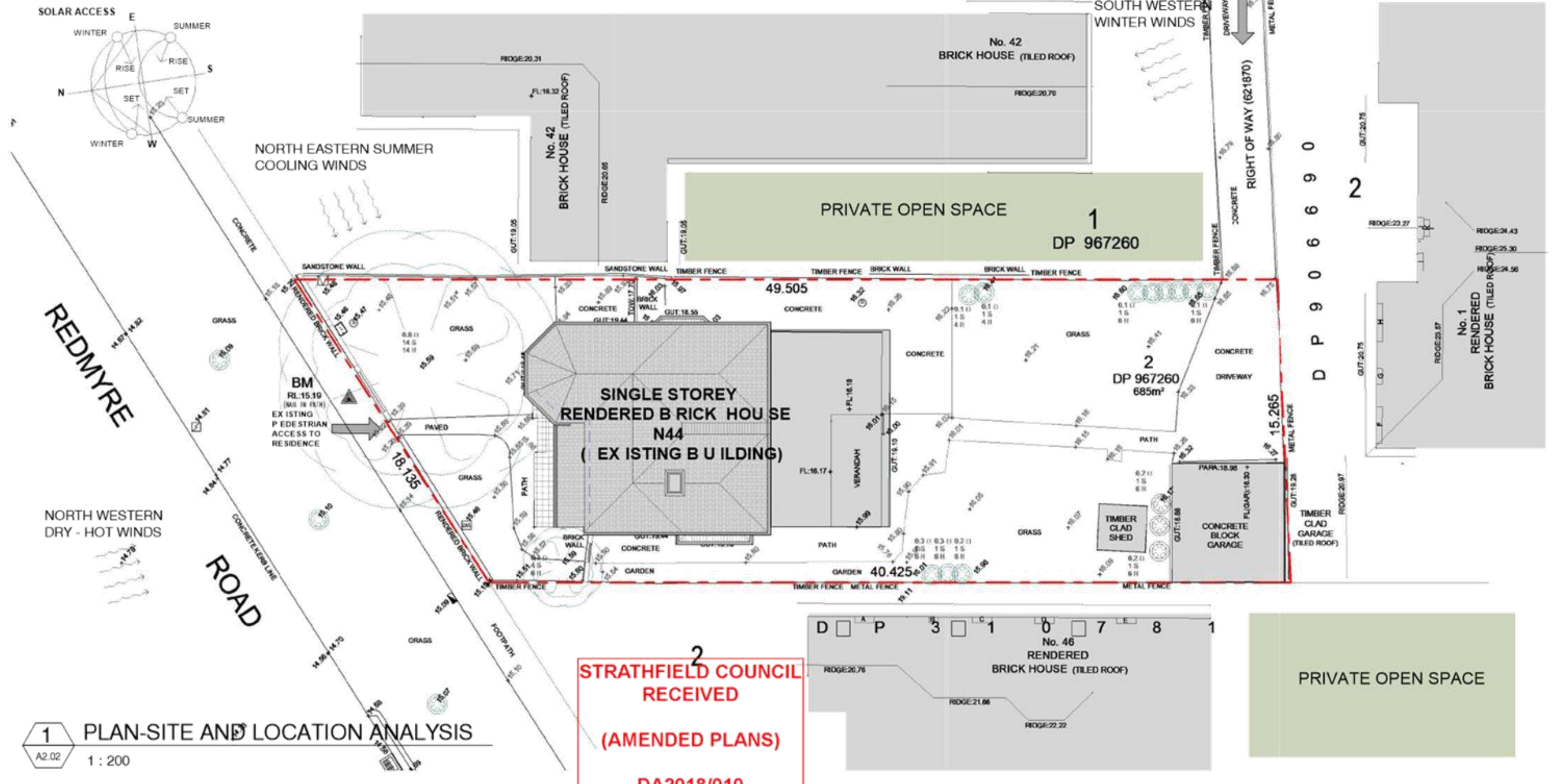
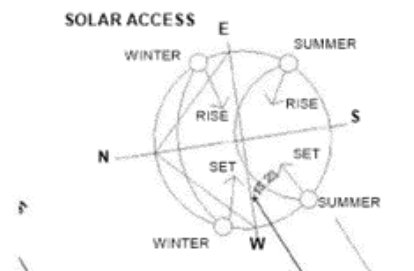
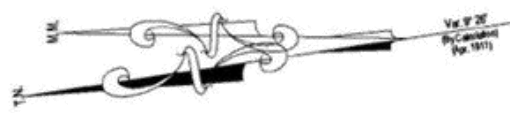
**DA2018/010  
24 April 2018**



**1** STREETScape ELEVATION  
1 : 100

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	PROJECT            ALTERATIONS AND ADDITIONS		CHECKED BY            AC															
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<table border="1"> <thead> <tr> <th>ISSUE</th> <th>REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>DA ISSUE</td> <td>14/12/2017</td> </tr> <tr> <td>B</td> <td>REVISED DA</td> <td>10/04/2018</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	ISSUE	REVISIONS	DATE	A	DA ISSUE	14/12/2017	B	REVISED DA	10/04/2018									
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WINDOW/DOOR TABLE				
No.	Top of Window RL	Width	Height	Type
A	18.30	0.99	0.83	WIN
B	18.00	0.49	1.53	WIN
C	18.30	0.99	1.98	WIN
D	18.30	0.99	1.98	WIN
E	18.30	0.99	1.98	WIN
F	18.30	1.82	2.34	DOOR
G	20.15	0.78	1.53	WIN
H	20.18	2.16	1.89	WIN
I	20.10	??	??	WIN
J	19.75	1.06	??	WIN
K	20.20	0.85	0.45	WIN

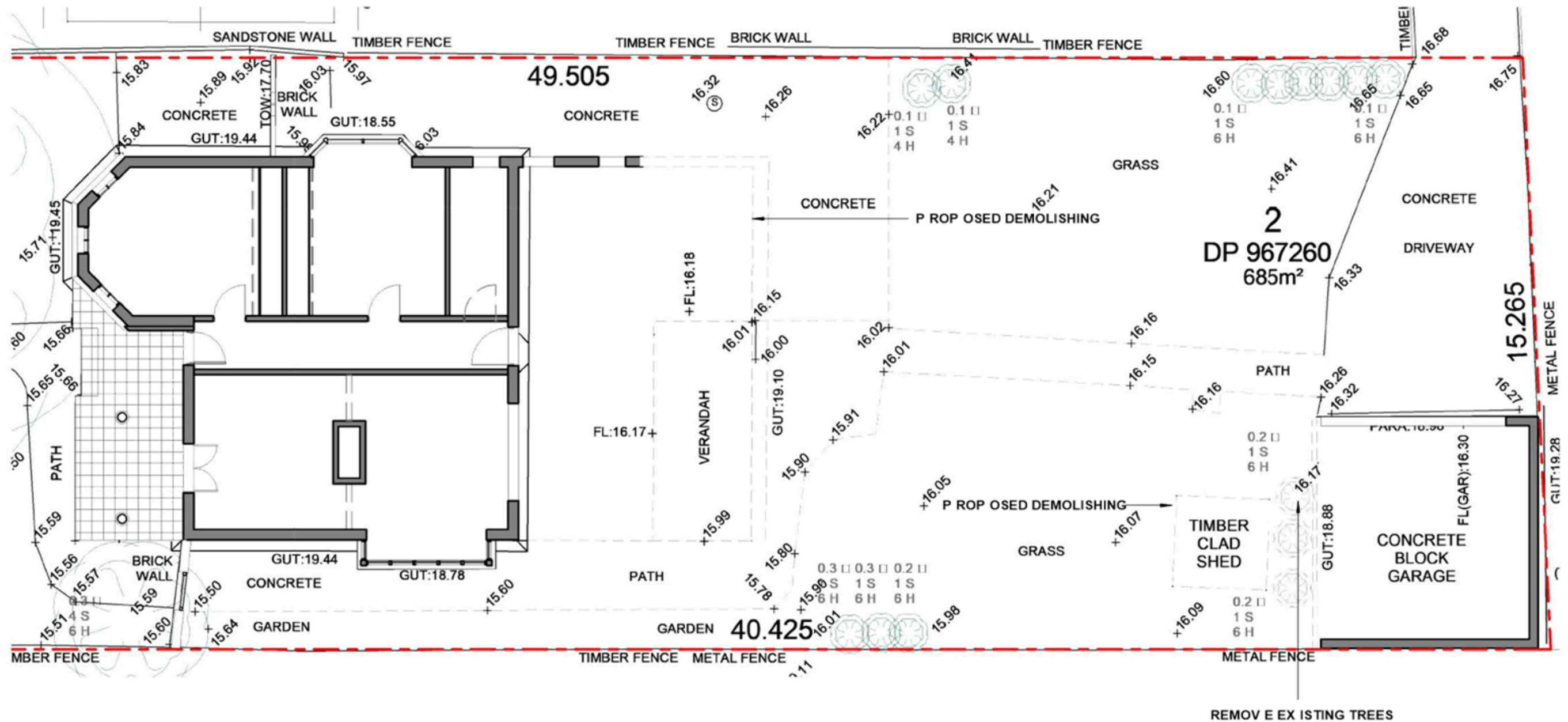


1 PLAN-SITE AND LOCATION ANALYSIS  
A2.02 1 : 200

2  
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**DA2018/010**  
**24 April 2018**

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	PROJECT ALTERATIONS AND ADDITIONS	CHECKED BY AC	
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ISSUES A DA ISSUE 14/12/2017 B REVISED DA 10/04/2018			



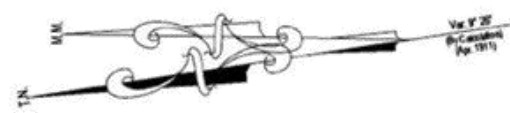


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**DA2018/010  
24 April 2018**

1 PLAN-DEMOLISHING  
 A2.01 1 : 100

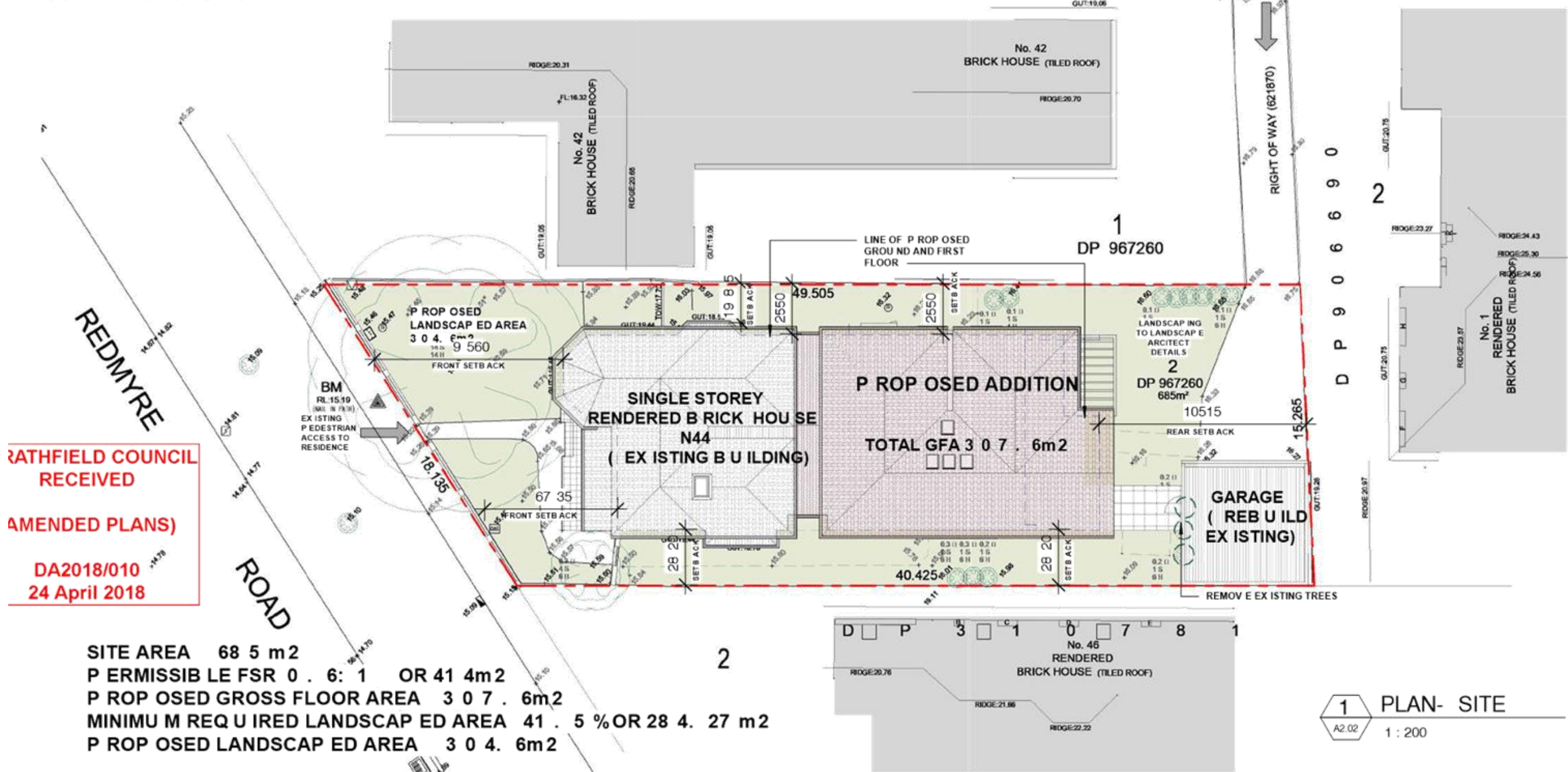
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	A	DA ISSUE	14/12/2017	JOB NO	2664
	B	REVISED DA	10/04/2018	DRAWING NO	A1.02 B
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I	20.10	??	??	WIN
J	19.75	1.06	??	WIN
K	20.20	0.85	0.45	WIN



VERNON STREET

STREET



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 DA2018/010  
 24 April 2018

SITE AREA 68 5 m<sup>2</sup>  
 P ERMISSIB LE FSR 0 . 6 : 1 OR 41 4m<sup>2</sup>  
 P ROP OSED GROSS FLOOR AREA 3 0 7 . 6m<sup>2</sup>  
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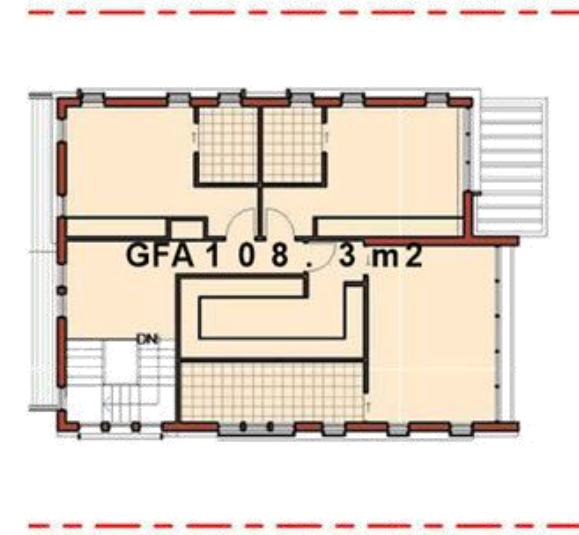
1 PLAN- SITE  
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	PROJECT	ALTERATIONS AND ADDITIONS	CHECKED BY	AC
ISSUE REVISIONS DATE A CONCEPT FOR REVIEW 15 /08/2017 B FINAL DESIGN ISSUE 6/10/2017 C DA ISSUE 14/12/2017 D REVISED DA 10/04/2018	ADDRESS	44 REDMYRE ROAD, STRATHFIELD NSW	SCALE	1 : 200@A3
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			DRAWING NO	A1.03 D

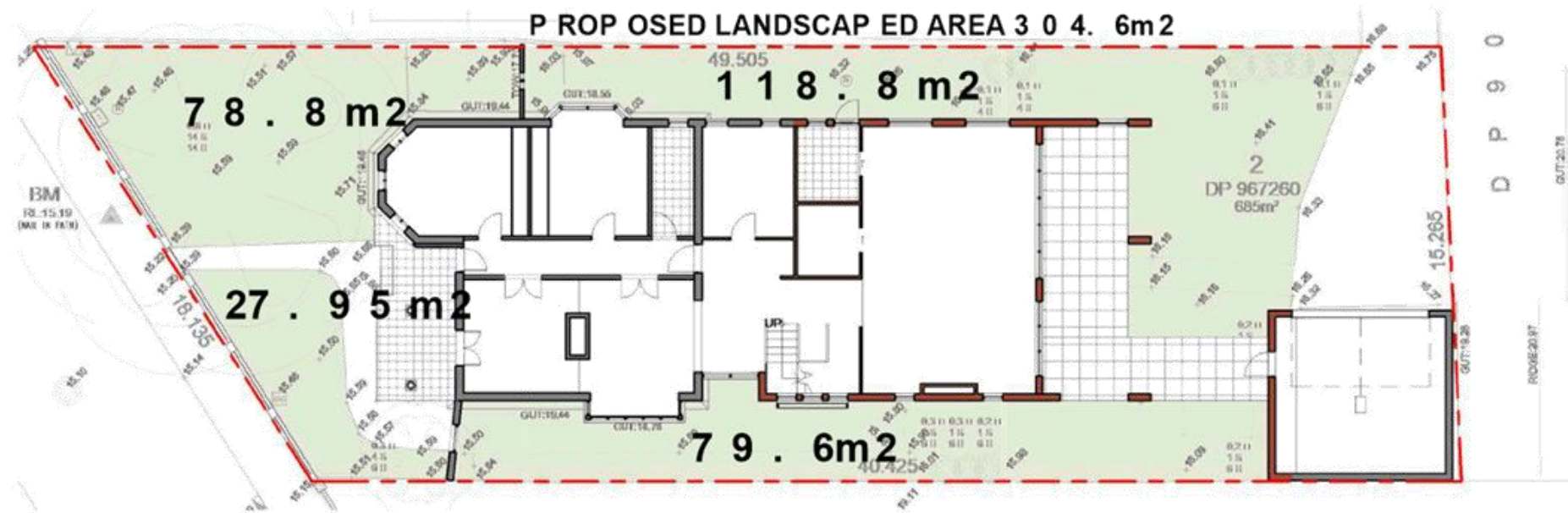




1 PLAN-GR D GF A C ALC U LAT ION  
A2.01 1 : 200



2 PLAN-L1 GF A C ALC U LAT ION  
A2.01 1 : 200



4 PLAN-GR D LANDSCAPE AREA A C ALC U LAT ION  
A2.01 1 : 200

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	ISSUE	REVISIONS	DATE	JOB NO
A CONCEPT FOR REVIEW 15/08/2017 B FINAL DESIGN ISSUE 6/10/2017 C DA ISSUE 14/12/2017 D REVISED DA 10/04/2018	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not		DRAWING NO	A1.04 D

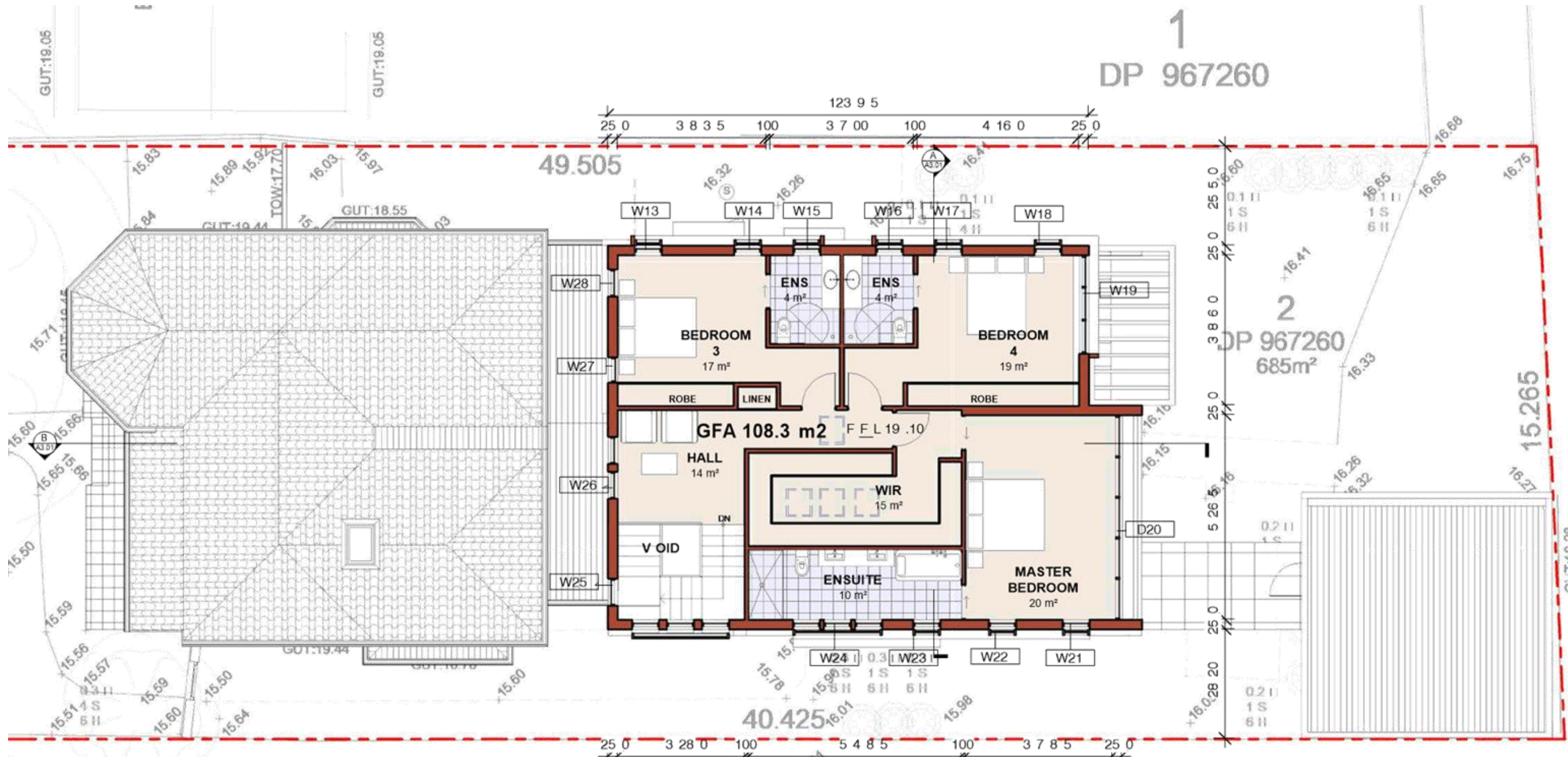




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**(AMENDED PLANS)**  
  
**DA2018/010**  
**24 April 2018**

2  
D P 3 1 0 7 8 1  
No. 46  
RENDERED  
BRICK HOUSE (TILED ROOF)  
1 PLAN-GROUND  
A2.01 1 : 100

<p><b>THE SITE FOREMAN</b> t: 1300 728 006 f: 1300 728 440 w: THE SITE FOREMAN.COM.AU a: 38-40 PARRAMATTA ROAD SUMMER HILL 2130 NSW</p> <p>This drawing forms part of a set of documents for which copyright is vested in THE SITE FOREMAN (NSW) Pty Ltd. It is an offence under the Copyright Act, to copy, use or reproduce, in whole or in part, any part of these documents without the written permission of the Copyright holder. Any breach of this provision will result in legal action against the person, parties or entity deemed to be responsible.</p>	<p>DRAWING TITLE GROUND FLOOR PLAN</p> <p>PROJECT ALTERATIONS AND ADDITIONS</p> <p>ADDRESS 44 REDMYRE ROAD, STRATHFIELD NSW</p>	<p>DRAWN/DESIGNED BY AC</p> <p>CHECKED BY AC</p> <p>SCALE 1 : 100@A3</p> <p>JOB NO 2664</p> <p>DRAWING NO A1.05 E</p>																	
	<table border="1"> <thead> <tr> <th>ISSUE</th> <th>REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>CONCEPT FOR REVIEW</td> <td>15/08/2017</td> </tr> <tr> <td>B</td> <td>FINAL DESIGN ISSUE</td> <td>6/10/2017</td> </tr> <tr> <td>C</td> <td>FINAL DESIGN ISSUE</td> <td>16/10/2017</td> </tr> <tr> <td>D</td> <td>DA ISSUE</td> <td>14/12/2017</td> </tr> <tr> <td>E</td> <td>REVISED DA</td> <td>10/04/2018</td> </tr> </tbody> </table> <p>DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not</p>	ISSUE		REVISIONS	DATE	A	CONCEPT FOR REVIEW	15/08/2017	B	FINAL DESIGN ISSUE	6/10/2017	C	FINAL DESIGN ISSUE	16/10/2017	D	DA ISSUE	14/12/2017	E	REVISED DA
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E	REVISED DA	10/04/2018																	



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 DA2018/010  
 24 April 2018

**PLAN-LEV EL 1**  
 1 : 100

D P 3 1 0 7 8 1  
 No. 46  
 RENDERED

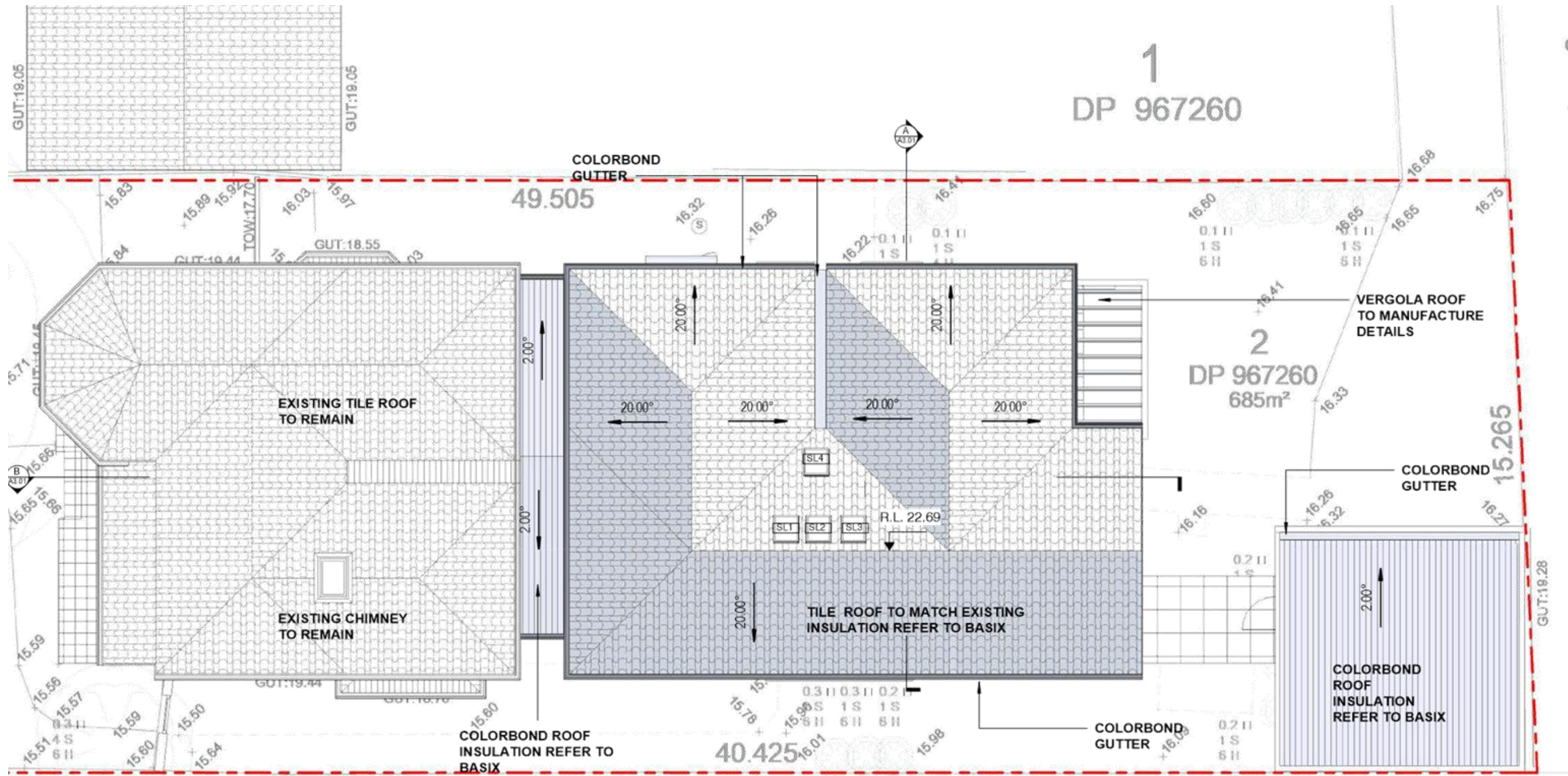
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ISSUE	REVISIONS	DATE
A	CONCEPT FOR REVIEW	15/08/2017
B	FINAL DESIGN ISSUE	6/10/2017
C	FINAL DESIGN ISSUE	16/10/2017
D	DA ISSUE	14/12/2017
E	REVISED DA	10/04/2018

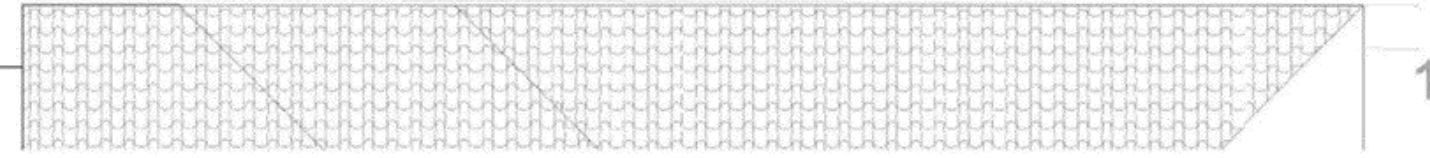
DRAWING TITLE	LEVEL 1 FLOOR PLAN	DRAWN/DESIGNED BY	AC
PROJECT	ALTERATIONS AND ADDITIONS	CHECKED BY	AC
ADDRESS	44 REDMYRE ROAD, STRATHFIELD NSW	SCALE	1 : 100@A3
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		DRAWING NO	A1.06 E





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 24 April 2018

**1 ROOF PLAN**  
 A2.02  
 1 : 100



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 w: THE SITE FOREMAN.COM.AU  
 a: 38-40 PARRAMATTA ROAD SUMMER HILL 2130 NSW

ISSUE	REVISIONS	DATE
A	FINAL DESIGN ISSUE	6/10/2017
B	DA ISSUE	14/12/2017
C	REVISED DA	10/04/2018

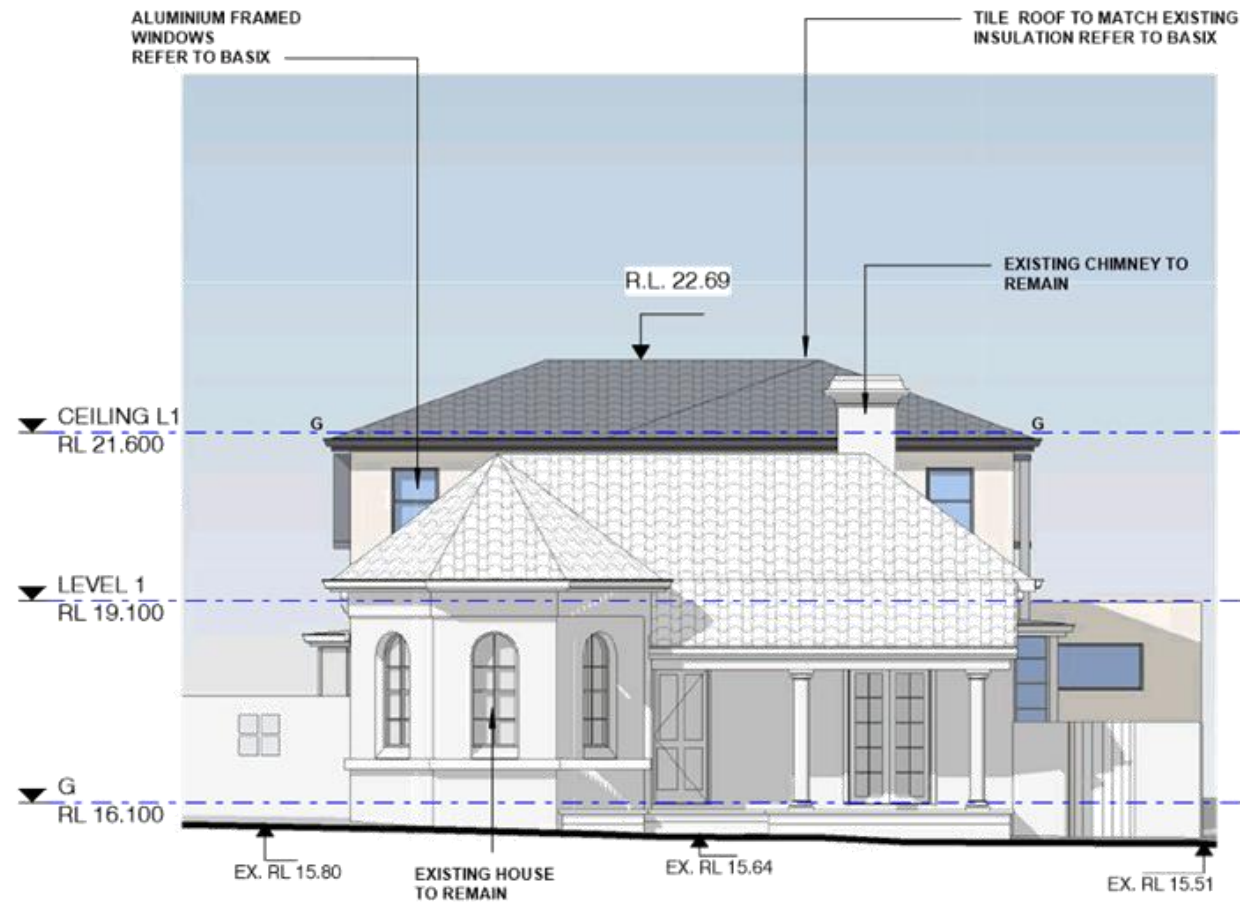
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DRAWING TITLE	ROOF PLAN
PROJECT	ALTERATIONS AND ADDITIONS
ADDRESS	44 REDMYRE ROAD, STRATHFIELD NSW

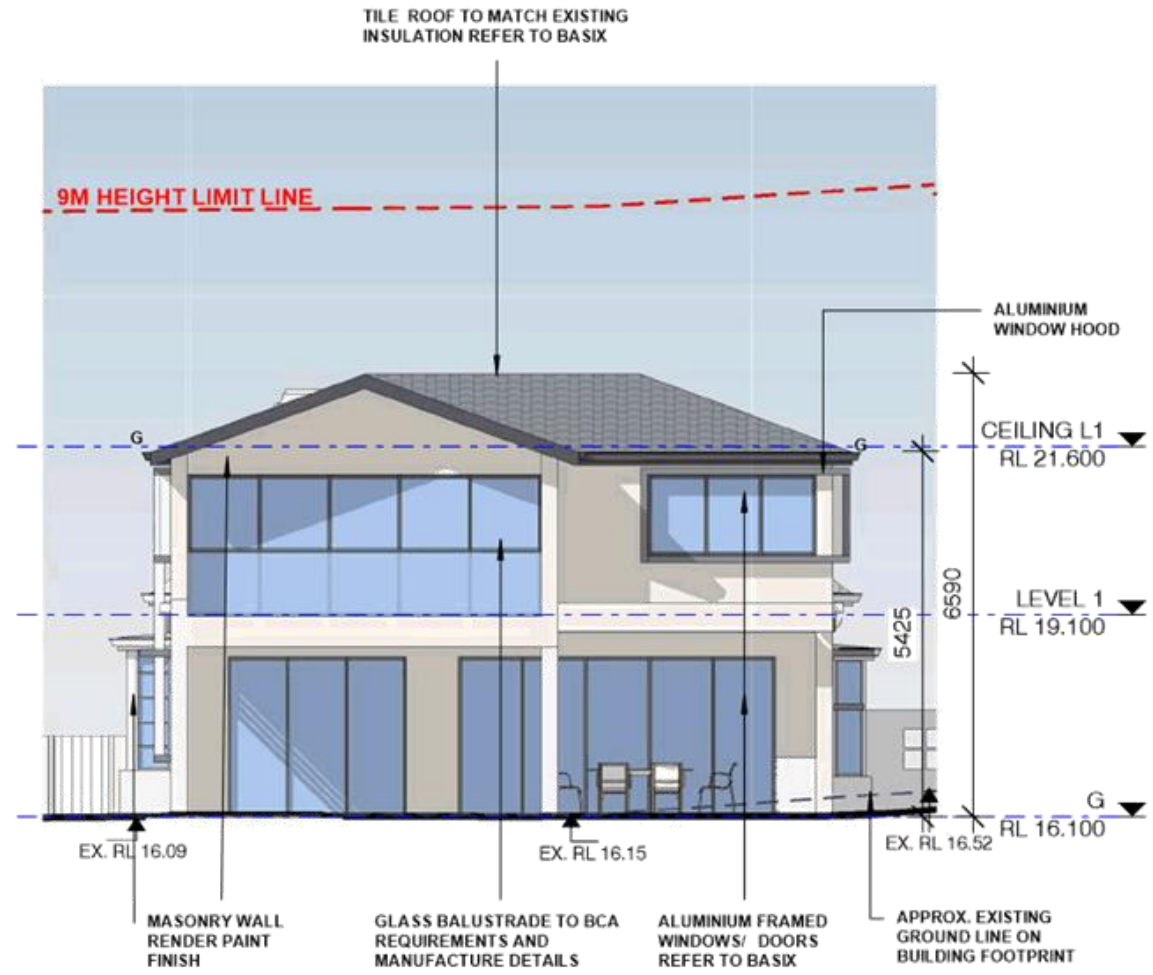
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DRAWN/DESIGNED BY	AC
CHECKED BY	AC
SCALE	1 : 100@A3
JOB NO	2664
DRAWING NO	A1.08 C





1 EN  
1 : 100



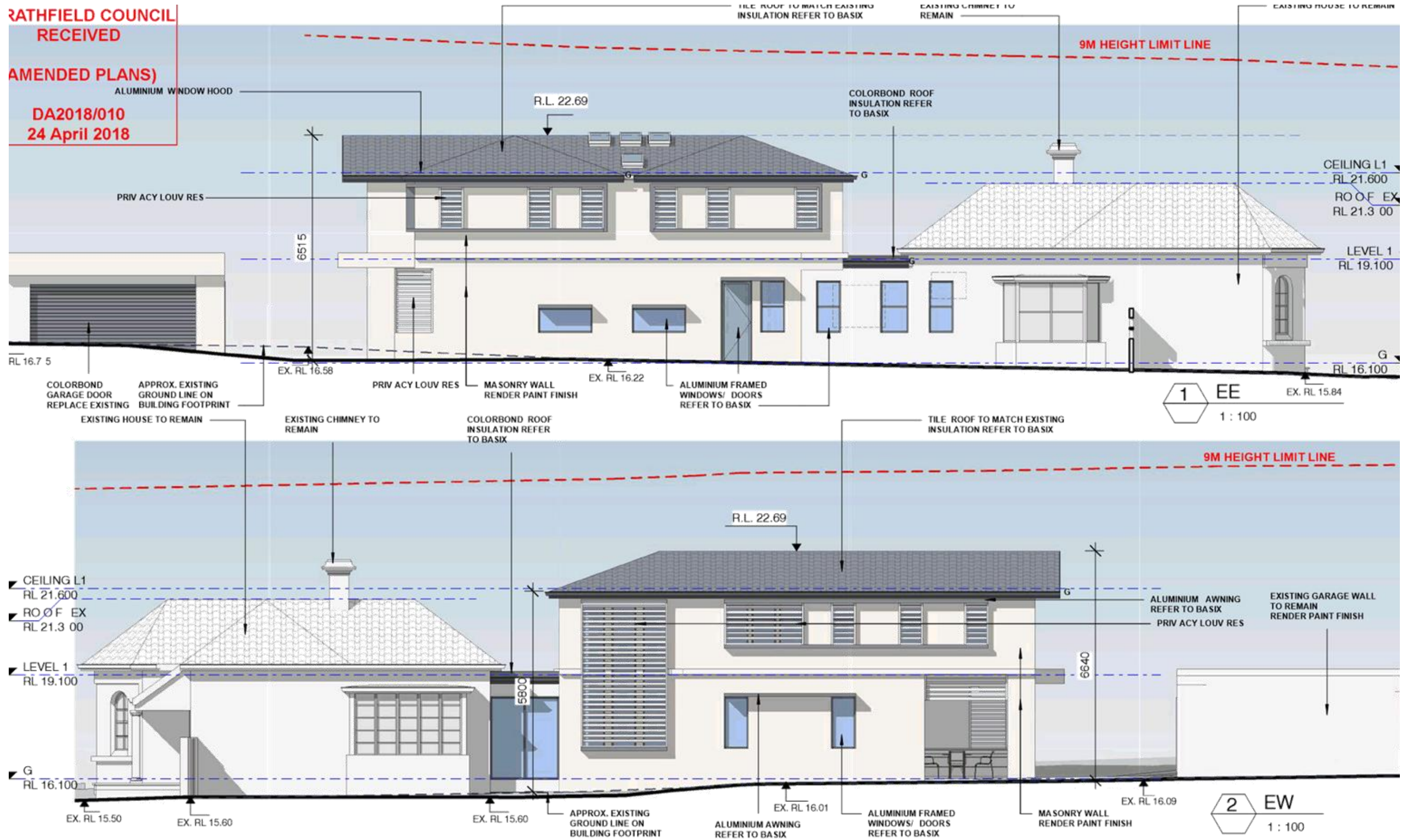
2 ES  
1 : 100

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24 April 2018**

<b>THE SITE FOREMAN</b> t: 1300 728 006 f: 1300 728 440 w: THE SITE FOREMAN.COM.AU a: 38-40 PARRAMATTA ROAD SUMMER HILL 2130 NSW	DRAWING TITLE	NORTH AND SOUTH ELEVATIONS	DRAWN/DESIGNED BY	AC	
	PROJECT	ALTERATIONS AND ADDITIONS	CHECKED BY	AC	
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	ISSUE	REVISIONS	DATE	JOB NO	2664
	A	CONCEPT FOR REVIEW	15 /08/2017	DRAWING NO	A2.01 D
	B	FINAL DESIGN ISSUE	6/10/2017		
	C	DA ISSUE	14/12/2017		
	D	REVISED DA	10/04/2018		
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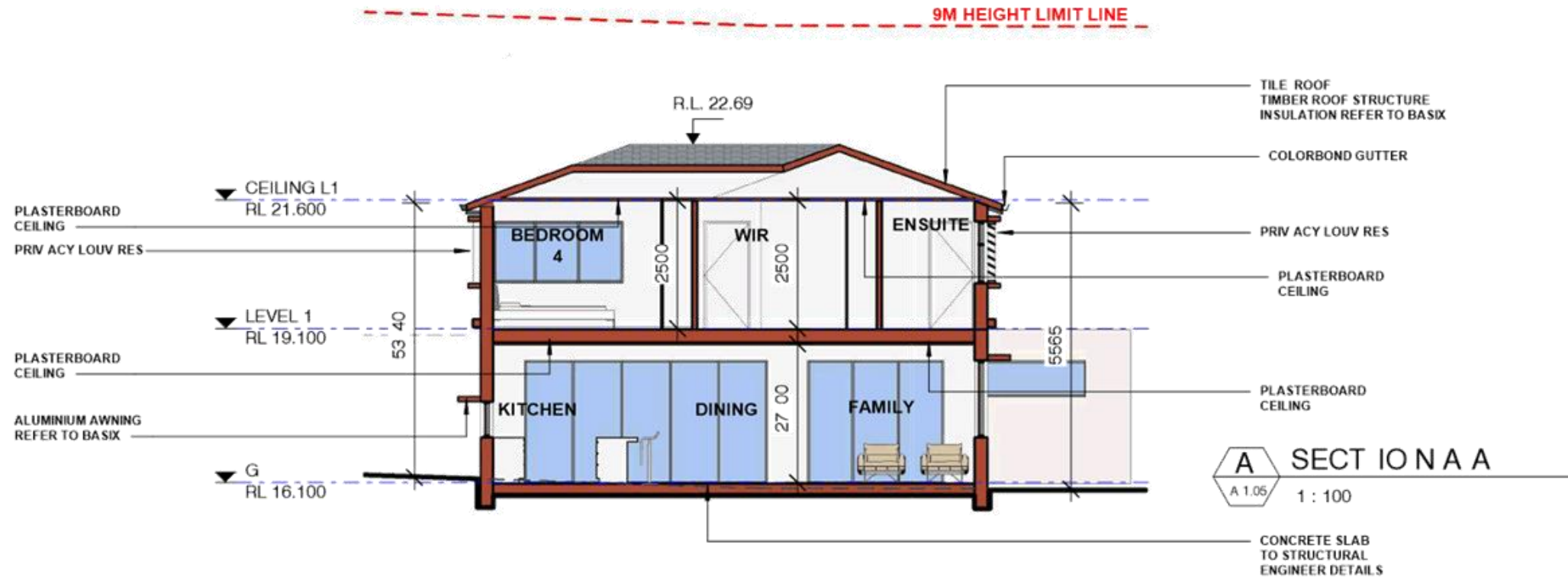
<b>THE SITE FOREMAN</b> t: 1300 728 006 f: 1300 728 440 w: THE SITE FOREMAN.COM.AU a: 38-40 PARRAMATTA ROAD SUMMER HILL 2130 NSW	DRAWING TITLE EAST AND WEST ELEVATIONS		DRAWN/DESIGNED BY AC															
	PROJECT ALTERATIONS AND ADDITIONS		CHECKED BY AC															
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B	FINAL DESIGN ISSUE	6/10/2017																
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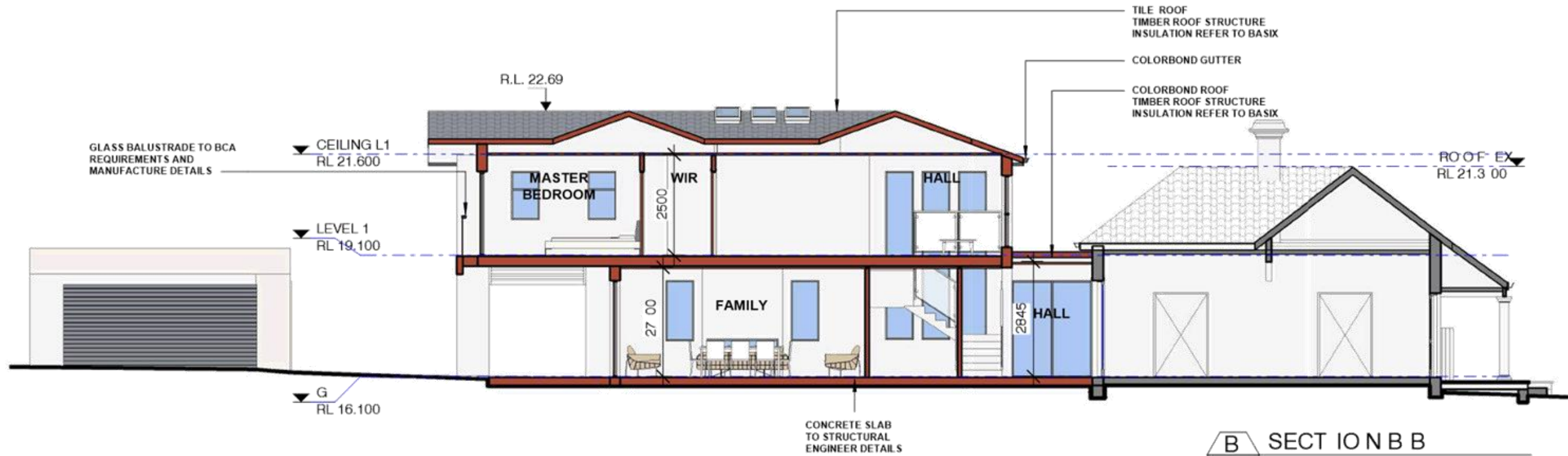
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24 April 2018**



**A SECTION A A**  
A 1.05 1 : 100

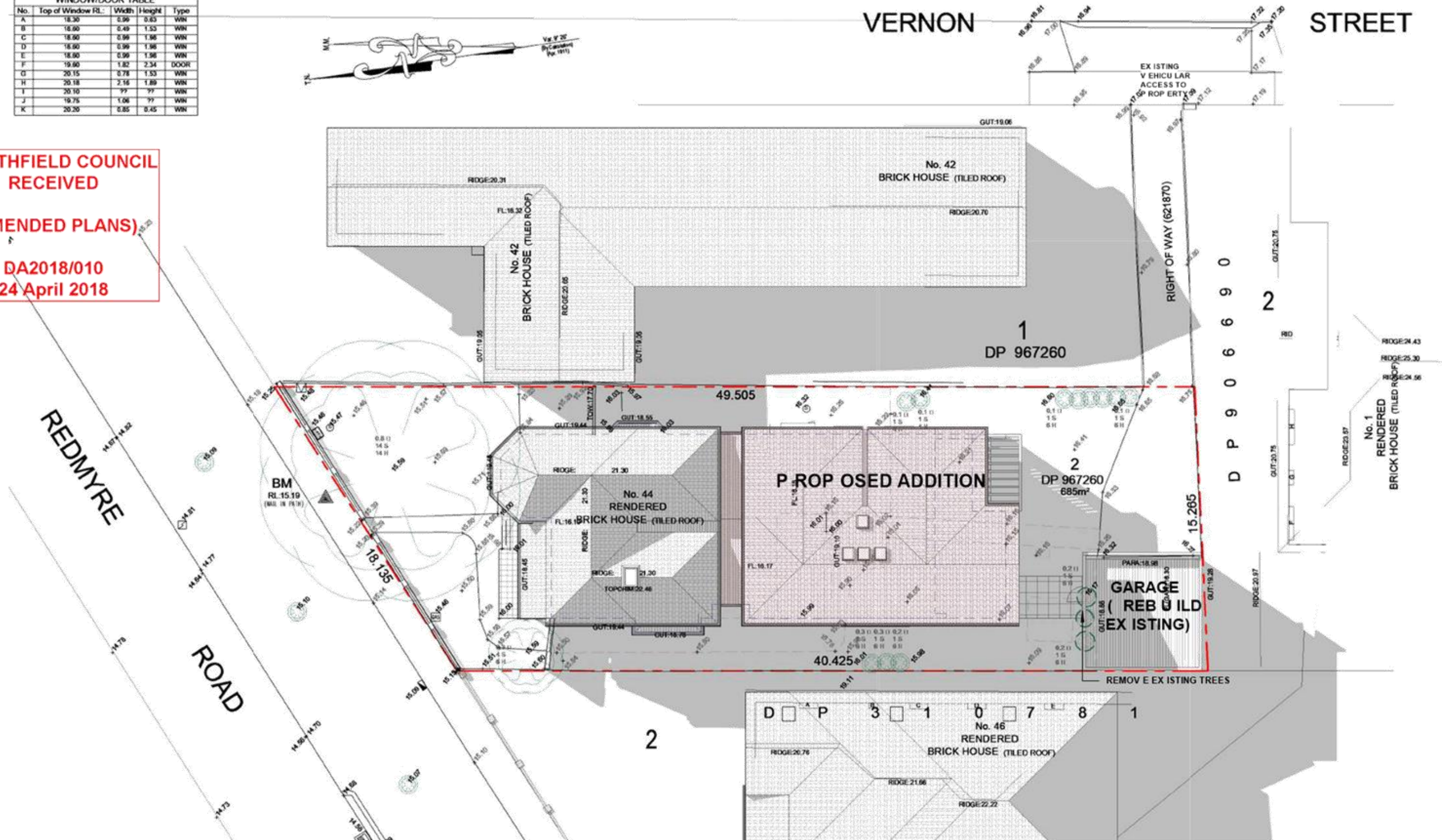


**B SECTION B B**  
A 1.05 1 : 100

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	A	FINAL DESIGN ISSUE		6/10/2017	PROJECT	ALTERATIONS AND ADDITIONS	CHECKED BY	AC
	B	DA ISSUE		14/12/2017	ADDRESS	44 REDMYRE ROAD, STRATHFIELD NSW	SCALE	1 : 100@A3
	C	REVISED DA		10/04/2018	<p><small>DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not</small></p>		JOB NO	2664
						DRAWING NO	A3.01 C	

WINDOW/DOOR TABLE				
No.	Top of Window RL	Width	Height	Type
A	18.30	0.90	0.80	WN
B	18.00	0.40	1.50	WN
C	18.00	0.90	1.90	WN
D	18.00	0.90	1.90	WN
E	18.00	0.90	1.90	WN
F	19.00	1.82	2.34	DOOR
G	20.15	0.78	1.50	WN
H	20.18	2.16	1.80	WN
I	20.10	??	??	WN
J	19.75	1.06	??	WN
K	20.20	0.85	0.45	WN

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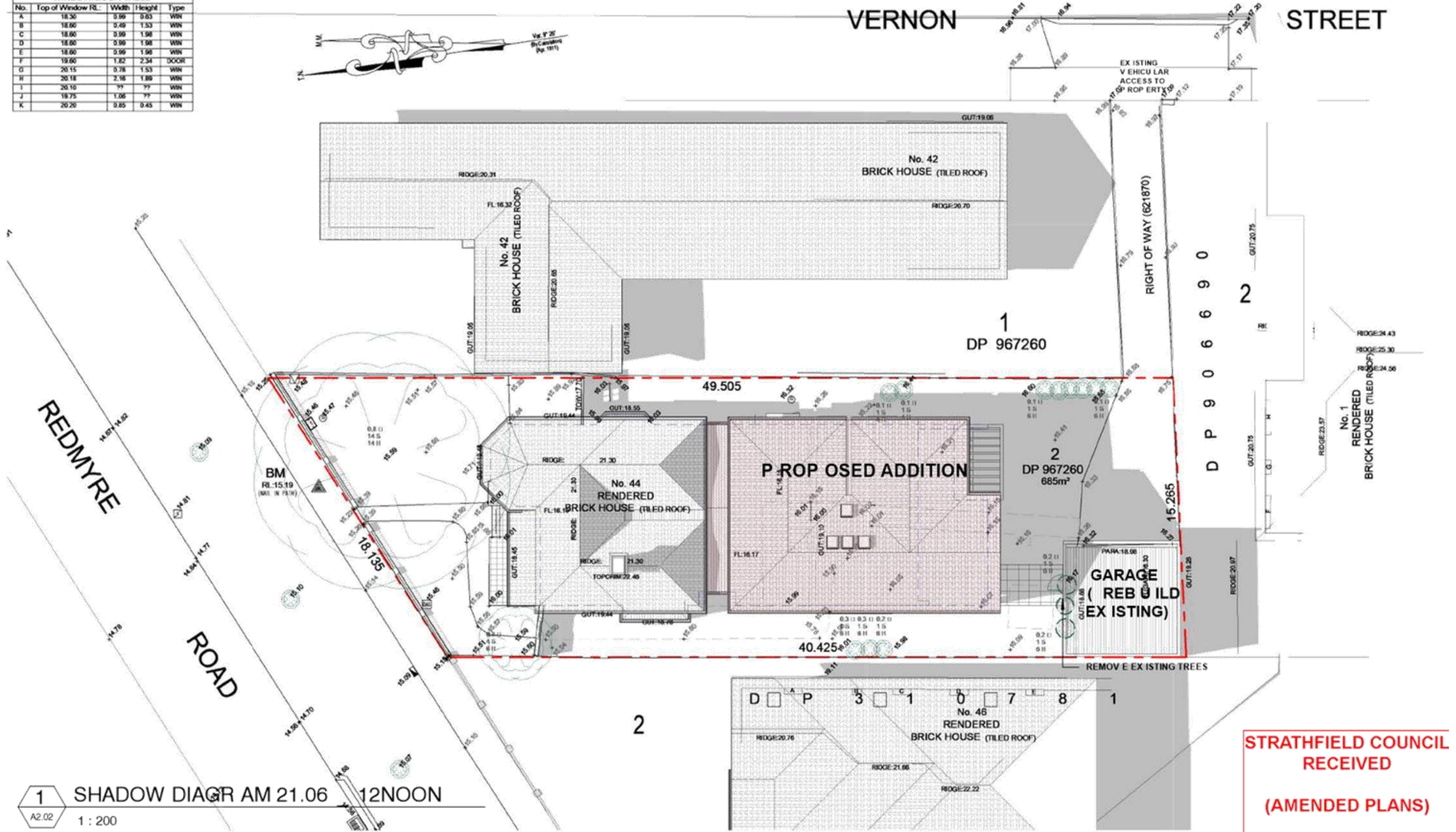


1 SHADOW DIAGR AM 21.06 9 AM  
 A2.02 1 : 200

<b>THE SITE FOREMAN</b> t: 1300 728 006 f: 1300 728 440 w: THE SITE FOREMAN.COM.AU a: 38-40 PARRAMATTA ROAD SUMMER HILL 2130 NSW	DRAWING TITLE	SHADOW DIAGRAM 21.06-9AM	DRAWN/DESIGNED BY	AC							
	PROJECT	ALTERATIONS AND ADDITIONS	CHECKED BY	AC							
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	ISSUE	REVISIONS	DATE	JOB NO							
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ISSUE	REVISIONS	DATE									
A	DA ISSUE	14/12/2017									
B	REVISED DA	10/04/2018									



WINDOW/DOOR TABLE				
No.	Top of Window RL	Width	Height	Type
A	18.30	3.99	0.83	WIN
B	18.60	3.48	1.33	WIN
C	18.60	3.99	1.98	WIN
D	18.60	3.99	1.98	WIN
E	18.60	3.99	1.98	WIN
F	19.60	1.82	2.34	DOOR
G	20.15	0.76	1.53	WIN
H	20.18	2.36	1.86	WIN
I	20.10	??	??	WIN
J	19.75	1.06	??	WIN
K	20.20	0.85	0.45	WIN



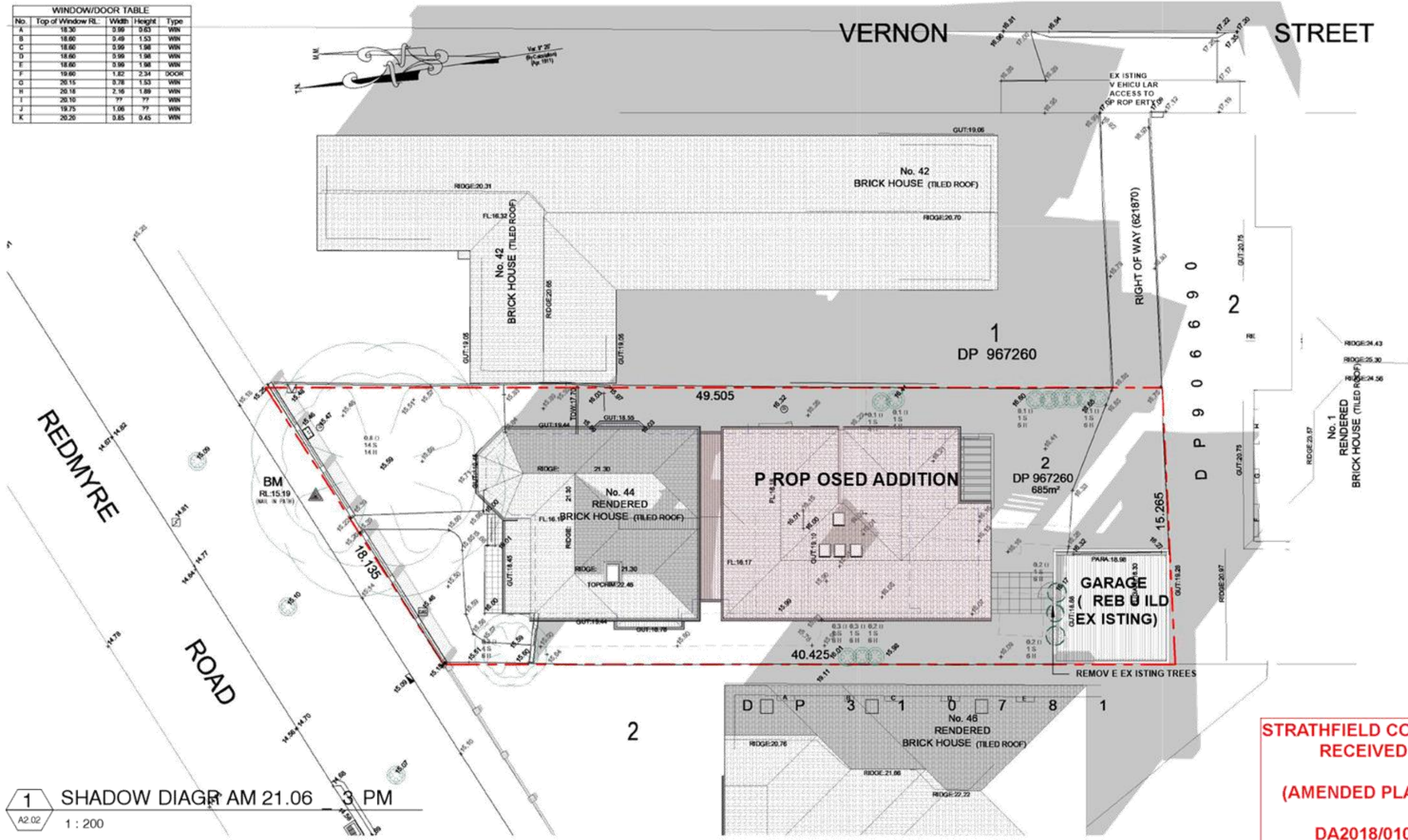
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<b>THE SITE FOREMAN</b> t: 1300 728 006 f: 1300 728 440 w: THE SITE FOREMAN.COM.AU a: 38-40 PARRAMATTA ROAD SUMMER HILL 2130 NSW	DRAWING TITLE SHADOW DIAGRAM 21.06-12NOON		DRAWN/DESIGNED BY AC
	PROJECT ALTERATIONS AND ADDITIONS		CHECKED BY AC
ADDRESS 44 REDMYRE ROAD, STRATHFIELD NSW		SCALE 1 : 200@A3	JOB NO 2664
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ISSUE	REVISIONS	DATE
A	DA ISSUE	14/12/2017
B	REVISED DA	10/04/2018



WINDOW/DOOR TABLE				
No.	Top of Window RL	Width	Height	Type
K	18.30	3.96	0.83	WIN
B	18.60	3.48	1.53	WIN
C	18.60	3.96	1.98	WIN
D	18.60	3.96	1.98	WIN
E	18.60	3.96	1.98	WIN
F	18.60	1.82	2.34	DOOR
G	20.15	3.78	1.53	WIN
H	20.18	2.16	1.86	WIN
I	20.10	??	??	WIN
J	19.75	1.06	??	WIN
K	20.20	0.85	0.45	WIN



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**24 April 2018**

<b>THE SITE FOREMAN</b> t: 1300 728 006 f: 1300 728 440 w: THE SITE FOREMAN.COM.AU a: 38-40 PARRAMATTA ROAD SUMMER HILL 2130 NSW	DRAWING TITLE SHADOW DIAGRAM 21.06-3PM PROJECT ALTERATIONS AND ADDITIONS ADDRESS 44 REDMYRE ROAD, STRATHFIELD NSW	DRAWN/DESIGNED BY AC CHECKED BY AC SCALE 1 : 200@A3 JOB NO 2664 DRAWING NO A4.03 B	
	DO NOT SCALE FROM THESE DRAWINGS use given dimensions. Contractor/ Builder is to check all dimensions on site prior to commencement of shop drawings or fabrication. Any discrepancies are to be referred to the architect/ designer prior to commencement of work. This drawing is to be used in accordance with its "purpose of issue" only. No responsibility will be accepted for the improper use of this drawing. Architectural drawings indicate design intent only. Builder is to ensure that all construction is in accordance with all relevant Australian Standards, legislation, policies, Building Code of Australia, Development Consent and any other council or certifier's requirements. This set of drawings does not include all possible construction details and the builder is required to complete the design where the information is not		

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B	REVISED DA	10/04/2018

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**(AMENDED PLANS)**  
  
**DA2018/010  
24 April 2018**



**1 EAST ELEV**  
1 : 100

**1**



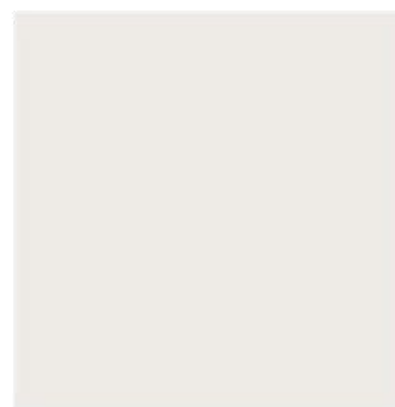
**ROOF TILES TO MATCH  
EXISTING  
EQUAL OR SIMILAR TO  
BORAL  
COL. SLATE**

**2**



**ROOF, GUTTERS AND  
DOWN PIPES, GARAGE  
DOOR- EQUAL OR SIMILAR  
COLORBOND  
BASALT**

**3**



**WALL RENDER FINISH,  
PAINT EQUAL OR  
SIMILAR TO DULUX  
HERITAGE RANGE  
COL.CHINA WHITE**

**4**



**WINDOW FRAMES  
EQUAL OR SIMILAR TO  
DULUX  
POWDERCOATED  
NOTRE DAME**

**5**



**LOUV RES  
EQUAL OR SIMILAR TO  
DECOWOOD LOUV RES  
AMERICAN OAK**

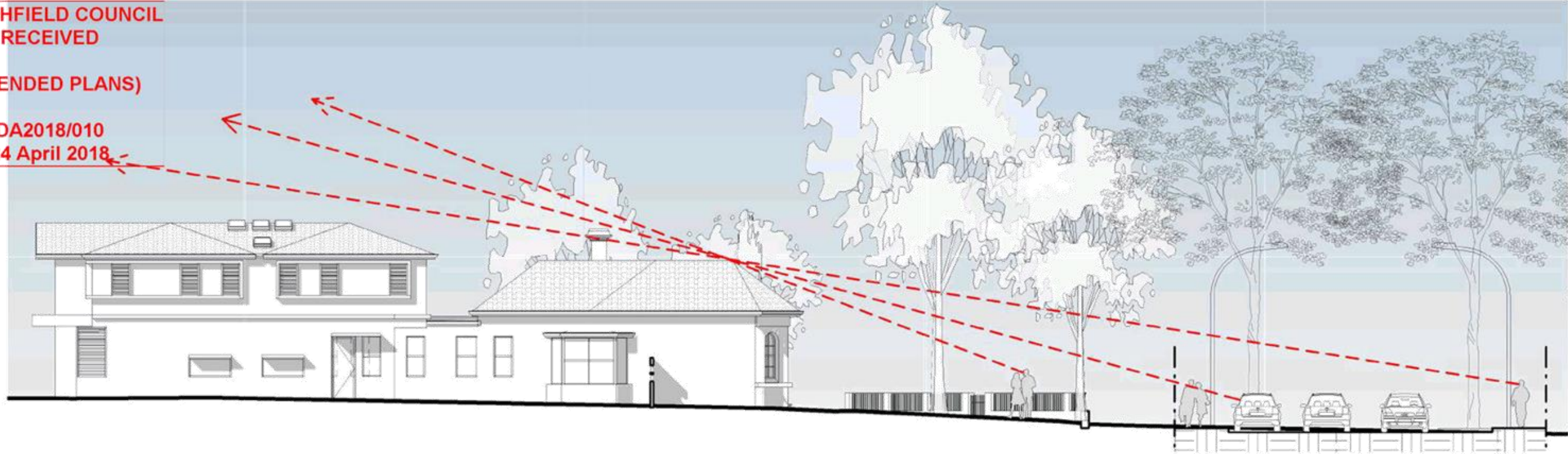
<b>THE SITE FOREMAN</b> t: 1300 728 006 f: 1300 728 440 w: THE SITE FOREMAN.COM.AU a: 38-40 PARRAMATTA ROAD SUMMER HILL 2130 NSW	DRAWING TITLE MATERIALS AND FINISHES		DRAWN/DESIGNED BY AC
	PROJECT ALTERATIONS AND ADDITIONS		CHECKED BY AC
ADDRESS 44 REDMYRE ROAD, STRATHFIELD NSW		SCALE 1 : 100@A3	
JOB NO 2664		DRAWING NO A5.01 B	
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ISSUE	REVISIONS	DATE
A	DA ISSUE	14/12/2017
B	REVISED DA	10/04/2018

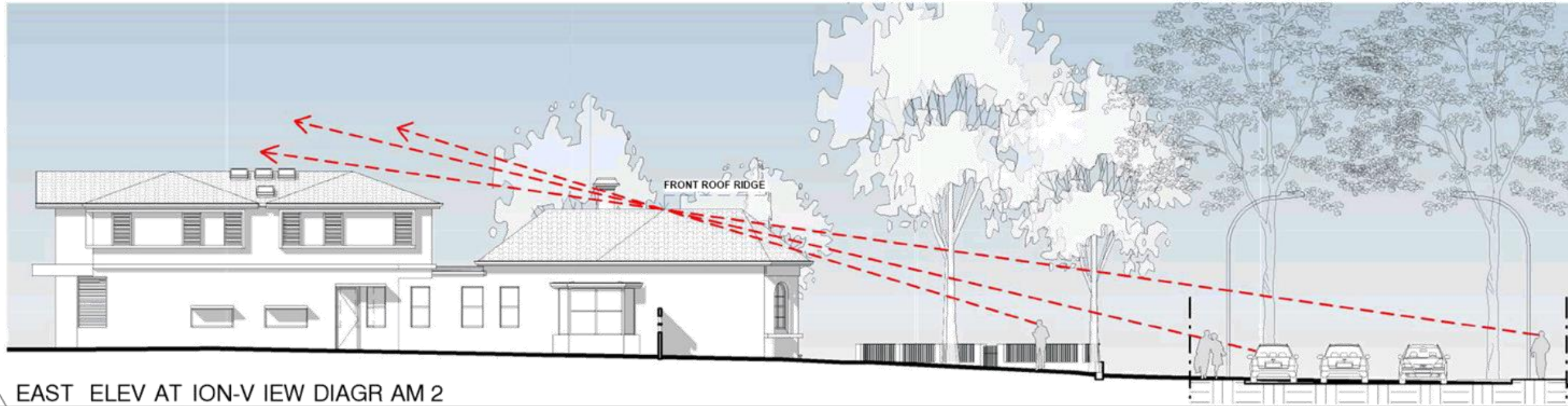
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24 April 2018



1 EAST ELEV AT ION-V IEW DIAGR AM  
1 : 15 0



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**NO. 44 REDMYRE ROAD, STRATHFIELD****Proposed Alterations and Additions to an Existing Dwelling,  
Including Rebuilding of Existing Garage****STATEMENT OF HERITAGE IMPACT**

View of No. 44 Redmyre Road, Strathfield  
(Source: The Author, November 2017)

Prepared by: **Diana's Planning and Heritage**  
Diana Fellows RPIA Master Her. Cons.  
ABN 41 284 377 612

**For: Siddarth and Shallu Sethi**  
**c/- The Site Foreman (NSW) Pty Ltd**  
January, 2018

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Statement of Heritage Impact for 44 Redmyre Road, Strathfield – proposed Alterations and Additions  
to an Existing Dwelling – prepared by Diana's Planning and Heritage – January 2018 HIS 00025

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<b>Issue</b>	<b>Date</b>	<b>Purpose</b>	<b>Author</b>
<b>DA Issue</b>	<b>16 January 2018</b>	<b>Council Submission</b>	<b>Diana Fellows</b>

**1.0 INTRODUCTION****1.1 Executive Summary**

This Heritage Impact Statement has been prepared for Siddarth and Shallu Sethi c/- The Site Foreman (NSW) Pty Ltd to evaluate the heritage impact of the proposed alterations and additions at No. 44 Redmyre Road, Strathfield. This Heritage Impact Statement is to accompany a development application for the intended works to Strathfield Council.

The site comprises Lot 2, DP 967260 and has a total area of 685sqm, and is located on the southwestern side of Redmyre Road, between Vernon Street and Homebush Road, Strathfield. The site is relatively level, with gentle crossfall.

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While the subject building is not individually heritage-listed, the property is situated within the C14 Redmyre Road Heritage Conservation Area under the Strathfield LEP 2012, and the property has characteristics which contribute to the heritage character of the locality.

The proposed addition is positioned at the rear and an attic level is proposed. The existing garage outbuilding at the rear of the site is in a dilapidated condition and is recommended to be reconstructed.

The heritage significance of the subject conservation area is not compromised by the design of the proposed works which offer suitable differentiation in architectural resolution, utilisation and response to the character of the area.

The new building work accords with the principles of the NSW Heritage Office Guidelines for Infill Development and complies with the objectives and intents of Council's heritage controls.

Subject to conditions which include use of sympathetic and compatible materials, finishes and colours, the proposal is put forward for approval.

### **1.2 Authorship**

The content of this Heritage Impact Statement has been researched and prepared by Diana Fellows B.Sc. (Arch), B. Arch. (Hons.), and Master Heritage Conservation, a Registered Practising Planner and Corporate Member of the Planning Institute of Australia, and Principal of *Diana's Heritage and Planning*.

All contemporary photographs included in this Report were taken by Diana Fellows in November, 2017, specifically for the preparation of this Report.

### **1.3 Physical Evidence**

Site inspection of the property was undertaken for the compilation of the Heritage Impact Statement and at the inspection, the condition of the building fabric was assessed and photographs used in this statement were taken. The date of the inspection was 27 November 2017. Photographs used in this report were taken by the author, unless credited otherwise.

### **1.4 Context and Objectives of Report**

This report has been prepared by *Diana's Planning and Heritage* to assess the heritage impact of the proposed alterations and additions.

The objectives of this report are to:

- Summarise the existing building and describe the proposed development.
- Assess the significance and contribution of the existing building to the subject heritage conservation area.
- Assess the effects of the proposal.

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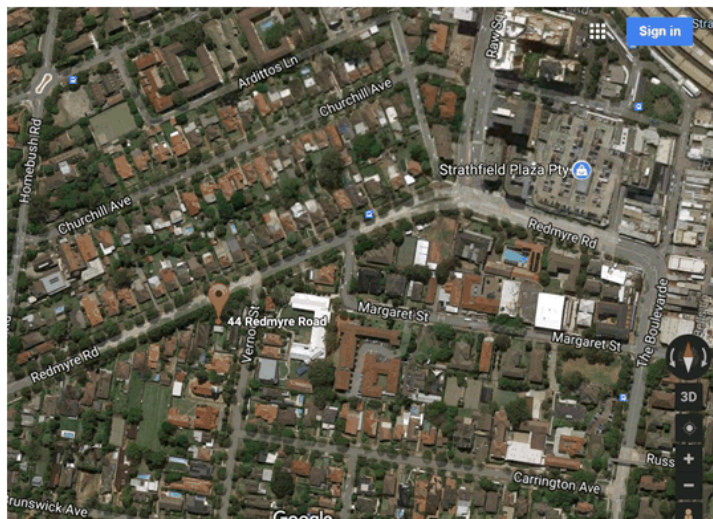
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The purpose of this report therefore is to ascertain whether or not the proposed works will have either a negative, neutral or positive impact upon the heritage value of the locality and heritage conservation area as located within the jurisdiction of the Strathfield Local Government Area (LGA).

Diana Fellows has been engaged by Siddarth and Shallu Sethi c/- The Site Foreman (NSW) Pty Ltd to provide independent advice on this matter, having been commissioned to prepare a Heritage Impact Statement for presentation to Strathfield Council as part of the subject development application.

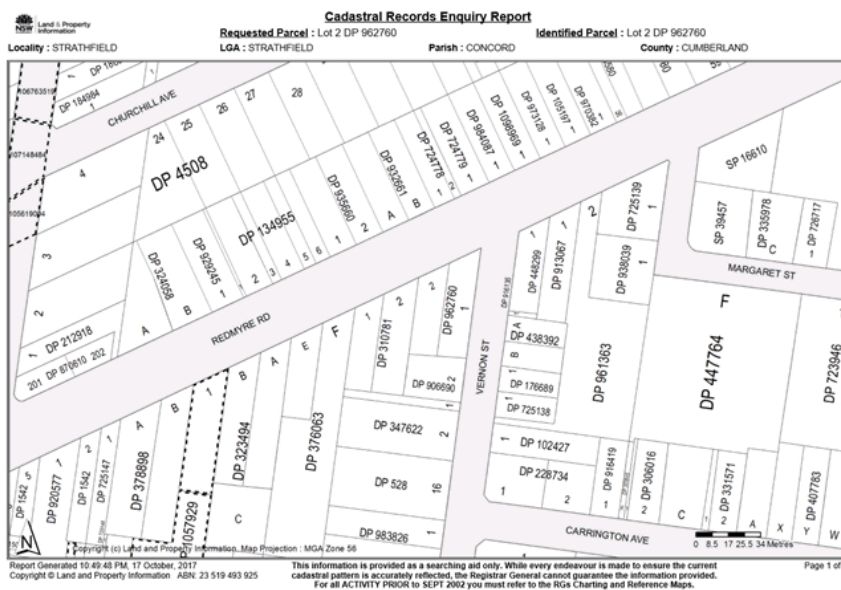
### 1.5 Site Location and Identification

The study area for this Heritage Impact Statement is the property situated at No. 44 Redmyre Road, Strathfield, comprising 1 lot and which is located within the LGA of Strathfield, Parish of Concord and County of Cumberland. This property is situated on the southwestern side of Redmyre Road, Strathfield. Strathfield Plaza is situated to the east of Raw Square and Strathfield Station is located to the northeast (**Fig.1**). Churchill Avenue is located further northwest.



**Figure 1**  
Aerial photograph showing the location of the subject property  
(Source: Google Maps 2017)

The subject land is rectangular in shape with an angled front boundary. The land comprises title Lot 2, DP 962760 with a frontage of 18.135m, depths of 49.505m (eastern side boundary) and 40.425m (western side boundary) and an area of 685sqm (**Fig. 2**). The site has a gentle crossfall. An existing right-of-way at the rear of the adjacent eastern allotment (Lot 1, DP 962760) provides access via Vernon Street to the existing rear driveway and garage on the site.



**Figure 2**  
 Cadastral map showing the land title and location of the subject site as shown on the map immediately above.  
 (Source: NSW Land and Property Information)

**1.6 Methodology, Terminology and Structure**

This Heritage Impact Statement has been prepared in accordance with the guidelines issued by the NSW Heritage Branch (former Heritage Office) of the NSW Department of Environment and Heritage for preparation of heritage impact statements. The principles contained in the Australian ICOMOS *Charter for the Conservation of Places of Cultural Significance (The Burra Charter), 1999* are used as a methodology for assessing heritage impact.

**1.7 Assessment Documentation**

The documentation upon which this heritage assessment has been undertaken is as follows:

Architectural Drawing No.	Description	Drawn By
A1.00A Issue A Dated 14/12/2017	Streetscape Elevation	The Site Foreman (NSW) Pty Ltd
A1.01A Issue A Dated 14/12/2017	Site and Location Analysis Plan	The Site Foreman (NSW) Pty Ltd
A1.02A Issue A Dated 14/12/2017	Demolishing Plan	The Site Foreman (NSW) Pty Ltd
A1.03C Issue C Dated 14/12/2017	Site Plan	The Site Foreman (NSW) Pty Ltd

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A1.04C Issue C Dated 14/12/2017	Area Calculations Plan	The Site Foreman (NSW) Pty Ltd
A1.05D Issue D Dated 14/12/2017	Ground Floor Plan	The Site Foreman (NSW) Pty Ltd
A1.06D Issue D Dated 14/12/2017	Level 1 Floor Plan	The Site Foreman (NSW) Pty Ltd
A1.07B Issue B Dated 14/12/2017	Attic Floor Plan	The Site Foreman (NSW) Pty Ltd
A1.08B Issue B Dated 14/12/2017	Roof Plan	The Site Foreman (NSW) Pty Ltd
A2.01C Issue C Dated 14/12/2017	North and South Elevations	The Site Foreman (NSW) Pty Ltd
A2.02C Issue C Dated 14/12/2017	East and West Elevations	The Site Foreman (NSW) Pty Ltd
A3.01B Issue B Dated 14/12/2017	Sections	The Site Foreman (NSW) Pty Ltd
A4.01A Issue A Dated 14/12/2017	Shadow Diagram 21.06 - 9AM	The Site Foreman (NSW) Pty Ltd
A4.02A Issue A Dated 14/12/2017	Shadow Diagram 21.06 – 12 Noon	The Site Foreman (NSW) Pty Ltd
A4.03A Issue A Dated 14/12/2017	Shadow Diagram 21.06 – 3PM	The Site Foreman (NSW) Pty Ltd
A5.01 Issue A Dated 14/12/2017	Materials and Finishes	The Site Foreman (NSW) Pty Ltd
N-01 Received 19/12/2017	Site Plan	The Site Foreman (NSW) Pty Ltd
N-02 Received 19/12/2017	Elevations	The Site Foreman (NSW) Pty Ltd
17-941 Dated 24/07/2017	Detail Survey	PEAK Surveying Services

## 2.0 HISTORICAL CONTEXT

### 2.1 Indigenous Background

The original inhabitants of the area were the Dharug-speaking Wangal clan, part of the Turuwal tribe, whose country was known as Wanne and whose land stretched along the southern shore of the Parramatta River from Darling Harbour to Parramatta and south to the Cooks River. The most famous Wangal warrior was Bennelong. Bennelong would have travelled through the Strathfield Municipality many times with the Wangal tribe.

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Although knowledge of life in Sydney before European settlement is restricted, there is evidence Indigenous Australians were residing in the Sydney Basin for at least 20,000 years prior to 1788.<sup>1</sup>

The earliest recorded contact with Aborigines near Strathfield took place on 5 February 1788 at Breakfast Point, Mortlake, on the southern bank of the Parramatta River. Strathfield would have been an integral part of the Wangal clan's territory being close to the Parramatta River, a source of food.<sup>2</sup>

Strathfield Council's website states:

*"There have been no relics of Aboriginal occupation of Strathfield Municipality nor burial sites discovered. This is mainly due to the geology of the area i.e. no large flat areas of sandstone or rock shelters. However, it has been recorded that sites had been in evidence. An example of this is recorded in the Royal Australian Historical Society's Journal and proceedings Volume VIII supplement 1923, the recollection of C. A. Henderson 'Sydney to Homebush' 1855:*

***'On the Redmyre Estate was a leaning tree with native bear tracks upon it. It stood about one hundred yards from the present Strathfield Council Chambers'.***

*This is a reference to the Aboriginal Scarred Tree bearing markings of koala tracks. It may have been of ceremonial significance as trees bearing designs were used as burial markers."*

#### References

Henderson, C. A., 'Sydney to Homebush', Royal Australian Historical Society Journal and proceedings Volume VIII supplement, 1923

Jones, C., *Aboriginal History of Strathfield district*, on

<http://strathfieldheritage.org/placenames/aboriginal-history-of-strathfield-district/>

There are no known Aboriginal sites in Strathfield and nearby Croydon, but there are rock shelters and middens on both the Parramatta and Cooks rivers.<sup>3</sup>

Should significant Aboriginal artefacts be found during the course of the works, these will need to be retained and appropriately recorded, documented and maintained.

## 2.2 Archaeological Heritage

### (i) Indigenous Archaeology

It is unlikely that any Aboriginal artefacts will be found, however should significant Aboriginal artefacts be found during the course of the excavation works, these will need to be retained and appropriately recorded, documented and maintained in accordance with the NSW Heritage Act 1977.

<sup>1</sup> Colin Israel- Heritage Solutions, "Statement of Heritage Impact: No. 23 Redmyre Road, Strathfield", 19 May, 2010, p. 5/14.

<sup>2</sup> <https://www.strathfield.nsw.gov.au/council/about-strathfield/history-of-strathfield-local-government-area/aboriginal-history/>, accessed 18 May 2017.

<sup>3</sup> Val Attenbrow, "Sydney's Aboriginal past: Investigating the archaeological and historical records", University of NSW Press, Sydney, 2002, p. 25.

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### (ii) European Archaeology

Similarly, should significant relics or artefacts pertaining to earlier European habitation be found during the course of the proposed demolition and works, these will need to be retained and appropriately recorded, documented and maintained in accordance with the NSW Heritage Act 1977.

## **2.3 Development of Strathfield**

### **The suburb of Strathfield**

Strathfield is a suburb in the Inner West of Sydney, situated 12 km west of the Sydney CBD. North Strathfield and Strathfield South are separate suburbs, located to the north and south respectively.

### **Early European Settlement in “Liberty Plains”**

European settlement commenced in 1793 with the issue of the first land grants to free settlers to establish farms in the area known as “Liberty Plains”. Eventually there were about 63 settler farmers in the locality.

- A grant of 60 acres was made to Thomas Rose.
- In 1808, a grant was made to James Wilshire of 570 acres, which forms the largest part of the current suburb of Strathfield.
- The boundary to this grant forms the alignment of Redmyre Road, with the south side being situated on the James Wilshire grant of 570 acres.
- This dates from 1808 subsequent to representations from Lord Horatio Nelson, who was a relative of Wilshire via marriage.
- This was re-granted by Governor Macquarie in 1810 after his review of land dealings.

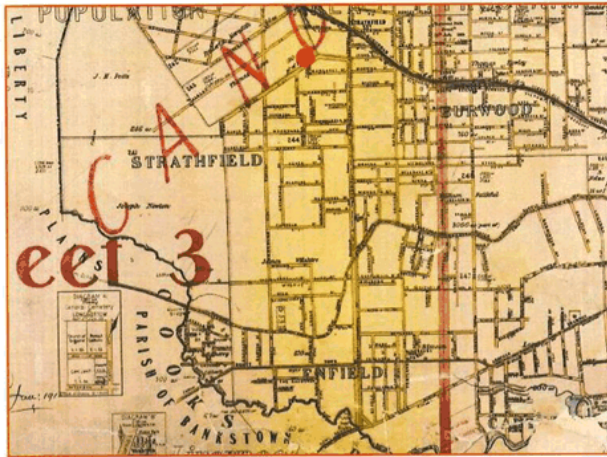
### **Suburban Development of Strathfield**

- In 1824, ownership was transferred to emancipist entrepreneur Samuel Terry.
- The land became known as the “Redmyre Estate” which promoted the residential development of the district under the suburb name of 'Redmyre'.
- Subdivision of the land was started in 1867.
- An early purchaser was the former Mayor of Sydney, Walter Renny who in 1868 erected a house called “Stratfieldsaye”, possibly named after the immigrant transport ship of the same name which transported immigrants including Sir Henry Parkes, to Australia.
- *According to local historian Cathy Jones, “ownership of ‘Stratfieldsaye’ was transferred several times including to Davidson Nichol, who shortened the name to “Strathfield House”, then “Strathfield”.*
- The building of the western rail line which started in 1855 was of little benefit until the establishment of a station on 9 July 1876, then called “Redmyre”.
- This was changed to “Strathfield” with a new building and platforms in 1885.

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- The suburb of Redmire was renamed Strathfield c.1886. Below is a Parish Map of 1890 which displays the evolution of road networks in Strathfield and shows the location at the time of the present Redmyre Road (Fig. 3).



**Figure 3**

Parish Map of 1890 showing the development of road networks in Strathfield with the location of the current Redmyre Road marked with the red dot.

(Source: Colin Israel- Heritage Solutions, “Statement of Heritage Impact: No. 23 Redmyre Road, Strathfield”, 19 May, 2010, p. 7/14.)

- On 31 October 1903, a subdivision of the Redmire Estate was auctioned. This pamphlet shows it was billed as “The Railway Station Estate, Strathfield” (Fig. 4).



**Figure 4**

Pamphlet announcing the auction of a subdivision of the Redmire Estate in 1903.

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(Source:  
[https://en.wikipedia.org/wiki/Strathfield,\\_New\\_South\\_Wales#/media/File:Strathfield\\_railway\\_station\\_estate.jpg](https://en.wikipedia.org/wiki/Strathfield,_New_South_Wales#/media/File:Strathfield_railway_station_estate.jpg))

### Aerial Photographs

The aerial photographs below show Redmyre Road and the site. **Figure 5** below is a 1943 Aerial Photo of Redmyre Road, highlighting a property (No. 23) on the northwestern side of Redmyre Road, and **Figure 6** below shows a recent aerial photographic detail of Redmyre Road and the site.



**Figure 5**  
1943 Aerial Photo of Redmyre Road. Street tree planting has commenced. (Source: Lands Department image).



**Figure 6**  
Detail of recent aerial photo highlighting 44 Redmyre Road which shows the subject dwelling (pinpointed by orange marker) and rear garden with outbuilding and existing double garage, and the rear right-of-way from Vernon Street is also evident. Avenue tree planting is

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continued and has become more established.  
(Source: Google Maps 2018)

### **Redmyre Road**

Redmyre Road is a prominent street in Strathfield. Redmyre (previously Redmire) was the first name of the suburb of Strathfield. The name of the suburb was altered when Strathfield Council became incorporated in 1885.

Redmyre Road is the border between the 1808 James Wilshire land grant and the Thomas Rose land grant of 1793.

The streetscape of Redmyre Road is intrinsically historic, containing substantial early twentieth-century dwellings, gardens and plantings of Camphor Laurels and brush boxes in an avenue formation.

Apartments and commercial buildings surround the area known as Strathfield Plaza and Square, however the Redmyre Conservation Area continues to contain some contributory architecture via the existing residential buildings.

*The (subject) section of Redmyre Road (facing south) from Homebush Road to Vernon Street (nos 34 to 70) is part of the 'Mount Vernon Estate', a subdivision of land owned by John and Donald Vernon. Donald was the NSW Traffic Manager of NSW Railways, while John was the NSW Auditor General. Both their homes 'Parkstone' and 'Springfield' have since been demolished. The Vernons subdivided their land c.1880 as the 'Mount Vernon Estate', which created Vernon Street, Brunswick Street (then called Redmyre St) and lots on Redmyre Road and Homebush Rd. This section of Redmyre Road contains a mixture of styles including Victorian villas (64 to 70 – all built between c.1892 – 1895), Council's former baby Health Clinic (52 Redmyre Road built 1946) and Strathfield Croquet Club (50 Redmyre Road).<sup>4</sup>*

### **Residential Landscape**

Strathfield exhibits architectural diversity, extending from country-style estates to high-rise apartments. Many styles of architecture have been utilised over past decades, with dwellings having been constructed in Victorian, Federation, Interwar period architecture, Californian Bungalow and contemporary periods.

*Primarily these have been replaced by modern, multimillion-dollar mansions, although Strathfield has retained its wide avenues and most of the extensive natural vegetation. Streets such as Victoria Street, Llandillo Avenue and Kingsland Road predominantly feature older mansions, while Agnes Street, Newton Road and Barker Road are common locations for new homes.<sup>5</sup>*

The "Golden Mile" in Strathfield refers to a pocket within the suburb that houses some of the most desirable and highly sought-after real estate in the area. The Golden Mile is bounded by Hunter Street, Carrington Avenue, Homebush Road and The Boulevard.

<sup>4</sup> Jones, Cathy, "Strathfield Heritage" 2013, and <https://strathfieldheritage.org/>, accessed November 2017

<sup>5</sup> [https://en.wikipedia.org/wiki/Strathfield,\\_New\\_South\\_Wales](https://en.wikipedia.org/wiki/Strathfield,_New_South_Wales), accessed 18 May, 2017.

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*Additionally, decreasing land sizes through subdivision has led to an increase in residential densities, reflecting the outward expansion of Sydney's inner city. A large proportion of Strathfield's population now dwells in apartments with the area immediately surrounding Strathfield railway station dominated by high rise residential towers. Smaller apartment buildings are located in other areas within the suburbs, were mostly built during the 1960s and 1970s (Fig. 7). In the last century a number of grand Strathfield homes have become private schools.<sup>6</sup>*



**Figure 7**

Glen Luna in Carrington Street has been converted into apartments.

(Source: By I, J Bar, CC BY-SA 3.0,

<https://commons.wikimedia.org/w/index.php?curid=2532100>)

### **Commercial Development and Transport**

Strathfield is known as a regional centre for education, containing independent and state schools and tertiary institutions. Strathfield also contains a number of churches. Strathfield town centre contains the Strathfield Plaza shopping centre.

Strathfield railway station is a major interchange on the Sydney Trains and NSW TrainLink networks and for buses serving the inner west. The M4 Western Motorway begins at Strathfield and heads west to Parramatta, Blacktown and Penrith. Parramatta Road links Strathfield east to Burwood and the Sydney CBD and west to Parramatta.<sup>7</sup>

### **2.4 Subject Building**

The subject building is a single-storey rendered brick and tile house which contributes to the subject conservation area. The building has features somewhat reminiscent of late Victorian Italianate architecture including the faceted bay, segmental arch windows, rendered walls, chimney and front verandah.

### **2.5 Heritage Conservation Area**

<sup>6</sup> [https://en.wikipedia.org/wiki/Strathfield,\\_New\\_South\\_Wales](https://en.wikipedia.org/wiki/Strathfield,_New_South_Wales), accessed 18 May, 2017.

<sup>7</sup> [https://en.wikipedia.org/wiki/Strathfield,\\_New\\_South\\_Wales](https://en.wikipedia.org/wiki/Strathfield,_New_South_Wales), accessed 18 May, 2017.

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The NSW Department of Environment and Heritage's State Heritage Inventory (Database No. 2450176) contains no statement of significance for the Redmyre Road Conservation Area, however Strathfield Council's website notes:

*“Located on the northern boundary of the 1867 Redmire Estate, this residential precinct displays a full range of housing that is dominated by early twentieth century architecture. Redmyre Road follows the line of the original boundary between 1793 Thomas Rose Grant and the 1808 James Wilshire Grant. Gently rising from east to west it features a unified streetscape with predominantly single storey, well maintained houses.*

*The housing type displayed includes Victorian Italianate at nos. 66, 68B and 70. Late Victorian/early Federation at 79 Redmyre Road and Woodstock, corner Redmyre Road and Florence Street. Federation housing of Nos. 49 and 51 with Art Nouveau detailing. Federation/Bungalow housing at numbers 52-56. Also featured is the Strathfield Council Chambers.*

*Redmyre Road is of significance for its historical and architectural qualities. The important street planting includes a central planting of Jacarandas in a grassed median strip and side planting of Brush Box, an important landscape feature of the street.”<sup>8</sup>*

### 3.0 HERITAGE STATUS

#### 3.1 Statutory Listing

##### State Heritage Inventory

The NSW State Heritage Inventory (Database No. 2450176) lists “Houses within Redmyre Road Precinct Group” – 21-103, **34 -108 Redmyre Road**, Strathfield, but provides no Statement of Significance.

The NSW State Heritage Inventory also lists “Houses within Redmyre Precinct Group” – 2-8 Vernon Street, Strathfield (Database No. 2450177).

The NSW State Heritage Inventory also lists “Redmyre Road Precinct Group” (Database No. 2450174) and “Redmyre Road Conservation Area” – 61-67, 74 - 80B Homebush Road, Strathfield (Database No. 2450175).

##### LEP

The subject property is not individually listed as a heritage item within Council's LEP, however the subject property is located within the Redmyre Road Conservation Area “C14” under the Strathfield LEP 2012.

#### 3.2 Non-Statutory Listing

There is no non-statutory listing on the NSW State Heritage Register records.

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<sup>8</sup> Colin Israel- Heritage Solutions, “Statement of Heritage Impact: No. 23 Redmyre Road, Strathfield”, 19 May, 2010, p. 6/14.

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#### 4.0 PLANNING CONTROLS AND LEGISLATIVE CONSIDERATIONS

##### 4.1 Strathfield Local Environmental Plan 2012

The Strathfield LEP 2012 contains aims and objectives in respect to heritage conservation to ensure that heritage items, heritage conservation areas and heritage items within the vicinity of development sites are identified and protected.

Clause 5.10 contains detailed objectives and controls requiring the assessment of impact of new works on the heritage significance of listed items, conservation areas and heritage items within their vicinity.

Schedule 5 of the LEP contains a detailed listing of the heritage items within the Strathfield LGA. The Heritage Maps attached to the LEP also identify the heritage conservation areas.

##### 4.2 Strathfield Consolidated Development Control Plan 2005

The Strathfield Consolidated DCP 2005 supplements the Strathfield LEP 2012 and provides more detailed provisions to guide development and support the controls in the LEP.

Strathfield Council's Consolidated Development Control Plan (SCDCP) 2005 was adopted by Council on 4 April 2006 and came into force on 3 May 2006. The SCDCP 2005 is a comprehensive document that contains multiple parts to address different land uses and development matters.

##### 4.3 Draft Planning Controls

###### Draft DCP Parts to the existing Strathfield Consolidated Development Control Plan 2005

Strathfield Council resolved to place on Public Notification from 7 March 2017 to 4 April 2017 the following additional DCP Parts to the existing Strathfield Consolidated Development Control Plan 2005:

Revised: Draft Part L - Public Notification of Development Applications

New: Draft Part P - Heritage

New: Draft Part Q - Urban Design Controls

The Draft DCP Parts aimed to strengthen the existing Strathfield planning framework.

###### Status

**\* These draft DCP Parts were adopted by Council on 20 June 2017, became effective on 20 June 2017 and now form part of the Strathfield Consolidated DCP 2005.**

###### SCDCP 2005 Draft Part P - Heritage

The main purpose of the addition of 'Part P - Heritage' to the SCDCP 2005 was to establish controls for development affecting places of heritage significance.

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The Draft DCP Part P sought to encourage development that complements and protects the significance of existing heritage items and heritage Conservation Areas in a modern context.

The **adopted** Part P – Heritage to SCDCP 2005 is discussed below.

#### SCDCP 2005 Draft Part Q – Urban Design Controls

The addition of 'Part Q - Urban Design Controls' to the SCCP 2005 sought to provide urban design controls that encourage high quality urban design outcomes for the Strathfield community, including making it more livable.

The Draft Part P also included an Urban Design Charter, which identified twelve (12) key principles that are essential for the functioning of good urban environments, in making places that are valued and significant for the community who use them.

Streetscape considerations are discussed in the DCP sections of this report.

#### **4.4 State Environmental Planning Policies**

The proposed works will not contravene any applicable State Environmental Planning Policies by reason of heritage matters.

#### **4.5 Other Planning Instruments, Codes and Policies, Heritage Reviews and Studies**

##### Regional Environmental Plans

The proposed works will not contravene any applicable Regional Environmental Plans.

##### Codes and Policies

The proposal will not conflict with Council's further Codes and Policies on heritage grounds.

##### Heritage Reviews, Inventories and Studies

Several Heritage studies and reviews have been prepared for the Strathfield Council LGA. These include:

Strathfield Heritage Study by Michael Fox & Associates, 1979;  
Strathfield Heritage Review (Heritage Inventory Sheets), Hubert Architects, 2005.

Documents which have been recently inspected by the Author at Strathfield Main Library include:

- \* Strathfield LEP Heritage Inventory 2006 – Items: nil listing or reference to 44 Redmyre Road;
- \* Strathfield Council Heritage Inventory Sheets – Conservation Areas – no listing for 44 Redmyre Road;
- \* Strathfield Council Heritage Review Heritage Inventory Sheets – 2001 – 2004 – nil reference to 44 Redmyre Road (note- **superseded**);

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\* Assessment of the Strathfield Heritage Review 2001 – 2004 – Final report – revised 30 May 2005, Hubert Architects for Strathfield Municipal Council – no reference to 44 Redmyre Road;

\* Strathfield Council Heritage Inventory Sheets – Draft LEP 105 – Heritage Items, January 2006 – no reference to 44 Redmyre Road – only references in Redmyre Road are to 81 Redmyre ‘Virginia’ – 1906 fine example of a Federation Arts and Crafts style mansion; No. 91 Redmyre Road and Letter Receiver (Post Box) – Redmyre Road. These are listed in Schedule 2 Heritage Items.

## **5.0 SUMMARY OF SIGNIFICANCE**

### **5.1 Existing Character**

The subject property is situated within the Redmyre Road Heritage Conservation Area.

This is a residential precinct which exhibits a variety of housing, with emphasis on early twentieth century architecture. Housing styles displayed include Federation, Federation Queen Anne, Victorian Italianate, Late Victorian / early Federation and Federation Bungalow housing and Federation with Art Nouveau detailing.

Street planting is important and the characteristic pattern of grass verges, footpaths and street tree planting comprises Jacarandas within the grassed median strip, and Brush Box on the verges.

Redmyre Road is situated on the fringe of the Strathfield Plaza which is to the east, with its associated apartment and commercial developments. The important centrally-located transport hub of Strathfield Rail Station is to the northeast.

### **5.2 Statement of Heritage Significance**

#### **Strathfield Consolidated DCP 2005 Statement**

Section 5.9.12.1 of adopted Part P of the Strathfield Consolidated DCP 2005 has the following Statement of Significance for the Redmyre Road Conservation Area (“C14” on Heritage Map):

#### ***5.9.12.1 Statement of Significance***

*“Redmyre Road is of significance for its historical and architectural qualities. This Conservation Area displays a full range of housing that is dominated by early twentieth century architecture. It features a unified streetscape with predominantly single storey, well maintained houses. The housing types include Victorian Italianate, Late Victorian/Early Federation and Federation/bungalow. Also featured is the Council Chambers. The central planting of Jacarandas in a grassed median strip and side planting of Brush Box form an important landscape feature to the street.”*

## **6.0 DESCRIPTION OF PROPOSAL**

### **6.1 Description of Original Building**

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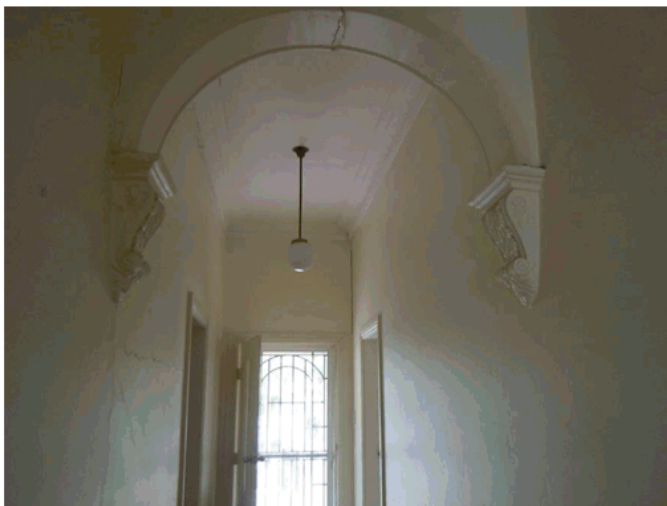
The existing building on the site is a single-storey rendered brick house with pitched roof (Fig. 8).



**Figure 8**

Front view of the existing one-storey rendered brick and tile house on the property. Features include the front projecting bay with arched windows, verandah, chimney and tessellated tiles. The existing metal and masonry combination front fence can also be seen. (Source: The Author, November 2017)

The interior of the front section of the existing building is to be retained (Fig. 9).



**Figure 9**

View of the decorative arched ceiling cornices to the hallway ceiling which is to be retained. (Source: The Author, November 2017)

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The western and eastern sides of the property are shown below (**Figs. 10 and 11**).



**Figure 10**

View of the western side of the property showing the projecting window, existing foliage, concrete pathway and Colorbond fencing.

(Source: The Author, November 2017)



**Figure 11**

View of the eastern side of the property.

(Source: The Author, November 2017)

**Figure 12** below shows the rear of the house and garden.

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**Figure 12**

View of the rear of the existing house on the property showing rear verandah.  
(Source: The Author, November 2017).

Below is a closer view of the existing rear verandah (**Fig. 13**).



**Figure 13**

View of the existing rear open verandah.  
(Source: The Author, November 2017)

A view of the southwestern corner of the rear garden is shown below (**Fig. 14**).



**Figure 14**

View of the southwest corner of the property, showing the existing double garage and a cubby house and garden.

(Source: The Author, November 2017)

The photograph below shows the existing concrete block double garage in the southwestern corner of the property (**Fig. 15**). This garage is accessed via a concrete driveway leading from a right-of-way from Vernon Street.



**Figure 15**

The existing double garage is constructed of concrete blocks and has a skillion roof and 2 rollerdoors.

(Source: The Author, November 2017)

The photograph below shows existing foliage along the eastern side boundary (**Fig. 16**).

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**Figure 16**  
View of existing foliage along the eastern side boundary.  
(Source: The Author, November 2017)

A view of the western side of the site, showing existing grassed play area and cubby house, and view toward No. 46 Redmyre Road is shown below (**Fig. 17**).

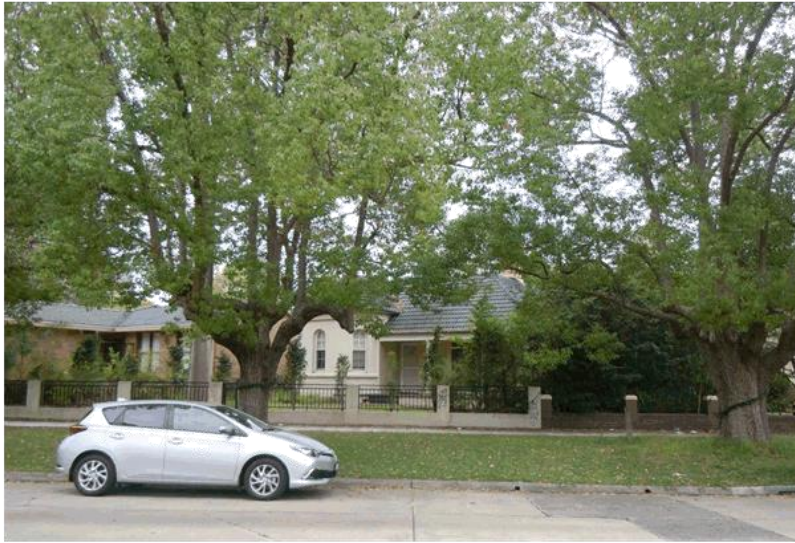


**Figure 17**  
View of the western side of the property, showing garden, timber cubby house and view toward No. 46 Redmyre Road.  
(Source: The Author, November 2017)

## 6.2 Surrounding Development

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A streetscape view is shown below (**Fig. 18**).



**Figure 18**

The immediate streetscape is shown here, with the subject building in the centre and both adjacent properties. Substantial street tree planting can also be seen which is a feature of Redmyre Road.

(Source: The Author, November 2017)

The site is adjoined at the rear by a rendered brick house with some Federation style (**Fig. 19**).



**Figure 19**

No. 1 Vernon Street (house and garage) adjoins the rear of the site, and this dwelling can be seen from the existing garden. Although Federation in style, the building has rendered brickwork.

(Source: The Author, November 2017)

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The site is adjoined to the west by a rendered brick with tiled roof dwelling at No. 46 Redmyre Road (Fig. 20).



**Figure 20**

View of No. 46 Redmyre Road from the street. Although the house is obscured by trees, the existing low front brick fence can be seen.

(Source: The Author, November 2017)

**Figures 21 and 22** below show the existing Federation style houses on the opposite side of Redmyre Road.



**Figure 21**

Streetscape view of relatively consistent Federation houses on the opposite side of Redmyre Road.

(Source: The Author, November 2017)

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**Figure 22**

Further view of Federation houses on the opposite side of Redmyre Road.  
(Source: The Author, November 2017)

The site is adjoined to the east by a brick house with tile roof at 42 Redmyre Road (**Fig. 23**).



**Figure 23**

Street view of the adjacent brick and tile dwelling at 42 Redmyre Road.  
(Source: The Author, November 2017)

A right-of-way from Vernon Street extends along the rear of 42 Redmyre Road providing access to the concrete driveway at the rear of the site, leading to the existing double garage (**Fig. 24**).



**Figure 24**  
View of the subject rear right-of-way accessed from Vernon Street.  
(Source: The Author, November 2017)

**Figures 25 and 26** show street views of Redmyre Road. Street planting is prominent.



**Figure 25**  
View along Redmyre Road to the southwest.  
(Source: The Author, November 2017)

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**Figure 26**  
View along Redmyre Road to the northeast.  
(Source: The Author, November 2017)

### 6.3 Proposed Works

The applicant is seeking consent to carry out alterations and additions to the existing dwelling, including demolition of part of the rear (later addition) of the building and rear timber clad shed, and construction of a two-level plus attic addition attached to the rear of the existing dwelling. Rebuilding of the existing rear garage outbuilding is also proposed.

The proposed works are as follows:

#### *Ground Floor Level*

- Demolition of the existing rear addition and verandah and construction of a rear addition (115.6 sqm in gross floor area).
- This addition is to accommodate a study, laundry, pantry, hall, stairs and combined kitchen/dining/family room.
- An alfresco barbecue area is proposed at the rear, with vergola, and a covered link is proposed to the rear double garage.

#### *First Floor Level*

- The upper level of the new rear addition is to accommodate two bedrooms and ensuites, hall space, and a master bedroom with ensuite and walk-in-robe.
- This level will be 112.5 sqm in gross floor area.

#### *Attic Floor*

- An attic room of 37.8 sqm is proposed.

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### *Roof*

- A pitched hipped roof is proposed with dormer to attic.
- Six (6) square in-plane skylights are proposed on the western side of the roof.
- The existing chimney is to be retained.
- The main areas of the roof will have a 24 degree pitch, and the dormer, covered links and garage roof will be a shallow 2 degree pitch.

### *Design*

- Louvered windows are proposed on the side elevations to assist in privacy provision.
- The addition proposed is essentially square in plan with some articulation, with attic dormer.
- The maximum ridge height of the addition is RL 24.856, and the addition has a maximum height of 8.840m.
- New landscaping to Landscape Architect detail is proposed at the rear.

### *Garage*

- The existing double garage in the rear southwest corner of the site is proposed to be rebuilt.
- The new garage is 33 sqm in size, with a near flat roof with new Colorbond rollerdoor access to the existing concrete driveway, accessed via the right-of-way from Vernon Street.
- The existing garage wall is to remain rendered paint finish.

### *Materials and Finishes*

- Roof tiles will match the existing (equal or similar to Boral Colonial slate).
- Roof, gutters and downpipes, garage door – (equal or similar Colorbond Basalt).
- Walls – render finish (paint equal or similar to Dulux Heritage range Colonial China White).
- Window frames (equal or similar to Dulux powdercoated Notre Dame).
- Louvres – (equal or similar to Decowood louvres American Oak).
- Glass balustrading is proposed at the rear with aluminium window hood, awning and framed openings.

## **7.0 ASSESSMENT OF HERITAGE IMPACT**

### **7.1 Assessment pursuant to Strathfield LEP 2012**

The proposed development has been assessed under the relevant heritage clauses of the Strathfield Local Environmental Plan 2012 as discussed below:

#### ***Part 1 Preliminary***

##### ***1.2 Aims of Plan***

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Part 1.2 of the Strathfield LEP 2012 aims to make local environmental planning provisions for land in Strathfield in accordance with the relevant standard environmental planning instrument under section 33A of the Act.

Comment: The proposal conforms with these aims, in particular:

*(2)(a) to achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield, and*

*(2)(f) to identify and protect environmental and cultural heritage,*

#### **Part 5 Miscellaneous provisions**

##### **5.10 Heritage conservation**

###### **(1) Objectives**

The objectives of this clause are as follows:

*(a) to conserve the environmental heritage of Strathfield,*

*(b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*

*(c) to conserve archaeological sites,*

*(d) to conserve Aboriginal objects and Aboriginal places of heritage significance.*

Comment: The proposal complies with the objectives listed in clause 5.10(1)(a) - (d) of the Strathfield LEP 2012 as the proposed alterations and addition are sited at the rear and are compatible with the heritage surrounds.

Should any significant archaeological relics or artefacts or Aboriginal objects be found during the course of the works, these will be appropriately documented, recorded and maintained.

###### **(2) Requirement for consent**

Comment: Development consent is being sought as required in accordance with clause (2)(a)(iii) in respect to the proposed demolition of part of and altering the exterior of a building within a heritage conservation area and clause 5.10(2)(e)(i) for the erection of a building (which includes alterations and additions) on land that is within a heritage conservation area.

###### **(4) Effect of proposed development on heritage significance**

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

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Comment: The proposed development has been appropriately designed and subject to the conditions included in the recommendation, the proposal will be in keeping with Council's objectives for this heritage conservation area.

The subject heritage management document has been submitted for consideration as part of this development application.

*(5) Heritage assessment*

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

Comment: The subject report is a heritage management document which fulfils the requirements of sub-clauses (5)(b) and (c).

*(7) Archaeological sites*

Should any significant archaeological items or relics be found during the course of the works, these will need to be appropriately recorded, documented and maintained subject to the notification requirements of the Heritage Act.

The proposed development will be carried out in accordance with the requirements of this clause.

*(8) Aboriginal places of heritage significance*

Should any significant Aboriginal artefacts be found during the course of the works, these will need to be retained and appropriately recorded, documented and maintained.

The proposed development will be carried out in accordance with the requirements of this clause.

*(9) Demolition of nominated State heritage items*

The subject property is not a state-listed heritage item.

*(10) Conservation incentives*

This clause is not applicable to the subject proposal as the subject building is not a heritage item nor located on an Aboriginal place of heritage significance.

*Schedule 5 Environmental heritage*

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While the subject property is not individually listed under Schedule 5 of the LEP as a heritage item, the property is situated within the C14 Redmyre Road Heritage Conservation Area which is of local heritage significance as shown on the Heritage Map to the LEP below (Fig. 27).



**Figure 27**

Heritage Map 005 from the Strathfield Local Environmental Plan 2012 which shows the location of the site within the Redmyre Road Conservation Area “C14” and heritage items in the surrounds. The closest adjoining heritage item is:

To the south, the site is adjoined by heritage item no. I209:

<i>Strathfield</i>	<i>Russian Orthodox Church</i>	<i>3–5 Vernon Street</i>	<i>Lot 2, DP 347622; Lot 16, DP 528</i>	<i>Local</i>	<i>I209</i>
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Further heritage items are located in the wider surrounds, including to the northeast, the site is adjoined by heritage item no. I187 (Fig. 28):

<i>Strathfield</i>	<i>Meriden School</i>	<i>10–28 Redmyre Road</i>	<i>Lot 101, DP 862040</i>	<i>Local</i>	<i>I187</i>
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**Figure 28**

Meriden School, 10-28 Redmyre Road, Strathfield, located to the northeast of the site.  
(Source: The Author, May 2017)

In the vicinity to the rear southwest, adjoining heritage items include I112 (Victorian villa at 5 Brunswick Avenue), and to the southeast I210 (Federation house at 22 Vernon Street) and to the rear is I211 (Victorian house at 23 Vernon Street).

To the east is heritage item I176 (Victorian house and garden at 16 Margaret Street) and heritage items to the southeast in Carrington Avenue I117 (Victorian house at 26-28 Carrington Ave), I116 (Federation Queen Anne Style house at 20 Carrington Avenue) I115 (Victorian Italianate house at 14 Carrington Ave) and I114 (Uniting Church Strathfield at 13 Carrington Ave).

To the northwest is heritage item I150 (St Martha's Catholic Church and School at 72 Homebush Road) and I154 (Victorian Italianate house at 82 Homebush Road).

These items are all of local heritage significance.

The site is also adjoined directly at the rear by the Vernon Street Conservation Area (C16 as shown on the map above).

Section 5.9.13.1 of the Strathfield Consolidated DCP 2005 includes the following Statement of Significance for the Vernon Street Conservation Area:

*"This Conservation Area contains many buildings from the late Nineteenth Century. It is of local significance as the villas retain their form and scale and they combine to provide an attractive streetscape. The villas are predominantly single storey with asymmetrical facades and projecting bays."*

Comment: The proposed development is not considered likely to adversely impact on the heritage items in the vicinity nor the adjacent Vernon Street Conservation Area.

### **Dictionary**

The following definitions are relevant to this proposal:

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**heritage conservation area** means an area of land of heritage significance:

- (a) shown on the Heritage Map as a heritage conservation area, and
  - (b) the location and nature of which is described in Schedule 5,
- and includes any heritage items situated on or within that area.

**heritage impact statement** means a document consisting of:

- (a) a statement demonstrating the heritage significance of a heritage item or heritage conservation area, and
- (b) an assessment of the impact that proposed development will have on that significance, and
- (c) proposals for measures to minimise that impact.

**heritage management document** means:

- (a) a heritage conservation management plan, or
- (b) a heritage impact statement, or
- (c) any other document that provides guidelines for the ongoing management and conservation of a heritage item, Aboriginal object, Aboriginal place of heritage significance or heritage conservation area.

Comment: The subject heritage impact statement has been prepared in accordance with the above definitions.

## **7.2 Assessment pursuant to Strathfield Consolidated DCP 2005**

The Strathfield Consolidated Development Control Plan 2005 provides objectives and detailed provisions for various types of development within the Strathfield LGA. Those parts which are relevant to the proposed development are discussed below as follows:

### **GENERAL INTRODUCTION**

#### **1.0 General Introduction to Consolidated Plan**

#### **1.4 Development To Which This Consolidated Plan Applies**

This Consolidated Plan applies to inter alia the construction of alterations or additions to existing dwelling houses and car parking.

#### **1.11 Heritage and Conservation**

*Statements of heritage impact are best prepared by suitably qualified and experienced heritage consultants.*

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Comment: The subject document is a Heritage Impact Statement which has been prepared by a suitably qualified and experienced heritage consultant.

#### Objectives

*A. To preserve and enhance the visual and environmental amenity of heritage items and heritage conservation areas within the municipality of Strathfield.*

*B. Ensure all development affecting heritage items and conservation areas is designed to be compatible in setting, scale, setbacks, form, materials and character with the building and surrounding area.*

*C. Ensure that development in the vicinity of a heritage item or conservation area does not have an adverse impact on the heritage significance or setting and that development is compatible in setting, scale, setbacks, form, materials and character with the item or conservation area.*

*D. Conserve archaeological sites and places of Aboriginal significance*

Comment: The proposed development is seen to be compatible with the setting, scale, setbacks, form, materials and character of the building and surrounds as the addition is sited at the rear and is lower than the maximum permissible height, and will not have an adverse impact on the heritage significance or setting of adjoining heritage items for the reasons as discussed below. The site is not considered to be of archaeological or Aboriginal significance, however if relics or artefacts are found, these will be appropriately recorded and documented.

#### Controls

Comment: The subject document is a heritage impact statement as required. This statement sets out the heritage significance of the structures (subject building and outbuilding) and place (conservation area) and assesses the extent to which carrying out of the proposed development would affect the significance of the heritage conservation area concerned and outlines measures to minimise any identified impact, such as use of harmonious colours, materials and finishes.

### **PART A: DWELLING HOUSES & ANCILLARY STRUCTURES**

#### 1 INTRODUCTION

##### 1.3 Objectives of Part A

The objectives of Part A include:

*A. To preserve and enhance the residential amenity and heritage value of buildings in the Strathfield Municipality.*

*C. To preserve the appearance of dwellings in tree-lined streets and park-like setting.*

*D. To maintain compatible architectural styles of dwelling houses within the streetscape.*

*E. To encourage innovation in housing design and detail.*

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*F. To maintain continuity of streetscape by requiring new and altered dwellings to be constructed to a similar size and scale to adjoining developments.*

*G. To provide a high standard of dwelling house design, construction and finish.*

*I. To provide adequate and convenient on-site car parking.*

**Comment:** The subject proposal fulfills these objectives by removing the later rear addition and refurbishing the rear of the building and existing garage. The tree-lined, park-like setting of the dwelling is maintained and the architectural style of the rear addition is compatible with the surrounds while displaying a high level of innovative design detail. The scale of the additions will be comparable with that of other properties in the surrounds. The proposed car parking arrangement offers convenient on-site parking as required and is in the same location as existing.

### 3 STREETScape

#### 3.2 Objectives

*A. Ensure that development respects the height, scale, character, materials and architectural qualities of the surrounding neighbourhood, including any adjoining or nearby heritage item or heritage conservation area.*

*D. Ensure that each new dwelling, addition or alteration respects the predominant height, bulk and scale of existing residential development in the immediate vicinity.*

*E. Ensure that the dominant building rhythm of the streetscape is reflected in the building design in terms of the spacing and proportion of the built elements.*

*F. Retain a feeling of openness and space between built elements by maintaining landscaped setbacks.*

*H. Preserve the appearance of dwellings set in the tree-lined streets and a park-like environment.*

*I. Achieve quality architecture in new development through the appropriate composition and articulation of building elements.*

*J. Encourage building materials, colours and finishes that are sympathetic to the materials and finishes of surrounding buildings and can be integrated into the overall building form.*

*K. To ensure fencing is sympathetic to the design of the dwelling and enhances the character of both the individual house and street.*

**Comment:** The height of the principal ridgeline of the rear addition is 160mm minimum – 660mm maximum lower than the maximum permissible height of 9m for the site, and although higher than the ridge of the existing house, the addition incorporates an attic and the development respects the character, materials and architectural qualities of the surrounds, including adjoining buildings and heritage items in the surrounds. The design utilises rhythm found in the streetscape and this is reflected in the design via compatible spacing of elements and proportioning. The design displays articulation and refined composition. The streetscape objectives are achieved by retention of the park-like setting.

#### 3.3 Controls

##### 3.3.1 Neighbourhood Character and Amenity

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*4. Where the proposed new dwelling or alteration adjoins a heritage listed building or a heritage conservation area under Strathfield Planning Scheme Ordinance, the proposed architectural design must be designed in accordance with the Burra Charter.*

Comment: The principles of the Burra Charter (The Australia ICOMOS Charter for Places of Cultural Significance, 2013) have been taken into account, including minimising change only as necessary. The new work is intended to be consistent with “Article 22 New Work” which states:

*22. New work such as additions or other changes to the place may be acceptable where it respects and does not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation.*

*22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the cultural significance of the place.*

### 3.3.2 Scale, Massing and Rhythm of Street

Comment: The alterations and additions proposed will not alter the existing rhythm of Redmyre Road and scale and massing of its built environs. The alterations and additions proposed are sited at the rear and will not disrupt the dominant building rhythm in the street.

### 3.3.3 Street Edge and Garden Setting

Comment: The garden setting of the dwelling and its street edge are maintained.

### 3.3.4 Materials, Colours, Roof Forms, Architectural Detailing

*1. The proposed roof design must be similar in pitch, materials and colour to roofs in the immediate streetscape.*

*3. The building form must be articulated to avoid large expanses of unbroken wall. Articulation can be provided by setbacks, awnings, recesses, blade walls or projecting bays.*

*4. Where a building is heritage listed or is located within a heritage conservation area, cement render of previously unrendered masonry is not permitted.*

*5. Materials used in alteration of a dwelling and ancillary structures must be compatible with the existing dwelling house (in the case of alterations and additions) and compatible with adjoining dwelling houses and the streetscape in terms of type, form and colour.*

*7. Highly reflective materials are not acceptable for roof or wall cladding.*

Comment: The proposed pitched tiled roof to the building addition will be 24 degrees in pitch and compatible with the surrounds. Articulation has been utilised in the design, via the use of recesses and variation of setbacks, a dormer to the roof and vergola. Large expanses of unbroken walling are avoided by the use of openings of vertical proportion which punctuate the side elevations and define the rear elevation. Materials to be used will be compatible with the existing house such as the wall render finish to be used on the addition

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which will be compatible with the existing building, and highly reflective materials are not proposed.

Cement render of previously unrendered masonry is not being proposed.

#### 4 HERITAGE AND CONSERVATION

##### 4.1 Controls

Comment: The proposal conforms with the objectives and controls of the Consolidated DCP and a Heritage Impact Statement (the subject document) has been prepared as required.

#### 5 ARCHITECTURAL DESIGN AND DETAILS

##### **5.1 Planning Context**

*Much of Strathfield Municipality is characterised by single storey dwellings built between 1870 and 1970. Apart from the late Victorian mansion period, it is only in the last 40 years that two (2) storey homes have become much more prevalent. As Strathfield's tree canopy has matured, the two (2) storey scale of the suburb has readily been accommodated.*

*Pyramidal roof forms have been the norm. Such roofs are often coloured red, orange or greyish brown and collectively are a prominent feature of Strathfield. Prior to the mid 20th Century, period asymmetrical gables with steep pitched roofs were used over front facades. Later, with the advent of lower pitched roofs, hips were introduced as part of double and triple fronted bungalows.*

*Architectural elements such as bay windows, dormers or gables are important strategies of function and add visual interest thereby enriching the architectural character of Strathfield.*

*Architectural characteristics of Strathfield are varied but traditionally, covenants on title have required that dwellings only be in brick and tile.*

##### **5.2 Objectives**

*A. Encourage architecture that is innovative and that uses high quality detailing, blending elements characteristic of Strathfield with contemporary materials and features.*

*B. Encourage building materials and finishes which are sympathetic to the materials and finishes within the surrounding context.*

*C. Require the use of colours that are sympathetic to the surrounding dwelling and streetscape that is within proximity of the new development.*

*D. Reduce the use of highly reflective colours and materials that create visual prominence.*

*E. Building forms should be compatible with the existing dwelling house (in the case of alteration and additions) or with adjoining dwelling houses and the streetscape in terms of type, form and colour.*

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Comment: The existing building is single-storey as characterised by buildings typically built between 1870 – 1970. The planning context above notes that in the last 40 years, two-storey homes have become more usual and the maturing street canopy in Strathfield has accommodated the evolving 2-storey scale of Strathfield.

The subject building has a pyramidal roof of greyish brown and this feature will be retained.

Architectural elements such as dormers are noted for adding visual interest and character. A dormer is proposed to the attic and has been designed to be unobtrusive and in character with the building. Brick and tile construction is proposed in accordance with the covenant.

The proposed development accords with these objectives, by being innovative, blending the traditional with subdued contemporary influence to respect the historic surrounds.

The colour scheme will be suited to the surroundings, without use of highly reflective materials, and the form of the addition, being at the rear, will be compatible with the existing house and adjoining environs.

### 5.3 Controls

#### 5.3.1 Building Forms

*1. Flat roofs may be considered where there are similar roof forms present in the immediate street. Flat roofs are not appropriate in the case of heritage items or heritage conservation areas.*

Comment: The proposal conforms with the objectives and controls in regard to architectural design and detailing as discussed above. A flat roof has been utilised only on the rear garage as existing.

#### 5.3.3 Dormers

*To be visually effective, dormers (whether gabled, hipped or eye-lid) need to be traditionally proportioned and rectilinear.*

Comment: The proposed dormer to the attic utilises a skillion 2 degree roof to minimise its scale and has rectilinear proportions as required.

## 8 BUILDING HEIGHT

### 8.2 Objectives

*A. Dwelling houses and any ancillary structures, including garages are to be no more than two (2) storeys high.*

*D. Promote the continuance of pyramidal roof forms within Strathfield where they are already prevalent.*

Comment: The proposed rear addition is two storeys in height and incorporates an attic within the roof space which is not classified as a storey under the Strathfield LEP 2012. The Statement of Heritage Impact for 44 Redmyre Road, Strathfield – proposed Alterations and Additions to an Existing Dwelling – prepared by Diana’s Planning and Heritage – January 2018 HIS 00025

attic is not considered to be a storey as per the definitions in the SLEP 2012 as the attic space is wholly within the roof above the ceiling line of the storey immediately below, except for minor elements such as the dormer window and skylights. The garage is only one storey in height.

The existing front pyramidal roof is retained.

### 8.3 Controls

#### 8.3.1 Building Height

Comment: The maximum height of the topmost point of the roof ridge to the new addition is 8.840m which is less than the required 9m maximum height for a dwelling house and is permitted by the Table in this section of the DCP. The height of the roof is also stepped so that sections of the roof are considerably lower. For garages and outbuildings, a maximum height to the highest point of the roof of 3.5m is permitted in the Table to this section. The height of the garage will not exceed 3.5m as required.

Building height will follow the site gradient.

#### 8.3.2 Roof Pitches and Shape

- 1. Pitched roofs should be designed with a pitch between 23.5 and 45 degrees of horizontal.*
- 2. An attic may be built in the roof space of either a two (2) storey dwelling or a single storey dwelling or garage provided access to the attic is via internal stairs.*
- 3. Flat roofs will be considered where they are already present in the street or where a street has no discernable architecture style.*

Comment: A roof pitch of 24 degrees pitch is proposed to the main house and 2 degrees pitch to the dormer and garage. An attic is proposed to the two storey component of the building, accessed via internal stairs. The existing roof to the garage is already flat.

## 11 VEHICLE ACCESS AND PARKING

### 11.1 Planning Context

*Strathfield is a suburb where the majority of residential parking is off street parking. In the early 20th Century garages were often located up long driveways at the rear of the block,*

Comment: The existing rear garage is sited at the rear of the property as existing, and is accessed via an existing rear right-of-way.

### 11.2 Objectives

*A. Ensure that the area of access driveways is minimised in the design of the new development, addition or alteration.*

*B. Ensure driveway widths are kept to a minimum to allow for maximum landscaped areas.*

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*C. Ensure that construction materials used for driveways respect the architectural qualities of the dwelling.*

*D. Garages and carports should not visually dominate the street façade of the dwelling.*

Comment: The rear right-of-way and driveway are existing and it is not proposed to alter the driveway layout. The garage is located at the rear and thus does not visually dominate the street façade.

### 11.3 Controls

#### 11.3.1 Driveway and grades

Comment: The existing driveway at the rear is proposed to be used.

#### 11.3.2 Garages and Carports

*1. Two (2) car parking spaces are to be provided and maintained behind the front building line of all new dwellings (i.e. garage/or allocated/stacked space). Where alterations and additions to existing dwellings are proposed and two (2) spaces are available, these spaces must be maintained.*

*2. Garages are to be recessed behind the main front facade of the dwelling and/or designed so as not to dominate the appearance of the building or streetscape.*

Comment: Two (2) spaces are retained within the rear double garage as required so the garage does not intrude upon the streetscape.

## 20 ANCILLARY STRUCTURES

### 20.1 Objectives

*A. Ensure that the design and location of ancillary structures takes into account the streetscape and overall environmental impact.*

*B. Ensure that the provision of ancillary structures, such as air conditioning units, are considered at the design stage of a proposed development.*

#### 20.2.5 Outbuildings

*1. No outbuilding shall be constructed forward of the front building façade of the dwelling.*

*2. New garden sheds, studios, cabanas and the like are limited to a maximum gross floor area of 40m<sup>2</sup>.*

Comment: The requirements regarding any proposed air conditioning are noted. Ancillary structures are not visible from the street. The proposed skylights are at the rear and are in-plane, therefore with low visibility.

No outbuilding is proposed forward of the front building line.

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The existing rear corner garage is proposed to be rebuilt and is 33sqm in area with no windows adjoining residential properties.

## **PART I – PROVISION OF OFF STREET PARKING FACILITIES**

### **1.0 PART A – GENERAL GUIDELINES**

#### **1.1 Introduction**

Part I applies to alterations and additions and redevelopment of existing sites.

### **2.0 PART B – MAIN PROVISIONS**

Comment: These dimensional provisions are noted.

### **3.0 PART C – PARKING SCHEDULE**

#### **3.1 Residential**

##### ***3.1.1 Dwelling Houses***

##### **(a) Parking**

Comment: In compliance with (a)(i), 2 parking spaces are provided behind the building line as existing.

## **PART P - HERITAGE**

### **Section One:**

#### **1 Introduction**

##### **1.3 Development to which Part P of SCDCP 2005 applies:**

This section of the Development Control Plan includes development in Conservation Areas and development in the vicinity of heritage items.

##### **1.5 Objectives**

- a. To encourage development which complements existing heritage items and heritage Conservation Areas in a modern context.*
- b. To retain evidence of historic themes of development evident in the Strathfield Local Government Area, through the proper care and maintenance of individual heritage items and heritage Conservation Areas.*
- c. To protect those items and areas that are of value to the local community.*
- d. To ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item.*
- e. To retain any significant horticultural or landscape features that assist in the interpretation of Strathfield's heritage.*

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Comment: The proposal complies with these objectives, in particular objective (a). The historic theme of development is retained as practicable, and the existing house is to be protected, to conserve the heritage significance of the building and its context, however the existing later rear addition is preferably removed and the rear garage necessitates replacement.

#### 1.6 Heritage management documents

Comment: The subject document is a Heritage Impact Statement as required under 1.6 b) (on land within a Heritage Conservation Area) and c) (on land being within the vicinity of a heritage item and conservation area). This Heritage Impact Statement has been prepared in accordance with a) i and ii of this section of the DCP.

#### 1.7 Council responsibilities

Comment: This section is noted.

#### Section Three:

### 3 Development in the Vicinity of Heritage Items

#### 3.1 Setting

##### 3.1.1 Objectives

- a. To ensure the setting of heritage items is not compromised by development in the vicinity of the heritage item.*
- b. To ensure that new development respects the contribution of heritage items to the streetscape and/or townscape.*

Comment: The significance of heritage items in the vicinity (including the Eastern Orthodox Church at the rear which is one property removed from the subject site) will not be compromised as their setting is unaffected, the overall height is less than the maximum allowed and amenity is retained given the orientation of the site. Use of compatible materials respects the heritage items in the vicinity.

##### 3.1.2 Controls

- 1) Development in the vicinity of a heritage item should not be of such bulk or height that it visually dominates or overshadows the heritage item.*
- 2) Views to or from a heritage item should not be obscured by new development.*
- 3) Where a heritage item is part of a streetscape of buildings of consistent style, form and materials, development in the vicinity of the heritage item should incorporate elements of the dominant style, form and materials in the streetscape.*
- 4) Where trees are integral to the significance of a heritage item, development should not be allowed beneath the drip zone of the trees.*

Comment: The rear addition is within Council's height requirements and generally aligns with the side setbacks of the existing building. Views will not be obscured given the setbacks available, and the width of the street, location of outbuildings, setbacks and orientation and size of the site will ensure there is no overshadowing or loss of amenity to heritage items in the vicinity. Control 4) regarding trees is noted.

#### 3.2 Scale

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### 3.2.1 Objective

*a. To ensure that new development in the vicinity of a heritage item is of a scale that does not detract from the significance of the heritage item.*

### 3.2.2 Controls

*1) The scale of new development in the vicinity of a built heritage item should not be substantially greater than that of the heritage item.*

*2) New development that obscures important views of a heritage item is not permitted.*

**Comment:** The proposed addition complies with height requirements and the massing and scale is suitable for the site and will not detract from heritage items in the vicinity. There is also separation provided by an existing house which is situated between the rear of the site and the Russian Orthodox Church heritage item. This heritage item is also the closest heritage item to the site, therefore there is minimal impact on heritage items in the wider vicinity. Substantial side and rear setbacks are retained so that vistas will be retained.

## 3.3 Siting

### 3.3.1 Objectives

*a. To ensure new development in the vicinity of a heritage item is sited so that it does not obscure important views to or from the heritage item.*

*b. To ensure that new development in the vicinity of a heritage item does not adversely impact landscape elements that are or are associated with a heritage item.*

### 3.3.2 Controls

*1) The setback of new development (including alterations and additions) in the vicinity of a heritage item should ensure that important views to or from the heritage item are not adversely impacted on.*

*2) The setback of new development in the vicinity of a heritage item should ensure that landscape elements associated with or listed as a heritage item are not adversely affected by the development.*

**Comment:** As discussed, views to and from the heritage items are maintained and the landscape elements associated with the heritage items in the vicinity are not adversely affected. The roof ridge height of the rear addition does not exceed the maximum permissible height, and the proposed attic is within the roof cavity, thereby minimising scale.

## 3.4 Materials and colours

### 3.4.1 Objective

*a. To ensure that new development in the vicinity of a heritage item does not detract from the significance of the heritage item.*

### 3.4.2 Control

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*1) Materials and colours for development in the vicinity of a heritage item shall be selected to avoid stark contrast with the adjacent development where this would result in the visual importance and significance of the heritage item being reduced.*

Comment: The colour scheme to be used on the development is to match that existing as closely as possible, and is to have a hue and tonal relationship with traditional colour schemes. Paint colours and finishes are to be appropriate to the design period of the building, with details of the colour scheme to be used submitted. Compatible materials and colours are to be used on the rear addition.

#### Section Four:

#### 4 Development in Conservation Areas

The Redmyre Road Conservation Area is an identified residential conservation area.

##### 4.1 Setting

##### 4.1.1 Objectives

- a. To provide an appropriate visual setting for heritage Conservation Areas, including landscaping, fencing and car parking.*
- b. To maintain and enhance the existing character of the streetscape of a heritage Conservation Area.*
- c. To ensure that new development respects the established patterns in the streetscape of a heritage Conservation Area, including setbacks, siting, landscaped settings, car parking and fencing.*

##### 4.1.2 Controls

- 1) The side and front setbacks of new development in a Conservation Area should be typical of the spacing of existing buildings in the vicinity of the proposed development in that Conservation Area, such that the rhythm of buildings in the streetscape is retained.*
- 2) No new structures should be built forward of the established street building line.*
- 3) The established landscape character of the locality including the height of canopy and density of boundary landscape plantings should be retained in any new development.*

Comment: An appropriate visual backdrop for the Redmyre Road Conservation Area is maintained and the existing streetscape character is retained and enhanced by the retention of the façade features and appearance of the existing building. The existing front setback to the building is retained and side setbacks reflect those of the surrounds with the rear setback being compatible with the adjoining building to the east. The existing built rhythm and spacing is therefore maintained.

No new structures are to be built forward of the street building line and car parking is unobtrusive and located at the rear. The street tree setting is maintained.

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## 4.2 Scale

### 4.2.1 Objectives

*a. To ensure that new development adjacent to or within a heritage Conservation Area is of a scale consistent with the existing development in the vicinity of the site that contributes to the character of the in the heritage Conservation Area.*

*b. To ensure that additions and alterations to a building within a Conservation Area are of a scale consistent with the contributory buildings in the Conservation Area.*

### 4.2.2 Controls

*1) The scale of new development adjacent to or within a Conservation Area should relate to the scale of the adjacent or nearest contributory elements of the Conservation Area.*

*2) Development of a larger scale is allowable only if it can be demonstrated that the new development will not adversely impact the identifiable character of the Conservation Area.*

Comment: The resultant scale, while similar to the scale of development on some of the surrounds, will be of a slightly different scale to other adjoining development. However, the addition is sited at the rear and the identifiable character (including landscaped character) of the conservation area will be unaffected given the substantial setbacks, height limit compliance and articulation which alleviates the scale.

## 4.3 Form

### 4.3.1 Objectives

*a. To ensure that new development in a Conservation Area relates positively to the dominant forms of existing contributory buildings in the Conservation Area.*

*b. To ensure that buildings that contribute to the character of a Conservation Area retain their importance in the streetscape and/or townscape.*

### 4.3.2 Controls

*1) Important elements of the form of a contributory building in a Conservation Area such as main roof forms, chimneys, parapet walls, verandahs etc. should not be demolished or obscured by alterations and additions.*

*2) New development in a Conservation Area is to complement existing nearby buildings that contribute to the Conservation Area.*

*3) Chimneys and roof features such as ventilation gables should not be removed from contributory buildings in a Conservation Area.*

*4) Dormer windows should generally be confined to rear or side roof slopes to minimize visibility in the streetscape.*

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5) *Additions and alterations to existing buildings that contribute to the character of a Conservation Area should not detract from the original form of the existing building as viewed from the Public Domain.*

6) *The treatment of the street façade of new development in a Conservation Area should relate to existing nearby buildings that contribute to the Conservation Area.*

Comment: In compliance with 4.3.2 1), elements which are intrinsic to the form of this contributory building such as its principal roof form, chimney and verandah will be retained and not obscured. Compliance with 4.3.2 2) and 3) (as the existing chimney is to be retained) is also achieved. The dormer window being proposed is located in the side eastern roof slope, toward the rear, to minimise visibility. In accordance with 4.3.2 5), siting at the rear and adherence to the applicable height control, will ensure the alterations and additions do not detract from the original form of the existing building when viewed from the public domain. Compliance with 4.3.2 6) is achieved.

#### 4.4 Siting

##### 4.4.1 Objective

*a. To integrate new development in Conservation Areas with the identifiable character of the area.*

##### 4.4.2 Controls

*1) The front setback of new development (including alterations and additions) in Conservation Areas should match that of adjacent contributory development. Where adjacent developments have different setbacks, new development should align with the greater setback.*

*2) Side setbacks of new development (including alterations and additions) in Conservation Areas should match the pattern of adjacent and/or nearby contributory development. This will often include a greater setback on one side of the development to provide vehicular access at the side of a property.*

*3) The orientation of new development should follow the established pattern of development in the Conservation Area.*

*4) Where trees are important to a Conservation Area, new buildings should be sited away from the drip line of the trees.*

Comment: There will be no alteration to the existing front setback. Side setbacks will be compatible with the surrounds, with vehicular access provided at the rear of the property as existing. Orientation to the street is unchanged and follows the established pattern in the Conservation area and 4.4.2 4) is noted. Several small trees adjacent to the rear garage are proposed to be removed, however the existing substantial front trees are retained.

#### 4.5 Materials and colours

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#### 4.5.1 Objective

*a. To encourage the use of external materials on new development that is consistent with the existing contributory buildings in a Conservation Area.*

#### 4.5.2 Controls

*1) Original materials of contributory buildings in Conservation Areas should not be replaced with different materials or with materials of different colours.*

*2) Non-original materials of existing contributory buildings in Conservation Areas that are being replaced shall, if possible, be replaced with material that matches the original material as closely as possible.*

*3) Painting, rendering or bagging of face brickwork and sandstone is not permitted.*

*4) The texture of original rendered finishes should not be changed.*

*5) Colour schemes for existing and new development in Conservation Areas should have a hue and tonal relationship with traditional colour schemes for the dominant style of development found in the Conservation Area*

*6) The use of fluorescent paint on buildings in Conservation Areas is not permitted.*

**Comment:** The proposed works will comply with the listed controls in section 4.5.2 of the DCP in regard to materials and colours. In particular, 4.5.2 2) is noted, and 4.5.2 5) will be taken into account with the colour scheme and no fluorescent paint will be used.

### 4.6 Doors and windows

#### 4.6.1 Objectives

*a. To retain original door and window details of contributory buildings in Conservation Areas.*

*b. To ensure that new development in a Conservation Area has fenestration patterns and proportions consistent with contributory buildings in the Conservation Area.*

#### 4.6.2 Controls

*1) Extensive areas of glazing are not permitted for doors and windows visible from the Public Domain on buildings within a Conservation Area.*

*2) Original door and window joinery visible from the Public Domain on contributory buildings in a Conservation Area should be conserved.*

*3) New door and window openings to contributory buildings in a Conservation Area that are visible from the Public Domain should be of proportions and details that relate to existing door and window openings.*

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4) *Roof structures (i.e. skylights) should be located on roof slopes where they will not be visible from the Public Domain.*

Comment: In regard to 4.6.2 1), the most extensive area of glazing is confined to the rear. In respect to 4.6.2 2), original door and window framing on the existing building is to be repaired and conserved where possible. In respect to 4.6.2 3), new openings where visible from the public domain will relate in proportions (being vertically proportioned) where possible to the existing building.

In respect to 4.6.2 4), the proposed skylights to the addition are sited on the rear western roof slope of the addition, and being set flush (in-plane) with the roof face, visibility from the Public Domain is minimised and the skylights will not be easily visible from Redmyre Road.

#### 4.7 Car parking

##### 4.7.1 Objective

*a. To ensure that, where possible, garages and carports are designed to minimise the visual impact on the streetscape of Conservation Areas.*

##### 4.7.2 Controls

- 1) Garages and carports must be located as far behind the front building alignment as possible.*
- 2) Garages should not be incorporated into the front façade of a building in a Conservation Area.*
- 3) Where a new garage or carport is on the same side of a building as a front verandah, the garage or carport must be located entirely behind the verandah.*
- 5) Refer to the Controls for Garages and Carports in the Residential section of this Development Control Plan for general provisions regarding garages and carports.*

Comment: Visual impact on the streetscape is minimal as the existing garage is to be upgraded and is located in the far rear southwestern corner of the property. 4.7.2 5) is noted.

#### 4.9 Landscape elements including paving and driveways

##### 4.9.1 Objectives

- a. To retain important landscape elements that contribute to the significance of Conservation Areas.*
- b. To reinforce the qualities of the Conservation Area through appropriate landscaping*

##### 4.9.2 Controls

- 1) Street trees in Conservation Areas should not be removed to allow for new development such as the relocation of driveways which may necessitate the removal of a street tree.*
- 2) Existing driveways and footpath crossings that relate to original development in a Conservation Area should not be relocated.*
- 3) Double driveways and footpath crossings will not be permitted in Conservation Areas.*

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Comment: The front garden setting will be retained and pathway within a landscaped garden. In regard to 1), street trees are maintained. In respect to 2), the existing driveway is located at the rear in its original position and is not proposed to be relocated. No double driveways and footpath crossings are being proposed.

#### 4.10 Outbuildings

##### 4.10.1 Objective

*a. To minimise visual intrusion on the streetscape due to outbuildings.*

##### 4.10.2 Controls

*1) Outbuildings should be located in the rear yard of properties within a Conservation Area.*

*2) Outbuildings should be single storey and designed so that they have negligible if any impact on the streetscape.*

Comment: No new outbuildings are proposed. The existing rear garage is to be rebuilt but will remain in its existing rear location, and will remain single-storey. A vergola is proposed at the rear, but this structure will not intrude on the streetscape as it is single storey and sited at the rear, attached to the dwelling.

#### 4.11 Modern technologies

##### 4.11.1 Objective

*a. To ensure that modern technologies do not impact on the streetscape and/or townscape in Conservation Areas*

##### 4.11.2 Controls

*1) Modern technologies such as solar electricity collectors, television aerials and satellite dishes are to be located on roof slopes facing the rear of a property in Conservation Areas.*

*2) Modern technologies should not be higher than the main ridge line of a building and shall be located so that they are not visible from the Public Domain in a Conservation Area.*

Comment: Compliance with these controls can be conditioned so that no modern technologies will impact on the streetscape.

#### 4.12 Demolition

##### 4.12.1 Objective

*a. To retain the contributory buildings in a Conservation Area.*

##### 4.12.2 Controls

*1) Contributory buildings within a Conservation Area should not be demolished.*

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2) *Partial demolition of a heritage item may only be allowed when it can be established in a Statement of Heritage Impact that the partial demolition will not have an impact on the significance of the heritage item.*

3) *Demolition of rear outbuildings in Conservation Areas is generally acceptable. For places listed as heritage items, additional restrictions might apply.*

Comment: The existing contributory building is not to be demolished. Only partial demolition of the rear later addition is proposed. In respect to 4.12.2 2), the subject building is not a heritage item.

In respect to 4.12.2 3), the existing rear garage outbuilding is to be rebuilt, which is acceptable.

#### 4.13 Subdivision

##### 4.13.1 Objective

*a. To retain subdivision patterns that contribute to the rhythm of streetscapes in Conservation Areas.*

Comment: No further subdivision is proposed.

#### Section Five:

### 5 Additional controls for development within the Residential Conservation Areas

#### 5.1 General objectives

*a. To conserve the existing character and heritage significance of Strathfield's residential Conservation Areas.*

*b. To facilitate sympathetic and appropriate alterations and additions, whilst minimising the impact on the heritage significance of the dwellings and streetscapes within residential Conservation Areas.*

*c. To ensure that new development is sympathetic to the particular building and/or relevant Conservation Area in terms of siting, form, massing, articulation and detail composition.*

*d. To ensure that the proposed form of roof and details, the style, size, proportion and position of openings of windows and doors, the colours, textures, style, size and type of finish of materials to be used on the exterior of the building is compatible with similar features and materials used in the existing building on the site and within the relevant Conservation Area*

*e. To retain any horticultural or landscape features within the relevant Conservation Area.*

*f. To retain the subdivision pattern of the relevant Conservation Area.*

*g. To promote an understanding of the importance of conserving the fabric of existing buildings and its context within the relevant Conservation Area.*

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Comment: As discussed, the proposed works will conform with the general objectives, including in terms of siting, roof design, positioning and dimensioning of openings, massing, proportioning, articulation, details, external finishes and colour scheme. Fabric of the existing building is conserved. No further subdivision is proposed nor removal of any significant landscaping features.

### 5.2 Siting and Garden Area

- 1) The historical pattern of development of individual buildings on separate allotments of land separated by garden space, which characterise each of the Residential Conservation Areas, should be maintained.*
- 2) Front garden areas, lawns and associated pathways as traditional garden settings for houses should be maintained in any development proposal within a Residential Conservation Area.*
- 3) Views around and between buildings collectively forming a Residential Conservation Area should be retained in any development proposal.*
- 4) Side boundary setbacks should match existing setbacks.*

Comment: The proposal achieves compliance with sections 5.2 1) and 2) as the traditional garden setting is maintained. There will be no material impact on views as substantial setbacks will be maintained around the building as proposed to be extended, and compliance with the maximum height control is achieved. Side boundary setbacks are generally consistent with those existing.

### 5.3 Building Form

- 1) Any development proposal should retain the particular building character of each Residential Conservation Area as identified in the particular Statement of Significance for the Area.*
- 2) Extensions should be sited to the rear of a dwelling within a Conservation Area, and are to be consistent and complement, the existing dwelling. Alterations to the original main part of a building (other than a non-conforming building), including front and side facades, verandahs and roof forms, are discouraged.*
- 3) Where a building, other than a non-conforming building has undergone limited change, restoration/reinstatement and repair of the original front of the building is encouraged.*

Comment: In regard to 5.3 1), the proposal will not interfere with the characteristics of the conservation area as set out in the Statement of Significance for the DCP as the addition is at the rear and the avenue street planting character is maintained. In respect to 5.3 2), compliance is achieved as the extension is within the height limit and complements the existing dwelling. Alterations to the original main part of the building are not proposed. No alteration is proposed to the front roof form, verandah, chimney and front and side setbacks of the existing building.

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Section 5.3 3), is noted as stating that where a building (apart from a non-conforming building) has undergone limited change, restoration/reinstatement and repair of the original building is encouraged.

#### 5.4 Roof Forms

*1) Roof extensions on buildings within a Residential Conservation Area are to relate sympathetically and subordinately to the original roof in shape, pitch, proportion and materials.*

*3) Replacement roof materials are to match original materials or are to use approved alternative materials.*

*4) Roof details such as finials, ridge capping, are to be maintained, repaired and reinstated where possible.*

**Comment:** In respect to 5.4 1), the roof of the addition relates to the original roof in terms of pitch and materials. Compliance with the height control and provision of an attic within the roof space provides an appropriate relation between the original roof and the extension. The colour and finish of the proposed tiled roof will be compatible with the existing roof. Proportions will relate to the existing roof as shown on the roof plan.

In respect to 5.4 3), any essential repairs to the existing tiled roof to the house and garage roof will use matching materials.

In regard to 5.4 4), roof detailing is to be maintained, and can be repaired and reinstated on the existing building if needed.

#### 5.5 Walls, chimneys, doors and windows

*1) The original shape and materials of the front and side walls of buildings within a Residential Conservation Area shall not be altered.*

*2) Chimneys on buildings within a Residential Conservation Area should not be demolished, unless they are structurally unsound and only when followed by immediate reconstruction in the original design. Reconstruction of original chimneys is encouraged.*

*3) Original doors and windows of dwellings within a Conservation Area, are to be kept, maintained and repaired when necessary.*

*4) New doors and windows of dwellings within a Conservation Area are to reflect the proportion, location, size, sill heights, header treatment, materials, detailing and glazing pattern of the original doors and windows on the house to which they belong.*

**Comment:** In response to 5.5 1), the original shape and materials of the front and side walls of the existing building will be retained.

The existing chimney is to be retained in accordance with section 5.5 2).

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Original doors and windows are to be kept and repaired and maintained as necessary and compliance with section 5.5 4) is generally achieved as windows and doors to the addition are vertically proportioned.

#### 5.6 Verandahs

*1) Existing original verandahs at the front of contributory dwellings within a Residential Conservation Area are to be kept and repaired or reinstated where possible.*

Comment: Yes, the existing front verandah will be retained.

#### 5.7 Garages and Carports

*1) New garages and carports are to be located at the back or at the side of the house.*

*3) Driveways consisting of wheel tracks with central grass/planting are preferred to fully paved driveway spaces.*

Comment: In regard to section 5.7 1), no new garage or carport structures are proposed. The existing garage is to be reconstructed. In respect to section 5.7 3), the existing rear driveway is retained.

#### 5.9 Statement of Significance and additional controls for each Conservation Area

##### 5.9.12 Redmyre Road Conservation Area (“C14” on Heritage Map)

###### 5.9.12.2 Additional Controls

*1) The characteristic pattern of grass verges, footpaths and street tree planting comprising Jacarandas within the grassed median strip, and Brush Box on the verges, must be retained.*

*2) New trees using mature Jacarandas on the median strip and Brush Box on the verges, should be planted where there are gaps in the street tree planting.*

Comment: The Statement of Significance has been set out above. These requirements are noted, and streetscape planting is to be retained.

##### 5.9.13 Vernon Street Conservation Area (“C16” on Heritage Map)

This conservation area adjoins the subject site to the south.

###### 5.9.13.1 Statement of Significance

*This Conservation Area contains many buildings from the late Nineteenth Century. It is of local significance as the villas retain their form and scale and they combine to provide an attractive streetscape. The villas are predominantly single storey with asymmetrical facades and projecting bays.*

###### 5.9.13.2 Additional Control

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*Existing original projecting bays characteristic of dwellings in this Conservation Area are to be kept and repaired or reinstated where possible.*

Comment: The proposal will not impact on the Vernon Street Conservation Area and the existing projecting bay to the subject building is retained.

### **PART Q – URBAN DESIGN CONTROLS**

#### **1.2 Development to which this Part applies**

*The urban design objectives and controls contained within Part Q of the SCDCP 2005 will be applied in the assessment of all development applications, with the exception of development for the purpose of dwelling-houses on land Zoned R2 Low Density Residential Zone under SLEP 2012.*

Comment: The streetscape and urban design charter principles are considered however as the subject site is zoned R2 Low Density Residential under SLEP 2012 and the development is for the purpose of a dwelling house, this Part of the DCP does not directly apply to the proposal.

The Charter identifies twelve (12) key urban principles that are essential qualities for the functioning of good urban environments, in making places that are valued and significant for the community who use them.

The Charter principles include:

*PRINCIPLE 9: CONTINUITY AND CHANGE Maintain a sense of place and time by embracing change yet respecting heritage values.*

Comment: The proposal conforms with the spirit of this principle.

### **7.3 Positive Impacts**

The proposed work will not impact on the Redmyre Road Heritage Conservation Area (C14) for the following reasons:

- The proposed works will retain the façade of the existing building and its contribution to the Conservation Area, and will rebuild the existing garage and upgrade the appearance of the rear of the building.
- The proposed development has been designed as a compatible and innovative addition within the Redmyre Road Heritage Conservation Area.
- The addition is sited at the rear, which minimises impact on the existing streetscape.
- An appropriate colour scheme and finishes will be used to complement the colours and materials found within the conservation area.
- The streamlined simplicity of the addition and its proportions of openings will suit the existing building and streetscape.
- There will be minimal impact on the surrounding amenity.

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#### 7.4 Necessity for proposed Development

The proposed works will upgrade the rear of the existing building and replace the rundown existing garage.

The proposed alterations and additions are deemed to be necessary to enhance the potential of the site and allow for additional accommodation without compromising the surrounding amenity and streetscape.

#### 7.5 Consideration of Alternatives

The subject form of rear addition is considered to be the most appropriate form of development for this site. The addition relates and aligns with the existing building.

The differentiation offered by the design proposed is considered more suitable than direct imitation of the existing building.

A first floor addition above the existing house would impact on the streetscape and an attic addition within the existing original building would impact on the structure of the existing building.

Accordingly, the subject form of development as proposed is seen to be the most suitable.

#### 7.6 Heritage Impact Assessment Summary

##### Questions and Answers – Impact on a HCA

##### How is the impact of the new development on the heritage significance of the conservation area to be minimised?

The proposed rear addition is streamlined in form and positioned at the rear. The features of the front façade of the existing building will be retained, sympathetic materials are used for the refurbishment works, and compatible materials used on the rear addition.

##### Why is the new development required in the conservation area?

The proposal provides enhanced utilisation of the site.

The proposed works will maintain the structural integrity of the existing building and garage. The removal of a later rear skillion addition and replacement with a new rear addition with appropriate differentiation is required as the proposed new addition will enhance the appearance of the rear of the property.

##### How does the curtilage around the contributory building contribute to the retention of its heritage significance?

The existing house is well setback from all the boundaries (front, rear and side) and the front garden retains a general complementary landscaped layout.

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The streetscape setting in Redmyre Road contains significant street trees and shrubs which reinforce the suburban character of the streetscape and filter views from traffic on Redmyre Road.

The setting is compromised to some degree by the adjoining property at No. 42 which has a more modern brick and tile appearance.

How does the new development affect views to, and from, the contributory building? What has been done to minimise negative effects?

The proposed addition is in relative alignment with the setbacks of the existing building, thereby not impacting greatly on existing sightlines.

Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected?

As discussed, should artefacts be discovered during excavation and construction, these would be subject to the notification requirements of the NSW Heritage Act 1977.

Is the new development sympathetic to the contributory building? In what way (e.g. form, siting, proportions, design)?

The new development will enhance the useability of the existing building more than the existing rear addition. The design reinterprets form to respond and provide for modern living. The overall arrangement of form in a rear position will be compatible with the architecture of the surrounds. The rebuilding of the existing concrete block garage in its present rear corner location will mean there is no adverse impact on the streetscape from parking structures. A harmonious colour palette is proposed.

Will the additions visually dominate the contributory building? How has this been minimised?

The height of the addition is within the existing allowable height limit. The garden setting of the existing building has a well defined boundary to Redmyre Road, providing an ample setting for the house. Setback requirements are observed and the form of the addition will draw focus to the features of the existing house.

Will the public, and users of the contributory building, still be able to view and appreciate its significance?

Public views of the façade of the existing building will not be greatly impacted. There will be some visual benefit from removal of the later rear addition and rebuilding of the rear garage. When treated in recessive and muted colours and tones, this will offer a sympathetic backdrop which will serve to accentuate the character of the original house.

### **7.7 Guidelines for Infill Development in the Historic Environment**

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While not strictly an infill development, the design criteria for consideration set out within these Guidelines prepared by the NSW Heritage Office have been taken into consideration and enable evaluation of the merits of this proposal.

These in summary are:

- (i) *Character*: The proposal responds to this criterion by use of appropriate opening proportions and appropriate solid to void relationships.
- (ii) *Scale*: Articulation has been used to reduce the perceived scale.
- (iii) *Form*: “*The form need not copy that of the neighbours, but should relate positively.*” The proposal interprets the form to respond and provide for modern living while ensuring the overall shape, volume and arrangement of parts and openings is compatible with the surrounds.
- (iv) *Siting*: Orientation to the street frontage is maintained and there is no garage intrusion due to retention of parking at the rear, accessed by the rear right-of-way.
- (v) *Materials and Colours*: Response to the predominant materials, textures and colour palette of the surrounds will be made via the use of harmonious colours and finishes.
- (vi) *Detailing*: Details that contribute to the character of the conservation area have been identified and used to reinterpret the relationship between the existing building and addition, such as vertically-proportioned openings. A suitable planting scheme and appropriate placing of ESD devices will ensure the historic character is upheld.

## 8.0 CONCLUSION

The subject works will sit comfortably within the historic context of the Redmyre Road Heritage Conservation Area and present a streamlined, innovative yet compatible design solution. The intent is to present a rear addition to the main building exhibiting a more contemporary aesthetic, serving to both contrast and complement the existing building and surrounding dwellings without direct imitation.

The proposal will result in the upgrade of the existing building and removal of the unsympathetic later rear addition. The height of the addition is lower than the permitted 9m height limit, and the rear addition is appropriately sited, enabling the front façade of the existing building to be retained. The proportions of the addition are suitable to the characteristics of the site, and the setting and detailing of the front building section is retained.

The proposal is supported and is presented to Council for support and approval.

## 9.0 RECOMMENDATIONS

The following heritage-specific conditions are recommended to be imposed on any development consent to the proposal:

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- Should significant archaeological items or relics be found during the course of the works, these will need to be appropriately recorded, documented and maintained.
- Should significant Aboriginal artefacts be found during the course of the works, these will need to be retained and appropriately recorded, documented and maintained.
- Any unsympathetic work upon the heritage property, such as air conditioning units, are to be removed and significant architectural elements are to be repaired as necessary.
- Redevelopment should also be used to reinstate any lost building elements.
- Colours, finishes and materials to be used on the existing building are to match those existing as closely as possible.
- Highly reflective finishes are not to be used.
- The colour scheme to be used on the existing building is to have a hue and tonal relationship with traditional colour schemes, and paint colours and finishes are to be appropriate to the design period of the building, with details of the colour scheme to be used to be submitted.
- Colours, finishes and materials to be used on the new addition and rebuilt garage are to be compatible with the existing buildings.
- The existing planting scheme should be retained and enhanced with appropriate plantings to the historic setting.
- New requirements for ecologically sustainable design such as solar panels and water tanks should be sensitively located and designed in a way that does not intrude on the cohesiveness of the area.
- New features such as satellite dishes, air conditioners, roof top antennae, solar water heaters, roof lights and skylights are not permitted to be visibly installed on the street elevation of the original building.
- The installation of solar collectors and photovoltaic panels is not acceptable if it results in adverse impacts on the subject building and the streetscape.

## 10.0 BIBLIOGRAPHY

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**TO:** Strathfield Local Planning Panel Meeting - 2 August 2018  
**REPORT:** SLPP – Report No. 3  
**SUBJECT:** DA2016/172/03 - 40-42 LOFTUS CRESCENT, HOMEBUSH  
LOT X IN DP 446141, LOT 37 & 38 IN DP 9154

**DA NO.** DA2016/172/03

## SUMMARY

<b>Proposal:</b>	Section 4.55(2) modification to construct an additional eight (8) x two bedroom units over two (2) levels to Building B.
<b>Applicant:</b>	Urban Link
<b>Owner:</b>	Sperare Pty Ltd
<b>Date of lodgement:</b>	12 April 2018
<b>Notification period:</b>	1 May 2018 to 23 May 2018
<b>Submissions received:</b>	Two (2) written submissions received
<b>Assessment officer:</b>	ND
<b>Zoning:</b>	R4 High Density Residential - SLEP 2012
<b>Heritage:</b>	No
<b>Flood affected:</b>	Yes
<b>Is a Clause 4.6 variation proposed?</b>	Yes – Floor Space Ratio
<b>Extent of the variation supported?</b>	8.93% (523.956m <sup>2</sup> )
<b>RECOMMENDATION OF OFFICER:</b>	<b>APPROVAL</b>

## EXECUTIVE SUMMARY

- 1.0 On 5 April 2017, SIHAP granted Deferred Commencement consent to Development Application No. 2016/172 for the demolition of existing structures and construction of (19) x 1 bedroom, (56) x 2 bedroom and five (5) x 3 bedroom units over two levels of basement car parking.
- 2.0 Two (2) subsequent modification applications have been approved including an additional half level of basement car parking, internal unit reconfigurations and an increase to the building height to accommodate an amended stormwater culvert design.
- 3.0 The subject application was lodged under Section 4.55 (2) of the *Environmental Planning and Assessment Act 1979*, seeking the construction of an additional two levels of Building B comprising a total of eight (8) additional units.
- 4.0 The application and plans were put on notification from 1 May 2018 to 23 May 2018 with two (2) written submissions received raising concerns regarding wind movement, visual privacy, solar access, streetscape compatibility and dust generation during the construction phase.

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- 5.0 A Clause 4.6 variation to the maximum floor space ratio permissible under the *SLEP 2012* accompanied the application. The proposed variation is considered to be well founded and supported.
- 6.0 To enhance the solar access and residential amenity of the future residents and adjoining properties a condition of consent has been recommended for proposed Units B504 and B604 on the most south-eastern elevation to be deleted. Further, the proposed exposed facebrick on the front façade is to be continued on the additional levels to achieve a quality external appearance to the building.
- 7.0 Overall, the development as proposed to be modified will result in a residential flat building that is of a height and scale that aligns with the envisaged streetscape character of the Parramatta Road Corridor.

### **DESCRIPTION OF THE PROPOSED MODIFICATION(S)**

The proposed modification application seeks Council approval to construct an additional eight (8) x two bedroom units over two (2) levels to Building B.

The specific elements of the modification(s) sought are as follows:

- Construction of an additional two (2) levels to Building B comprising of four x 2 bedroom units on each of the proposed additional levels.

#### Approved Development:

Part 9 storey and part 5 storey residential flat building over two (2) levels of basement comprising of:

- 17 x 1 bedroom units
- 59 x 2 bedroom units
- 4 x 3 bedroom units

Total Units: 80 units

#### Proposed Development:

Part 9 storey and part 7 storey residential flat building over two (2) levels of basement comprising of:

- 17 x 1 bedroom units
- 67 x 2 bedroom units
- 4 x 3 bedroom units

Total Units: 88 units

### **BACKGROUND**

5 April 2017: Council's SIHAP granted Deferred Commencement to DA2016/172 for the demolition of existing structures and construction of a part nine (9) storey, part five (5) storey residential flat building containing (80) units consisting of (19) x 1 bedroom, (56) x 2 bedroom and five (5) x 3 bedroom units over two levels of basement car parking.

7 August 2017: Council issued a letter notifying the applicant that the deferred commencement matters had been satisfied and that the consent has become operative.

8 August 2017: Section 96(2) modification application to provide an additional half level of basement car parking and additional residential storage was approved by Council's IDAP.

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15 November 2017: Section 96(2) modification involving an increase to the building height, unit alterations and additions and amendments to the stormwater culvert design was approved by Council's IDAP.

12 April 2018: The subject modification application was lodged.

## **SECTION 4.55(2) OF THE EP&A ACT 1979**

Section 4.55(2) of the Environmental Planning and Assessment states as follows:

### **4.55 Modifications of consents - generally**

#### **(2) Other modifications**

*A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:*

- (a) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and*

**Comment:** In answering this threshold question, a comparative analysis of the proposed modified development has been undertaken. The intent of the development on the site as a residential flat building has not changed. The main physical components of the building remain, being two structures with a stepped design when viewed from the public domain. The proposed two (2) additional levels to Building B fronting Loftus Lane have adopted the visual articulated elements and colour composition of the lower approved levels. From a qualitative perspective, the design and positioning of the residential units achieve compliance with the minimum requirements of the ADG that optimises the northern aspect and size of the site to provide adequate solar access and communal open space for the future residents.

Overall it is satisfied that the development to which the consent as modified is substantially the same development for which consent was originally granted.

- (b) it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 5) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and*

**Comment:** The original development application was defined as Integrated Development requiring the concurrence of Sydney Trains in accordance with Clause 86(1) of the *Infrastructure SEPP 2007* and Water NSW under the *Water Management Act 2000*. Accordingly a request for comments was sought as part of the application, with no comments received. Due to the expiration of time which comments should be received, concurrence was assumed.

- (c) it has notified the application in accordance with:*

- (i) the regulations, if the regulations so require, or*  
*(ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*

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**Comment:** In accordance with Part L of the SCDCP 2005 the application was notified from 1 May 2018 to 23 May 2018.

*(d) it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.*

**Comment:** Two (2) written submissions were received as a result of the notification period raising concerns regarding wind movement, visual privacy, solar access, streetscape compatibility and dust generation during the construction phase. The concerns raised in the submissions are discussed in Section 4.15(1)(d) of the report.

**(3)** *In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in Section 4.15(1) as are of relevance to the development the subject of the application.*

**Comment:** An assessment of the modification application against the matters referred in Section 4.15(1) of the *Environmental Planning and Assessment Act 1979* is included in this report.

**(3)** *The consent authority must also take into consideration the reason given by the consent authority for the grant of the consent that is sought to be modified.*

**Comment:** The original development application was granted deferred commencement consent on 6 April 2017 by the Strathfield Independent Hearing and Assessment Panel. In accordance with Clause 4.55(3), the recommendation report presented at the SIHAP meeting has been taken into consideration.

Section 79(1)(c) suitability of the site for the development of the report comments,

*“the proposed development presents an overall bulk, height and scale which is commensurate with the relevant statutory controls. The overall layout of the two (2) buildings maximizes the northerly orientation of the site, providing residents with good solar access to units, balconies and common areas”*

with the conclusion stating,

*“the proposal presents a development of good architectural merit which is considered to positively contribute to the vibrant mixed use character of the Parramatta Road precinct.”*

The approved development takes the form of two (2) separate building structures on the one addressing both Loftus Crescent and Loftus Lane street frontages with the modification seeking to construct an additional two (2) levels to Building B. No increase to the building height of the taller Building A is proposed. The development as modified through the imposition of the recommended conditions of consent achieve compliance with the minimum requirement of the ADG that will result in a built form with an overall height and building composition that will contribute to the growing housing needs of the locality in an accessible location whilst achieving good residential amenity.

## REFERRALS

### INTERNAL REFERRALS

#### Engineering Comments

Council's Engineer has commented on the proposal and has no objections from an engineering perspective as the proposed building footprint does not change and the impervious area does not increase.

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### **Waste Comments**

Council's Waste Officer provided no objection to the proposal, subject to the imposition of conditions to ensure the development provides sufficient facilities to cater for the ongoing waste needs of the future residents.

### **Traffic Comments**

Council's Traffic Engineer has commented on the proposal as follows:

*"As per RMS guide to Traffic Generating Development, the development only requires 94 car parking spaces in total, so they are compliant under all circumstances."*

## **SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979**

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within section 4.15C of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

### **4.15(1)(a) the provisions of:**

#### **(i) any environmental planning instrument**

### **STATE ENVIRONMENTAL PLANNING POLICY (SEPP) – BASIX 2004**

In accordance with the BASIX SEPP, all new housing in NSW is required to meet a designated target for energy and water reduction.

The subject application was accompanied by an amended BASIX Certificate. The Certificate indicates that the proposed development meets the targets for water, thermal comfort and energy. Conditions of consent have been recommended to ensure future compliance with the Certificate

### **STATE ENVIRONMENTAL PLANNING POLICY NO 55 – REMEDIATION OF LAND**

State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55) requires Council to consider whether the site is suitable in its current state, contaminated state or following the completion of remediation works for the purposes for which development consent is being sought.

The proposed development as modified is contained entirely within the footprint of the approved residential flat building and involves no additional excavation works. Accordingly, the subject development application is considered unlikely to alter the suitability of the site for the purposes of the proposed development.

### **STATE ENVIRONMENTAL PLANNING POLICY (INFRASTRUCTURE) 2007**

The original development application was referred to Sydney Trains in accordance with the requirements of Clause 86(1) of the Infrastructure SEPP as the subject site is within 25m of a railway corridor and the development includes excavation for two (2) levels of basement car parking. However, 21 days have passed since notice was given to Sydney Trains and correspondence has not been received, concurrence is assumed as consent may be given under Clause 84(5) of the SEPP.

### **STATE ENVIRONMENTAL PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017**

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The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

In this instance the proposed development does not seek to remove any vegetation other than what was approved under the original consent.

**STATE ENVIRONMENTAL PLANNING POLICY NO. 65 – DESIGN QUALITY OF RESIDENTIAL APARTMENT DEVELOPMENT (SEPP 65)**

State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development (SEPP 65) aims to improve the design quality of residential apartment development in New South Wales. SEPP 65 recognises that the design of residential apartments is of significance due to the economic, environmental, cultural and social benefits of high quality design.

The design principles of the SEPP have been taken into consideration in regards to the proposed modification application. The proposed amendments will result in good design achieving a scale, bulk and scale that will contribute to the desire future character of the Homebush Precinct within the Parramatta Road corridor.

**Apartment Design Guide Quality Design of Residential flat buildings**

Design Criteria	Required	Proposed	Compliance
2F – Building Separation	Five to eight storeys: 18m between habitable rooms/balconies 12m between habitable and non-habitable rooms 9m between non-habitable rooms	The proposed levels 5 and 6 in Building B achieve compliance with the minimum building separation requirements through the incorporation of blank walls.	Yes.
3B – Orientation	Responsive to streetscape and site Designed to optimise solar access and minimise overlooking  Shall not further reduce solar access by more than 20%	The balconies and rooms of the additional units are orientated to the northern aspect of the site facing Loftus Lane to optimise solar access.  Amended shadow diagrams accompanied the subject application illustrating that a new shadow will be cast over the adjoining southern eastern properties. Nonetheless, the orientation of the subject site and two (2) structure design of the development enables the affected properties to receive three (3) hours of solar access.	No.
3C – Public Domain Interface	Balconies/windows orientated to overlook the public domain	The balconies of the proposed new units overlook onto the public domain (Loftus Lane).	Yes.
3D – Communal	Min. 25% (542.25m <sup>2</sup> )	The proposed modifications will	Yes.

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Open Space	Min 2h to 50% communal open space at mid-winter Consolidated area	not alter the solar access of the communal open space as approved under the original consent.	
3F – Visual Privacy	Up to 25m (5-8 storeys) <ul style="list-style-type: none"> <li>9m between habitable rooms/balconies and the boundary; and</li> <li>4.5m between non-habitable rooms and the boundary.</li> </ul>	The proposed additional units have been appropriately designed to achieve the minimum separation distances through the provision of blank walls. Except for the balconies of Units B501 and B502 where no visual privacy measures have been incorporated.  A condition of consent has been recommended for privacy screen to be installed to the common wall between the balconies of B501 and B502.	Conditions recommended.
3J – Bicycle and Car Parking	The car parking needs for the development must be provided off street.  Parking facilities for motorbikes and bicycles  As per RMS rates:  <b>0.6 spaces x 1 bedroom unit:</b> 0.6 x 17 = 10.2 spaces  <b>0.9 spaces x 2 bedroom unit:</b> 0.9 x 67 = 60.3 spaces  <b>1.4 spaces x 3 bedroom unit:</b> 1.4 x 4 = 5.6 spaces  <b>1 space x 5 units (visitor parking)</b> = 17.6 spaces  <b>TOTAL REQUIRED:</b> 93.7 spaces	The proposal does not seek to alter the approved on-site parking arrangements. A total of 98 spaces are provided, exceeding the minimum requirement of 94. Notwithstanding the distribution of residential and visitor spaces is to be amended so as to reflect the 18 minimum number of visitors spaces required.  Whilst no modifications are proposed to the number of parking spaces, it is noted that Condition No. 20 incorrectly states that 99 car parking spaces are provided. Accordingly, it is recommended that the Condition is amended to correctly reflect the number of car parking spaces provided.	Condition No. 20 to be amended.
4A – Solar and Daylight Access	Min. 70% (61.6 units) receives 2 hours solar access.  Max. 15% units have no solar access Light wells, skylights and highlight windows are only to be a secondary source where sunlight is limited Design incorporates shading and glare control.	90% (80) of the total number of units in the development receive a minimum of 2 hours of solar access.	Yes.
4B – Natural Ventilation	Min. 60% units are cross ventilated	70% (62) of the total number of units are cross ventilated. The additional eight (8) units	Yes. Condition of consent recommended.

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		achieve natural cross ventilation through the provision of fresh air via the open corridor design of levels 5 and 6. A condition of consent has been recommended to ensure this feature is complied with.	
4C – Ceiling Heights	Habitable: 2.7m Non-habitable: 2.4m 2 storey apartments: 2.7m main living area, 2.4m mezzanine Mixed Use: 3.3m ground floor.	All units are provided with a minimum of 2.7m ceiling heights to habitable rooms.	Yes.
4D – Apartment Size and Layout	1 bed: 50m <sup>2</sup> 2 bed: 70m <sup>2</sup> 3 bed: 90m <sup>2</sup> Additional bathrooms +5m <sup>2</sup> Each habitable room must have a window > 10% floor area of the room. If open plan layout =max 8m from a window Master bed: min 10m <sup>2</sup> Other bedroom: min 9m <sup>2</sup>  Living room min. width: 1 bed: 3.6m 2 and 3 bed: 4m	All (88) units meet the minimum unit size requirements.  All habitable rooms are provided with at least one (1) window.	Yes
4E – Private Open Space and Balconies	Studio: 4m <sup>2</sup> 1 bed: 8m <sup>2</sup> , min depth 2m 2 bed: 10m <sup>2</sup> , min depth 2m	All units are provided with a private open space area meeting the area and depth size requirements.	Yes.
4F – Common Circulation and Spaces	Max 8 apartments off a single core	No more than seven (7) apartments are accessed off a single core.	Yes.
4G – Storage	Studio: 4m <sup>3</sup> 1 bed: 6m <sup>3</sup> 2 bed: 8m <sup>3</sup> 3 bed: 10m <sup>3</sup> At least 50% within the basement	Condition No. 27 was imposed under the original consent to ensure adequate storage space is provided according to the unit sizes as per the ADG.	Refer to Condition No. 27.
4H – Acoustic Privacy	Orientate building away from noise sources Party walls limited or insulated, like rooms together Noise sources (e.g. garage doors, driveways) located at least 3m from bedrooms	Condition No. 6 of the original consent requires the recommendations contained in the approved acoustic report to be implemented.	Refer to Condition 6.
4K – Apartment Mix	Variety of apartment types Appropriate apartment mix Different apartments distributed throughout the building.	The proposal seeks to modify the apartment mix to the following: <ul style="list-style-type: none"> <li>• (17) x 1 bedroom units;</li> <li>• (67) x 2 bedroom units; and</li> <li>• (7) x 3 bedroom units.</li> </ul>	Yes.



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		The mix and its distribution are considered appropriate.	
4M – Facades	Composition of building elements.  Defined base, middle and top Building services integrated into the façade	The two proposed additional levels have replicated the facade composition of the level below (level 4) so as to integrate with the approved development.	Yes
4N – Roof Design	Roof design integrated into the building	The upper most form of Building B has incorporated a flat roof form to visually soften the scale and bulk of the building from the streetscape.	Yes.
4Q – Universal Design	Variety of adaptable apartments (20%) achieving Livable Housing Guideline's silver level universal design features	Condition No. 158 is to be amended to ensure a minimum of 20% of the total number of units to achieve the Livable Housing Guidelines.	Yes. Amendment of Condition No. 158.

### **Strathfield Local Environmental Plan (SLEP) 2012**

An assessment of the proposal against the general aims of SLEP 2012 is included below:

<b>Cl. 1.2(2)</b>	<b>Aims</b>	<b>Complies</b>
<b>(a)</b>	<i>To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield</i>	<b>Yes</b>
<b>(b)</b>	<i>To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development</i>	<b>Yes</b>
<b>(c)</b>	<i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	<b>Yes</b>
<b>(d)</b>	<i>To provide opportunities for economic growth that will enhance the local community</i>	<b>Yes</b>
<b>(e)</b>	<i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	<b>Yes</b>
<b>(f)</b>	<i>To identify and protect environmental and cultural heritage</i>	<b>Yes</b>
<b>(g)</b>	<i>To promote opportunities for social, cultural and community activities</i>	<b>Yes</b>
<b>(h)</b>	<i>To minimise risk to the community by identifying land subject to flooding and restricting incompatible development</i>	<b>Yes</b>

#### **Comments:**

The proposed additional fifth and sixth storeys have been designed so as to align with the building envelope of the storey below. Whilst this is appropriate for Building B as a stand alone structure, the overall building for the subject site comprises two individual buildings which portray as one building when viewed from the streetscape. To maintain this cohesive design and promote a spatially appropriate use of the land a condition of consent has been recommended for the two (2) most eastern units of levels 5 and 6 (Units B504 and B604) to be deleted.

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### Permissibility

The site is zoned R4 High Density Residential, pursuant to *SLEP 2012* residential flat building are permissible with consent. No change is proposed to the approved use of the site for the purpose of a residential flat building.

### Zone Objectives

The proposed modifications to the internal and external layout of the residential units, apartment mix and an additional level to Building B are consistent with the objectives of the R4 High Density Residential zone, providing for the housing needs of the community.

### Part 4: Principal development standards

The modification application seeks to amend the approved height and floor space ratio of the residential flat building as follows:

#### Height of building

Cl.	Standard	Controls	Approved	Proposed	Complies
4.3A	Exception to height of building (Parramatta Road Corridor)	29m	30.75m	Unchanged	N/A
<b>Objectives</b>					<b>Complies</b>
(a)	To ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area				Yes
(b)	To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area				Yes
(c)	To achieve a diversity of small and large development options.				Yes

#### Comments:

The modification application does not seek to increase the maximum building height of the development (Building A), rather the construction of an additional two (2) levels to Building B fronting Loftus Lane.

#### Floor space ratio

Cl.	Standard	Controls	Proposed	Complies
4.4A	Exception to floor space ratio (Parramatta Road Corridor)	2:1 (5,866m <sup>2</sup> )	2.17:1 (6,389.95m <sup>2</sup> )	No. Variation to development standard = 8.93%
<b>Objectives</b>				<b>Complies</b>
(a)	To ensure that dwellings are in keeping with the built form character of the local area			Yes
(b)	To provide consistency in the bulk and scale of new dwellings in residential areas			Yes
(c)	To minimise the impact of new development on the amenity of adjoining properties			Yes
(d)	To minimise the impact of development on heritage conservation areas and heritage items			N/A
(f)	In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor			Yes

#### Comments:

The proposal seeks to construct an additional two (2) levels to Building B comprising a total of eight (8) residential units. The proposed additions will increase the gross floor area of the site to

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2.17:1 resulting in an 8.93% (523.95m<sup>2</sup>) variation to the 2:1 FSR standard under Clause 4.3A Exception to Floor Space Ratio (Parramatta Road Corridor) of the *SLEP 2012*. The extent of variation is considered excessive with an uneven building rhythm when the two (1) structures are viewed as one integrated building from the public domain. It is recommended that a condition requiring the deletion of two (2) units is imposed. The reduction in units (and subsequent gross floor area) will provide a development better aligned with the anticipated density for the site.

The FSR under the Clause 4.3A and not Clause 4.3 are applicable to developments that have achieved the consolidation of lots as per the Key Site Map (Map #67, 40-42 Loftus Crescent).

**Clause 4.6 Exceptions to Development Standards - Floor Space Ratio**

As demonstrated in the 4.4A Floor Space Ratio table above, the application seeks a variation to the maximum 2:1 FSR of the subject site under *SLEP 2012*. The application was lodged under Section 4.55(2) of the *EP&A Act 1979*, which is a 'free standing provision' requiring the Consent Authority to take into consideration the development standards of the applicable LEP notwithstanding any breaches of the development standards as part of the general considerations under s4.15 of the *EP&A Act 1979* (*North Sydney Council v Michael Standley & Associates Pty Ltd 1998* and *Gann v Sutherland Shire Council 2008*). Nonetheless, the applicant submitted a Clause 4.6 variation statement is assessed below and forms the overall assessment of the 4.4A development stand.

- The proposed increase in floor area is a result of the proposed additional two (2) levels to Building B fronting Loftus Lane providing an additional eight (8) residential units. The provision of additional residential units is consistent with the objectives of the R4 High Density Residential land use zoning of the subject site, providing for the growing housing needs of the locality in an accessible location that is walking distance to Homebush Train Station and bus services.
- The proposed FSR of 2.17:1 is an 8.93% (523.95m<sup>2</sup>) variation to the 2.1:1 maximum FSR permissible under the *SLEP 2012* for the subject site. Whilst the proposed FSR complies with the 2.2:1 FSR permissible under the Parramatta Road Corridor Urban Transformation Strategy, numerically the extent of the variation is considered to be excessive. It is noted that Loftus Lane and Loftus Crescent comprises a mixture of completed, under construction and undeveloped consolidated allotments. Consequently, the precinct is deemed to be in state of transition from a development standard context. Therefore, although a variation to the maximum permissible FSR for the subject site under the *SLEP 2012* is considered acceptable from a site specific context, the proposed extent is not. Accordingly, a condition of consent has been recommended for the most south-eastern units on levels 5 and 6 in Building B proposed under the subject application (B504 and B604) are to be deleted, thereby reducing the variation to a reasonable extent from 8.93% to 6.37%.
- To achieve a cohesive building form that alleviates the appearance of the additional floor area, a condition of consent has been recommended for the exposed facebrick components of the building façade on the lowers levels to be continued on the additional levels; the subject of this modification.

**Part 5: Miscellaneous Provisions**

The proposed modifications have been considered in accordance with the development standards contained in Part 5 of the *SLEP 2012* and are considered to satisfy the provisions of the Part.

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## Part 6: Local Provisions

### 6.9 Additional provisions for development in Parramatta Road Corridor

The subject site forms a Key Site within the Parramatta Road Corridor with the subject modification application achieving an appropriate development outcome that aligns with the future character of the locality. The development provides for the housing needs of the community in the location within close proximity to Homebush Railway Station, Parramatta Road, the Sydney Markets, schools and local services.

#### 4.15(1)(a)(ii) any draft environmental planning instruments

The Draft Strathfield Development Control Plan – Parramatta Road Precinct was on public exhibition from 8 May 2018 to 15 June 2018. The proposed Draft DCP states that the document is to be read in conjunction with the Strathfield Local Environmental Plan 2012 and the Parramatta Road Urban Transformation Strategy.

## Section 8: Key Urban Design Principles for the Homebush Central Precinct

Principle	Objective	Proposed
<b>Design Excellence</b>	<p>Create a sustainable and liveable precinct for people through the integration of design excellence.</p> <p>Development is distinctive, visually interesting and appealing.</p> <p>Designs of buildings encompass context and built form, landscaping and connection with the public domain.</p> <p>Universal design and accessibility is championed within the Precinct.</p> <p>Buildings achieve a high standard of design excellence and public domain.</p>	<p>The proposed additional units are appropriately orientated to Loftus Lane whilst achieving adequate solar access.</p> <p>A condition of consent has been recommended for the exposed facebrick 'PGH dusk to be continued on levels 5 and 6 to create cohesive building facade.</p> <p>In accordance with Objective 4Q-1 of the ADG, a minimum of 20% of the total number of units are to be designed to achieve the Universal Design standards. No condition pertaining to this requirement was imposed under the parent consent and has accordingly been recommended.</p>
<b>Land Use</b>	<p>Provide for a diverse mix of residential accommodation to suit the needs of the future population.</p>	<p>The application proposes the following apartment mix:</p> <ul style="list-style-type: none"> <li>• 17 x 1 bedroom units;</li> <li>• 67 x 2 bedroom units; and</li> <li>• 4 x 3 bedroom units.</li> </ul> <p>The mix is considered appropriate and is consistent with the R4 High Density Residential zoning of the site.</p>
<b>Street Frontage</b>	<p>Address the street with a six storey podium to ensure a comfortable human scale.</p> <p>Design the public domain in accordance with Council's specification to provide an attractive destination to residents and visitors to the Precinct.</p>	<p>The proposal seeks to add two (2) additional storeys to Building B replicating the recessed building envelope of the level below achieving a comfortable human scale.</p>
<b>Built Form</b>	<p>Provide quality built form outcomes.</p> <p>Provide good residential amenity in</p>	<p>The proposed modification achieve compliance with the solar access, natural cross ventilation and visual privacy minimum</p>

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<b>Principle</b>	<b>Objective</b>	<b>Proposed</b>
	<p>terms of privacy and built form by complying with the SEPP 65 Apartment Design Guide.</p> <p>Introduce breaks in the building massing at upper levels to reduce the building's apparent scale.</p> <p>Buildings should incorporate interesting roof forms and the visual intrusiveness of service elements such as service plant, electrical substations, lift over-runs and the like shall be minimised by integrating them into the</p> <p>Facades must be articulated and employ materials and finishes to enhance and complement the character of the streetscape.</p>	<p>requirements of the ADG.</p> <p>A flat roof is provided to level 6, thereby softening the overall built form.</p> <p>To achieve a cohesive building façade, a condition of consent has been recommended for the exposed facebrick elements to be continued on the additional levels.</p>
<b>Public Domain</b>	<p>Public space is formed primarily by consistent building alignment.</p> <p>Buildings are consistently aligned and address the public domain with major facades creating good spatial definition of streets and parks.</p>	<p>The proposal does not seek to alter the front setback of the building as approved under the original consent.</p>

### Specific Setback Controls

#### 12.2 Loftus Lane

<b>Objectives</b>	<b>Complies</b>
<b>(a)</b> <i>Retain Loftus Lane's primary role as a service access lane to provide access to the rear of properties fronting Parramatta Road.</i>	<b>Yes</b>
<b>(b)</b> <i>Developments on the southern side of Loftus Lane are to be setback to allow for the widening of the laneway.</i>	<b>Yes</b>
<b>(c)</b> <i>Loftus Lane is to provide for the secondary east/west movement of vehicles, bicycles and pedestrians.</i>	<b>Yes</b>

#### Setbacks to Loftus Lane (Southern side of the Lane)

<b>Element</b>	<b>Required</b>	<b>Proposed</b>	<b>Compliance</b>
Setbacks: Levels 2-5	Nil setback taken from the 4.9m laneway dedication.	No modifications to levels 2 to 5 are proposed.	N/A
Setbacks: Levels 6 and above	8m setback taken from the laneway dedication.	The proposed additional level to Building B is to provide a nil front setback (including the balcony zone). However, the building opposite the site with direct frontage to Loftus Lane is only five storeys with a communal open space on the sixth floor. Therefore, the proposed nil setback is	Acceptable on merit.

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		considered appropriate.	
Setbacks: Other	The maximum street wall height from the ground floor (Level 1) is 16m.  The balcony zone is to be within the setback zone. No encroachment is permitted within the building setback.	Whilst the modified development exceeds the maximum street wall height, the side setbacks of proposed levels 5 and 6 of Building B in conjunction with the side setbacks of Building A create an appropriate building form from the Loftus Lane public domain.	Acceptable on merit.

**4.15(1)(a)(iii) any development control plan**

**STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005**

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

**STRATHFIELD DEVELOPMENT CONTROL PLAN NO 20 – PARRAMATTA ROAD CORRIDOR AREA**

DCP – 20 is of relevance to the assessment of an application for a residential flat building within the Parramatta Road Corridor Area and as such applies to the subject modification application.

Clause 6A of SEPP 65 confirms that in the event of any inconsistency between the controls of the ADG and Council's Development Control Plan, the objectives, design criteria and design guidance set out in the ADG prevail.

Section	Development Control	Required	Proposed	Compliance
2.3	Building Height	Proposal to conform to building height identified in figure 12, which requires max. 3 storeys.	Refer to previous discussion of building height under SLEP 2012	N/A
2.4	Minimum Unit Sizes	Proposal to comply to the following min. unit sizes:  1 bed – 70m <sup>2</sup> 2 bed - 85m <sup>2</sup> 3 bed - 100m <sup>2</sup>	The unit sizes of the ADG prevail.	N/A
2.5	Roof Form	Provide an interesting skyline and enhance views from adjoining developments.	The development provides a flat roof form which soften the visual bulk of the building.	Yes.
2.6	Façade Composition	To ensure that new development have well-articulated and harmonious built edges defining the public domain.  To encourage materials used in	The proposed additional levels to Building B are appropriately articulated.  The approved building façade facing Loftus Lane comprises of exposed facebrick and rendered paint finish. To connect the approved and proposed building	Condition of consent has been recommended.

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Section	Development Control	Required	Proposed	Compliance
		new developments to be compatible with adjoining developments and the streetscape in terms of type, form and colour.	levels a condition of consent has been recommended for the exposed facebrick to be continued to levels 5 and 6. The approved schedule of colours and finishes, including the exposed facebrick is compatible with existing and recently approved developments within the streetscape.	
2.8	Visual and acoustic privacy	Visual privacy to be provided by separation or screening.	ADG prevails	N/A
		Main living areas oriented to the street or rear garden to prevent overlooking.	ADG prevails	N/A
		Casual surveillance maintained of public streets and spaces with at least one habitable room window facing that area.	Passive surveillance of the public domain is achieved primarily through balcony orientation to both Loftus Crescent and Loftus Lane.	Yes
2.9	Private Open Space	Common open space: 10% of site or 100m <sup>2</sup> (whichever is greater); Min dimensions of 7m;.	ADG prevails	N/A
	Balconies	Min requirements: <ul style="list-style-type: none"> <li>• 12m<sup>2</sup> up to 2 bed; and</li> <li>• 15m<sup>2</sup> for 3 or more bed;</li> </ul> Min. depth 2.0m;  Located off living areas and with good solar access; and  Balcony designed to provide visual privacy.	ADG prevails.	N/A
	Energy Efficiency	Achieve required BASIX rating.	BASIX satisfied.	Yes.
2.10	Solar Access	Main living and 50% of POS receive min. 3 hours solar access.	ADG prevails	N/A
2.10	Solar access	Min. 3 hours solar access maintained to habitable rooms and POS of adjoining development.	ADG prevails	N/A
2.12	Access for people with	Car parking rates:	ADG prevails	Yes.

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Section	Development Control	Required	Proposed	Compliance
	mobility disabilities	1 and 2 bed – 1 space  3 bed – 1.5 spaces required  Visitor – 1 space per 5 units		
		15% of units designed to allow occupation by older people and people with disabilities.	ADG prevails	Yes.

#### PART H - WASTE MANAGEMENT (SCDCP 2005)

The proposed modification application does not seek any alterations to the on-site waste storage and collection arrangements as approved under the original consent. Notwithstanding, the number of waste and recycling bins is to be increased as per Council's Waste Officer comments as a result of the increase number of residential units.

#### **4.15(1)(iia) any planning agreement or draft planning agreement**

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

#### **(i) matters prescribed by the regulations**

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601-1991: *The Demolition of Structures*, in the determination of a development application.

Appropriate conditions are included on the original consent to ensure compliance with any relevant regulations.

#### **(ii) any coastal zone management plan**

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

The proposed development is located on a site that is affected by the existing 1 in 100 year flood event or is likely to be as a result of the planning benchmarks for sea level rise mentioned above. This modification application does not alter assessment of the original application against the relevant provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.



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**4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality**

**Building Façade**

The approved building façade facing Loftus Lane comprises of exposed facebrick and a rendered paint finish with the proposed additional levels adopting the same rendered paint finish (shown in Figure 1). To connect the approved and proposed building levels from a façade context to visually appear as a whole development and not as disjointed components of a building, a condition of consent has been recommended for the exposed facebrick (PGH Dusk) to be continued to levels 5 and 6. The imposition of this condition will connect the main façade features of the approved building with the proposed additional levels creating a cohesive façade appearance.



**Figure 1:** View of the development from Loftus Lane as proposed to be modified.

**Solar Access**

The proposed modification seeks to construct two (2) additional levels to Building B fronting Loftus Lane, accordingly amended shadow diagrams demonstrating the approved and proposed additional levels accompanied the subject application (as shown in Figure 2). The diagrams illustrate that the additional levels will create a new shadow over the adjoining south-eastern properties. However, the orientation of the subject and the design of the development as two (2) individual structures enables the properties affected by the new shadow to receive three (3) hours of solar access. In addition, a condition requiring the deletion of Units B504 and B604 has been recommended and will enhance the solar access outcome.

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**Figure 2:** Shadow diagrams of the development as approved and as proposed to be modified.

**Deletion of Units B504 and B604**

As discussed throughout this report, a condition of consent has been recommended for the deletion of the most south-eastern units on the proposed additional levels 5 and 6 (B504 and B604). Although a variation to the FSR development standard is considered acceptable in this instance, the 8.93% (523.95m<sup>2</sup>) extent of the variation above the maximum permissible FSR is not founded. The deletion of the two (2) units will result in a more reasonable FSR variation from 8.93% (523.95m<sup>2</sup>) to 6.37% (373.95m<sup>2</sup>). Additionally, the imposition of the recommended condition will enhance the residential amenity of the residents on the subject site and adjoining properties. Specifically increasing the building separation between the adjoining properties will enable vistas for solar access and ensure that the landscaping below on level 4 receives adequate solar access.

**Natural Ventilation**

Objective 4B-3 of the ADG requires that at least 60% of the units are naturally cross ventilated. The additional units proposed under the modification application comply with this requirement by an open common corridor design. To ensure this design feature is implemented, a condition of consent has been recommended pertaining to the design (Condition No. 161).

**4.15(1)(c) the suitability of the site for the development**

The approved development as modified by the current section 4.55(1A) application does not alter the suitability of the development to the site. The modification(s) sought as part of this application

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involve minimal environmental impact and will result in substantially the same development for which consent was originally granted.

**4.15(1)(d) any submissions made in accordance with this Act or the regulations**

In accordance Part L of the Strathfield Consolidated Development Control Plan 2005, the subject application was put on public notification from 1 May 2018 to 23 May 2018 with two (2) written submissions received raising the following concerns:

*1. Solar Access*

*Concern is raised that the additional proposed floors will create a shadow onto the neighbouring building.*

Assessing Officer's Comment:

The application was accompanied by amended shadow diagrams illustrating the shadows cast by the development as approved and proposed by the modification. Whilst the additional floor will slightly reduce the solar access of the adjoining eastern properties, three (3) hours of solar access will still be received.

*2. Wind Movement*

*Concern is raised that the additional height will influence the wind movement along Loftus Lane.*

Assessing Officer's Comment: The application was accompanied by a site analysis plan demonstrating that winter and summer winds flow around the site with the side setbacks and adjoining properties dispersing large gusts of wind that may occur.

*3. Loss of Views and Privacy*

*Concern is raised for the loss of privacy for the neighbouring building on the northern side of Loftus Lane.*

Assessing Officer's Comment: The subject application has been assessed against the ADG, the Parramatta Road DCP and the Draft Parramatta Road DCP and is considered to be appropriately designed with conditions imposed to maintain the residential amenity of the surrounding properties.

*4. Traffic and Parking*

*Concern is raised regarding the availability of street parking and increase in traffic in the area. It is already difficult to navigate the street due to parked vehicles and the limited road width.*

Assessing Officer's Comment: The development provides 98 on-site car parking spaces, exceeding the minimum requirement in accordance with the RMS rates. Under the original development application a Voluntary Planning Agreement was entered into between the development Council for the dedication of land with a minimum width of 4.9m for the purpose of expanding the width of Loftus Lane. The road widening works are to be completed and dedicated to Council prior to the issue of an Occupation Certificate.

*5. Loftus Lane Compatibility*

*The existing residential flat buildings on the northern side of Loftus Lane are all four storey buildings. The southern side of Loftus Lane should maintain the same approach so the building heights are appropriate for the street width. The proposed modification will create a precedent and other developments will also increase their building heights along the Loftus Lane.*

Assessing Officer's Comment:

The subject site and adjoining properties are located within the Parramatta Road Corridor, subsequently over the years the planning provisions pertaining to the zoning, building heights and FSR of the locality have transitioned from low to high density to cater for the growing housing

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needs of the Sydney population. A difference between building heights and scale is a reflection of the planning provisions at the time the development was approved.

*6. Noise and dust pollution*

*Concern is raised regarding the noise and dust pollution as a result of the construction phase of the development.*

Assessing Officer's Comment: Conditions pertaining to noise and dust pollution during the demolition and construction phases of the development were imposed under the original development consent.

*7. Property value*

*Concern is raised that the proposed development will negatively impact on the value of property prices.*

Assessing Officer's Comment: Property prices are not a matter considered under Section 4.15 of the EP&A Act 1979.

#### **4.15(1)(e) the public interest**

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation. The approved development as modified by the current modification application is not contrary to the public interest.

### **SECTION 7.11 CONTRIBUTIONS**

Section 7.11 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Section 7.11 Contributions Fees applicable to the original development consent were paid on 8 November 2017. However, as the unit configurations (additional units) are proposed to be modified under the subject application, the Contribution Fees are re-calculated as follows:

Provision of Community Facilities	\$ 168,625.51
Provision of Major Open Space	\$ 767,195.60
Provision of Local Open Space	\$ 500,222.03
Provision Roads and Traffic Management	\$ 48,698.85
Administration	\$ 14,540.16
<b>Total</b>	<b>\$1,499,282.15</b>

### **CONCLUSION**

The application has been assessed having regard to Section 4.15 of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval.

### **RECOMMENDATION**

Pursuant to Section 4.55(2) of the Environmental Planning and Assessment Act 1979, the proposed modification(s) to Development Consent No. 2016/172 for involving the construct an additional eight (8) x 2 bedroom units over two (2) levels to Building B at 40-42 Loftus Crescent, Homebush be **APPROVED**, subject to:

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for modification involving an increase to the building height, unit alterations and additions and stormwater culvert design amendments at 40-42 Loftus Crescent, Homebush be **APPROVED**, subject to:

1. The original conditions of consent of Development Application No. 2016/172 as granted deferred commencement by SIHAP on 5 April 2017 for the demolition of existing structures and construction of a part nine (8), part (5) storey residential flat building containing (80) units consisting of (19) x 1 bedroom, (56) x 2 bedroom and five (5) x 3 bedroom units over two (2) levels of basement car parking.
2. As modified by the Section 96(2) Application (DA2016/172/01) approved by IDAP on 26 July 2017 involving the construction of an additional half level of basement car parking;
3. As modified by the Section 96(2) Application (DA2016/172/02) approved by IDAP on 15 November 2017 involving an increase to the building height, unit alterations and additions and stormwater culvert design amendments.
4. As modified by the Section 4.55(2) application (DA2016/172/03) to construct an additional eight (8) x 2 bedroom units over two (2) levels to Building B involving:
  - Amendment to Condition No. 17;
  - Correct numerical error to Condition No. 20;
  - Addition of Condition No. 117A;
  - Amendment to Condition No. 158;
  - Addition of Condition No. 159;
  - Addition of Condition No. 160; and
  
  - Addition of Condition No. 161

The conditions that have been modified as part of this application are highlighted in red and bold.

Accordingly Development Consent No. 2016/172 is approved as follows:

**Development Description:**

Demolition of existing structures and construction of part nine (9), part seven (7) storey residential flat building containing (86) units consisting of (17) x 1 bedroom, (65) x 2 bedroom and (4) x 3 bedroom units over two and a half levels of basement car parking.

**Plans**

1. The development shall be completed in accordance with the approved plans and documents listed below, prior to the building being used or occupied, and subject to any amendments "in red" and any variation as required by conditions of this consent:

Site Plan, Project No.16-103, Drawing number DA1002, prepared by Urbanlink, received by Council 23 November 2016.

Demolition Plan, Project No.16-103, Drawing No.DA1003, prepared by Urbanlink, received by Council 23 November 2016.

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Floor Plans – Basement 3, Project No.16-103, Drawing number DA2100 Issue E, prepared by Urbanlink, received by Council 3 October 2017.

Floor Plans – Lower Ground & B2, Project No.16-103, Drawing number DA2102 Issue E, prepared by Urbanlink, received by Council 3 October 2017.

Ground Floor & Level 1 Plan, Project No.16-103, Drawing number DA2103 Issue E, prepared by Urbanlink, received by Council 3 October 2017.

**Floor Plans - Level 02, 03 & 04 Plans, Project No.16-103, Drawing number DA2104 Issue F, prepared by Urbanlink, received by Council 12 April 2018.**

**Floor Plans - Level 05 & 06 Plans, Project No.16-103, Drawing number DA2105 Issue F, prepared by Urbanlink, received by Council 12 April 2018.**

**Floor Plans - Level 07 & 08 Plans, Project No.16-103, Drawing number DA2106 Issue F, prepared by Urbanlink, received by Council 12 April 2018.**

**Elevations – South Building A, Project No.16-103, Drawing number DA3001 Issue F, prepared by Urbanlink, received by Council 12 April 2018.**

**Elevations – North Building B, Project No.16-103, Drawing number DA3002 Issue F, prepared by Urbanlink, received by Council 12 April 2018.**

**Elevations – South Building B, Project No.16-103, Drawing number DA3003 Issue F, prepared by Urbanlink, received by Council 12 April 2018.**

**Elevations – North Building B, Project No.16-103, Drawing number DA3004 Issue F, prepared by Urbanlink, received by Council 12 April 2018.**

**Elevations – East/West, Project No.16-103, Drawing number DA3005 Issue F, prepared by Urbanlink, received by Council 12 April 2018.**

**Section AA/BB, Project No.16-103, Drawing number DA3101 Issue F, prepared by Urbanlink, received by Council 12 April 2018.**

**Section CC/FF, Project No.16-103, Drawing number DA3102 Issue F, prepared by Urbanlink, received by Council 12 April 2018.**

Landscape Plan 01, Drawing No. LA101, Issue A prepared by Matthew Higginson Landscape Architecture, received by Council 7 July 2017.

Landscape Plan 02, Drawing No. LA102, Issue A prepared by Matthew Higginson Landscape Architecture, received by Council 7 July 2017.

Landscape Plan 03, Drawing No. LA103, Issue A prepared by Matthew Higginson Landscape Architecture, received by Council 7 July 2017.

Landscape Plan 04, Drawing No. LA104, Issue A prepared by Matthew Higginson Landscape Architecture, received by Council 7 July 2017.

Waste Management Plan prepared by Urbanlink, received by Council 23 November 2016.

Stormwater Plan – General Notes, Drawing No.A6611- Cover, Revision C, prepared by Alpha Engineering & Development, received by Council 20 February 2017.

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Sediment & Erosion Control Plan, Drawing No.A6611-SW01, Revision C, prepared by Alpha Engineering & Development, received by Council 20 February 2017.

Basement 2 Drainage Plan, Drawing No.A6611-SW02, Revision C, prepared by Alpha Engineering & Development, received by Council 20 February 2017.

Basement 1 Drainage Plan, Drawing No.A6611-SW03, Revision C, prepared by Alpha Engineering & Development, received by Council 20 February 2017.

Ground Floor Drainage Plan, Drawing No.A6611-SW04, Revision C, prepared by Alpha Engineering & Development, received by Council 20 February 2017.

Level 8 Drainage Plan, Drawing No.A6611-SW05, Revision C, prepared by Alpha Engineering & Development, received by Council 20 February 2017.

Stormwater Section Details Plan, Drawing No.A6611-SW06, Revision C, prepared by Alpha Engineering & Development, received by Council 20 February 2017.

MUSIC Modelling & Catchment Plan Plan, Drawing No.A6611-SW07, Revision C, prepared by Alpha Engineering & Development, received by Council 20 February 2017.

Floor Stormwater Drainage, Drawing No. CI-0001, Revision C, prepared by Lindsay Dynan, received by Council 3 October 2017.

Basement 1 Stormwater Drainage Plan, Revision C, prepared by Lindsay Dynan, received by Council 3 October 2017.

Civil Details, Drawing No. CI-0003, Revision B, prepared by Lindsay Dynan, received by Council 3 October 2017.

Preliminary Geotechnical Investigation Report, prepared by Ground Technologies, received by Council 23 November 2016.

Traffic and Parking Assessment Report, prepared by Varga traffic Planning Pty Ltd, received by Council 23 November 2016.

Acoustic Report prepared by Renzo Tonin & Associates received by Council 23 November 2016.

Phase 1 Preliminary Site Investigation prepared by DLA Environmental DL3469\_S002541 received by Council 23 November 2016

Arboricultural Report prepared by Earthscape Horticultural Services, received by Council 23 November 2016.

**BASIX Certificate No.775179M\_04, issued on 11 April 2018, received by Council on 12 April 2018.**

Flood Statement and Overland Flow Design Report prepared by Lindsay Dynan, Project No. 00012950 dated 16 October 2017 and 09 October 2017.

Access Compliance Report, prepared by Vista Access Architects, received by Council 23 November 2016.

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Geotechnical Investigation Report prepared by Ground Technologies (Ref No. GTE-472) dated 13 January 2015, and Ground Technologies' letter Ref No GTE-472 Review dated March 2016;

Structural Design of Shoring System prepared by Australian Consulting Engineers, Job No 170391 – drawing nos S0000-S0002, S0100C-S0103C, S0404A, S0105A, S0300BS0500B, all dated June 2017;

Certification by Australian Consulting Engineers regarding the shoring system dated 3 May 2017;

Survey by Mitchell Land Surveyors drawing no 1269Aa Rev 00 dated 27 January 2016;

Survey Certificate by Mitchell Land Surveyors ref 1269AB-02 dated 3 March 2016.

2. A Construction Certificate must be obtained either from Council or a privately accredited person before commencement of any construction associated with this consent.
3. The Principal Certifying Authority must be appointed prior to work commencing to supervise the work and authorise occupation/use of the building when completed.
4. A copy of the endorsed stamped plans and specifications, together with a copy of the Development Consent, Construction Certificate and any approved Traffic Management Plan are to be retained on site at all times.

### **Special Conditions**

5. In accordance with the offer made by the applicant (Novati Construction Pty Ltd) dated 30 June 2015 and Drawing No. 2015-01-VPA01 Issue A2, a Voluntary Planning Agreement shall be entered into between the property owner/developer and Strathfield Council for the dedication of 215m<sup>2</sup> of land with a minimum width of 4.9m for the purpose of an extension of Loftus Laneway adjacent to the northern boundary of the site. The agreement shall be pursuant to Section 93F of the Environment Planning and Assessment Act 1979. The Voluntary Planning Agreement shall be finalised **prior to the issue of a Construction Certificate** for above ground works.
6. Full compliance shall be given to the recommendations contained in the endorsed Acoustic Report prepared by Renzo Tonin & Associates prepared 10 November 2016.
7. Full compliance shall be given to the recommendations contained in the endorsed Preliminary Site Investigation Report prepared by DLA Environmental prepared May 2015.
8. **Prior to demolition of the existing structures**, a Hazardous Materials Survey should be conducted and any hazardous material should be removed from the structures and an Asbestos Clearance Certificate provided by a suitably qualified Asbestos Assessor.
9. **Prior to the issue of a Construction Certificate**, amended plans shall be prepared which provide a communal clothes-drying facility in a suitable location behind the front building line.
10. **Prior to the issue of a Construction Certificate**, amended plans shall be submitted and approved by the Principal Certifying Authority demonstrating that Unit AG07 and Unit '05'



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on Level 1 in Building B (as marked on the approved plans) are increased by a minimum 1m<sup>2</sup> in size to comply with the minimum 75m<sup>2</sup> size requirements. A copy of the approved plans shall be submitted to Council for record purposes.

11. The proposed kerb inlet pit lintel is in conflict with the proposed vehicular crossing layback. The kerb inlet pit lintel needs to be 1m away from the layback of the vehicular crossing. As such, **prior to issue of a Construction Certificate**, an amended plan prepared by a suitably professional civil/hydraulic engineer shall be submitted to Council demonstrating the following modification:
  - (a) Proposed kerb inlet pit lintel 1m away from the layback of the proposed vehicular crossing.

**General**

12. The building shall not be occupied or used until the development has been completed in accordance with the conditions of this consent, construction has been completed in accordance with the Construction Certificate and an Occupation Certificate has been issued by the Principal Certifying Authority.
13. For residential flat developments which are subject to State Environmental Planning Policy (SEPP) No. 65 – Design Quality of Residential Flat Development and required to be accompanied by a design verification from a qualified designer under Clause 50(1A) of the Environmental Planning and Assessment Act Regulation 2000, a certifying authority must not issue:
  - (a) a **Construction Certificate** unless the certifying authority has received a design verification statement from a qualified designer that verifies that the plans and specifications achieve or improve the design quality of the development for which development consent was granted having regard to the design quality principles set out in Part 2 of SEPP No. 65, in accordance with Clause 143A of the Regulations; and
  - (b) an **Occupation Certificate** to authorise a person to commence occupation or use of the residential flat building unless the certifying authority has received a design verification statement from a qualified designer that verifies that the residential flat development achieves the design quality of the development as shown in the plans and specifications in respect of which the construction certificate was issued, having regard to the design quality principles set out in Part 2 of SEPP No. 65, in accordance with Clause 154A of the Regulations.
14. A Works Permit shall be obtained from Strathfield Council at least five (5) working days prior any work (including demolition, excavation and the erection of site fencing/hording). The approved Works Permit and any approved Construction Traffic Management Plan must be complied with at all times until all demolition, building, engineering and construction work associated with the development has been completed. The permit must be retained on site at all times.
15. **Prior to the issue of a Construction Certificate**, photographs documenting any existing damage to the kerb and gutter and footpaths adjacent to the property shall be submitted to the consent authority. In the absence of this documentation, the applicant is liable for all damage that occurs to Councils' assets.
16. The applicant or any contractors carrying out works in public or Council controlled lands

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shall have public liability insurance cover to the value of \$10million and shall provide proof of such cover to Council prior to carrying out works.

### Financial Matters

17. In accordance with the provisions of Section 94(1)(b) of the Environmental Planning and Assessment Act 1979 and the Strathfield Direct Development Contributions Plan 2010-2030, a contribution in the form of cash, cheque or credit card (financial transaction fee applies) shall be paid to Council for the following purposes:

Provision of Community Facilities	\$ 168,625.51
Provision of Major Open Space	\$ 767,195.60
Provision of Local Open Space	\$ 500,222.03
Provision Roads and Traffic Management	\$ 48,698.85
Administration	\$ 14,540.16
<b>TOTAL</b>	<b>\$1,499,282.15</b>

The total amount of the contribution is valid as at the date of determination and is subject to quarterly indexation. Contributions shall be indexed at the time of payment in accordance with Clause 2.14 of the Strathfield Direct Development Contributions Plan 2010-2030 and is required to be paid to Council prior to the issue of a Construction Certificate.

The required contribution shall be paid prior to the issue of a Construction Certificate.

18. A security payment of **\$13,635.00** in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply) shall be paid to Council prior to the issue of a Construction Certificate. The security payment is GST inclusive and comprises the following:

Refundable tree protection bond	\$ 3,000.00
Refundable works bond	\$10,000.00
Non-refundable administration fee (\$127/bd)	\$ 635.00
<b>TOTAL</b>	<b>\$13,635.00</b>

The security payment covers the following matters and will be released upon satisfactory completion of these items:

- road and stormwater drainage works in roadways and public areas;
- installation and maintenance of sediment control measures for the duration of construction activities;
- tree final inspection to ensure that Council's street trees have been retained, protected or replanted in accordance with conditions of consent and/or Arborists' report for the post final inspection twelve (12) month period; and
- Ensuring no damage occurs to or building debris/materials are left on Council land including footpath, nature strip, kerb and gutter. The security bond may be used to recover the costs incurred by Council in cleaning and restoring the land

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to its original condition.

19. Fees are payable where Council is appointed as principal certifying authority to carry out the post-approval inspections. A quotation for the fees can be obtained by contacting Council and the fees shall be paid **prior to the carrying out of any of the inspections.**

Any re-inspection which is necessary due to site access not being available, defective work, or the matter not being ready for inspection will be charged in accordance with Council's Fees and Charges Policy. Council will advise in writing if an additional re-inspection is required and the re-inspection fee shall be paid **prior to release of the damage deposit.** If the additional fee is not paid it will be deducted from the damage deposit.

**Parking/Traffic Matters**

20. A total of **(98)** off-street parking spaces, hardpaved, linemarked, labelled and drained, shall be provided in accordance with the approved plans and distributed as follows:

Residents	<b>82</b> (including 12 disabled spaces)
Visitors	16
<b>TOTAL</b>	<b>(98)</b>

These spaces shall only be used for the parking of motorcycles, sedans, utilities, vans and similar vehicles up to two (2) tonne capacity.

Visitor parking spaces shall be provided on the upper most level of basement parking.

If it is proposed to strata subdivide the development in the future, parking designation shall be strictly in accordance with this condition.

21. Where entry points to car park areas are fitted with security gates/shutter and access to visitor parking is required to be provided a suitable communication systems shall be provided at the entry point to allow the security gates/shutter to be opened remotely by occupants of the building.
22. The entry and exit driveways shall be suitably signposted and directional arrows shall be painted on the internal roadway.
23. All vehicles entering and leaving the site shall be driven in a forward direction only.
24. Rights-of-carriageway shall be created over the common vehicular access to the lots.
25. All redundant vehicular crossings shall be removed and replaced with kerb and gutter and footpath at no cost to Council.
26. Reconstruct the footpath, kerb and gutter to Council's specifications for the full frontage of the development site at the completion of all building works.
27. Purpose built storage compartment(s) shall be provided to and within each of the resident car parking bays and/or associated dwellings at the following rates:
- 6m<sup>3</sup> for each one (1) bedroom unit
  - 8m<sup>3</sup> for each two (2) bedroom unit, and
  - 10m<sup>3</sup> for each unit with three (3) bedrooms or more.

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In order to deter theft, the security compartments shall be designed in a manner to conceal from view and secure their contents i.e. through the use of dense, solid material and a shroud covered padlock (or similar).

Amended plans showing the location and configuration of each of storage compartment(s) shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of the Construction Certificate.**

**Drainage/Stormwater**

28. Stormwater runoff from all roof and paved surfaces shall be collected and discharged by means of a gravity pipe system to Council's drainage system in Loftus Lane, Homebush as depicted on the concept plan prepared by Alpha Engineering & Development rev C sheet no. COVER – SW07 drawing no. A6611-COVER – A6611-SW07 dated 16.02.2017.
29. Details of the proposed method of stormwater disposal shall be prepared by a suitably qualified professional civil engineer in accordance with the endorsed concept plans **AND** the requirements of Council's Stormwater Management Code.

In this project the above engineering plans are satisfactory as Concept plans. The assessment authority, (either (a) Council, or (b) a Private Certifier), is to satisfy themselves of the adequacy of the above plans for the purposes of Construction. They are to independently determine what details, if any, are to be added to the Construction Certificate plans, in order for the issue of the Construction Certificate.

Where a Private Certifier issues the Construction Certificate a copy must be provided to Council, **prior to the issue of a Construction Certificate.**

30. On-site stormwater detention storage shall be provided in conjunction with the stormwater disposal system. The storage system shall be designed in accordance with the endorsed concept stormwater plans **AND** Council's Stormwater Management Code. Details of the storage system shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate.**
31. **Prior to the issue of an Occupation Certificate/use of the building**, written verification from a suitably qualified professional civil engineer shall be obtained, stating that all stormwater drainage and related work has been constructed in accordance with the approved plans.

In addition, detailed works-as-executed plans, prepared and signed by a registered surveyor, shall be submitted to and approved by the Principal Certifying Authority. Where changes have occurred the plans shall be marked-up in red ink and shall include levels and location for all drainage structures and works, buildings (including floor levels) and finished ground and pavement surface levels.

32. Temporary measures shall be provided and regularly maintained during demolition, excavation and construction to prevent sediment and polluted waters discharging from site. Plans showing such measures in accordance with the NSW Department of Housing, Managing Urban Stormwater, Soils and Construction Manual dated August 1998 shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate.**

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33. For drainage works within public land or connecting to Council's stormwater drainage system the following inspections will be required:-
- (a) After the excavation of pipeline trenches.
  - (b) After the laying of all pipes prior to backfilling.
  - (c) After the completion of all pits and connection points.
- A minimum of 48 hours notice shall be given to Council to inspect works. Inspections may be arranged by telephoning Council's Engineering Works and Services section on 9748-9999 during office hours. Work is not to proceed until the works are inspected and approved by Council.
34. All pits shall be constructed in accordance with Australian Standard AS3500.3.
35. All subsoil drainage must be designed to meet the requirements of AS3500;
36. Access to the basement car park, head room for basement entry, driveway ramp and turning circles shall be designed in accordance with AS 2890.1-2004.
37. The proposed basement pump out system capacity shall be capable of handling 4 hours of 100yr ARI storm event and the catchment contributing to it shall be limited to the subsoil drainage and the basement access ramp area only. The pipes under the basement shall not be PVC or HDPE. The rising main shall be connected to the Silt Arrestor Pit. Final details of this system are to be submitted with the Construction Certificate application.
38. Grated drains shall be provided along the property boundary and the basement entry at the vehicular crossing(s) and are to connect to the internal drainage system.
39. The OSD basin must be graded to drain completely and gradients shall not be less than 1%. Discharge restriction from the OSD shall be by use of appropriately sized short length of reduced diameter pipe and weir; orifice plate shall not be used and a coefficient of 0.8 shall be used for designing the pipe. Details of the storage system shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate.**
40. All surface inlet drains upstream of the on-site detention basin must be designed so that there is no overflow before the storage is full.
41. Overflow paths shall be provided to allow for flows in excess of the capacity of the pipe/drainage system draining the site, as well as from any on-site stormwater detention storage.
42. Allowance shall be made for surface runoff from adjacent properties, and to retain existing surface flow path systems through the site. Any redirection or treatment of these flows shall not adversely affect any other properties.
43. Boundary fencing shall be erected in such a manner as not to interfere with the natural flow of ground and surface water to the detriment of any other party.
44. The proposed development must be designed so that habitable floors are at a minimum of 500mm above the 1 in 100 year flood level and non-habitable floors are no lower than the 1 in 100 year flood level.

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45. In accordance with Council's Flood Prone Land Policy where the overland flow path is along the block (from front to rear or rear to front) the building shall be setback at least 3m from the boundary on the low side of the block to allow an overland flow path
46. The crest of the access ramp to the basement car park shall be a minimum of 300m above the 1 in 100 year flood level or at PMF, whichever is greater.
47. The applicant shall comply with the flood recommendations provided in the Flood Statement and Overland Flow Design Report prepared by Lindsay Dynan project No. 00012950 dated 16 October 2017 and 09 October 2017. A certificate from a suitably qualified Engineer shall be submitted to the Certifying Authority stating compliance with these recommendations **prior to the issue of the Occupation Certificate.**
48. A Positive Covenant under Section 88E of the Conveyancing Act shall be created on the title of the property detailing the:
  - (a) On-site stormwater detention system **AND**
  - (b) All Water Sensitive Urban Design components

incorporated in the development. The wording of the Instrument shall be submitted to, and approved by Council prior to lodgement at Land & Property Information NSW. The Instrument shall be registered and a registered copy of the document shall be submitted to and approved by the consent authority **prior to the issue of an Occupation Certificate/use of the building.**

The positive covenant is required to prevent future modification or alteration without the written consent of the consent authority, and to ensure suitable maintenance is carried out.

49. The connection to Council's street drainage system shall consist of a pipeline across to the street kerb with the pipeline then continuing under Loftus Lane, Homebush to Council's drainage pipe.
50. The pipe shall be 375mm in diameter with reinforced concrete spigot and socket with rubber ring joints or equivalent, as approved by Council. A pit shall be constructed at the property boundary, at the kerb line and at the connection to Council's drainage pipe.
51. A plan and long section of the proposed drainage line in Loftus Lane, Homebush and structural details of the proposed pits shall be prepared by a suitably qualified hydraulics and structural engineer in accordance with Council's standard requirements and submitted for approval by Council's Manager Infrastructure Planning **prior to issue of a Construction Certificate.**
52. The proposed drainage line connecting to Council's drainage pipe in Loftus Lane, Homebush«AMOUNT» shall be constructed **prior to the issue of any Occupation Certificate.**
53. A Works Permit shall be obtained from Council's Customer service Centre prior to undertaking any works on public/Council-controlled lands. This includes any work on the nature strip, footpath, driveways, Council's drainage kerb, guttering and roadways.
54. The applicant or any contractors carrying out works in public or Council's controlled lands shall have public liability insurance cover to the value of \$20 million, and shall provide proof of such cover prior to carrying out the works.

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55. A Traffic Management Plan shall be submitted for approval to Council's Engineering Works & Services Section, **prior to the commencement of drainage works** in Loftus Lane, Homebush.
56. A bond of \$30,000 in the form of cash or bank cheque shall be lodged with Council by the applicant prior to the commencement of drainage works in Council's controlled land. This bond covers road and drainage works in Loftus Lane, Homebush and will be released upon satisfactory completion of these items.
57. Upon completion of drainage works within the road reserve full works-as-executed plans prepared and signed by a registered surveyor, shall be submitted for Council's approval. Where changes have occurred the plans shall be marked-up in red ink and shall include levels and locations for the drainage structures and works.
58. The affected areas i.e. roadway, nature strip, footpath, kerb & guttering and driveways shall be reinstated to the satisfaction of Manager Engineering Works & Services at no cost to Council.

A copy of the approved drainage plans shall be collected from Council's Customer Service Centre together with the Works Permit.

59. The sediment tank shall be inspected quarterly and cleaned as necessary. The accumulated sediment should be disposed off site as per standard practice and National guidelines. A record of quarterly maintenance of the sediment tank shall be kept and produced when requested by Council.
60. A detailed design of the Water Sensitive Urban Design (WSUD) components (stormwater treatment measures) shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate** and shall include, but not be limited to:

Batters, levels, underdrains, high flow bypass details, clean out points, filter media details, mulching details, material specification, planting details, inlet scour protection areas, maintenance access ramps and maintenance schedule(s).

The design shall be prepared by a suitably qualified professional engineer experienced in Water Sensitive Urban Design in accordance with the approved plans, conditions of consent, Strathfield Council's Development Control Plan Part N - Water Sensitive Urban Design 2005, Strathfield Council WSUD Reference Guideline and WSUD Technical Design Guidelines for South East Queensland (SEQ Healthy Waterways Partnership) Version 1 June 2006 or subsequent updated versions.

61. All approved stormwater works are required to be carried out in accordance with the conditions of consent, approved construction certificate plans, "Strathfield Council WSUD Reference Guideline" and the Construction and Establishment Guidelines: Swales, Bioretention Systems and Wetlands (SEQ Healthy Waterways Partnership) Version 1.1 April 2010 or subsequent versions that may be updated.
62. A suitably qualified Engineer is required to inspect and certify the proposed development at the completion of each of the following construction phases (if any):

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- (i) Installation of the overflow pit and bulking out/trimming profiling;
- (ii) Installation of under drainage;
- (iii) Installation of cleanout points;
- (iv) Installation of drainage layer;
- (v) Installation of transition layer;
- (vi) Installation of filtration media;
- (vii) Laying of geofabric protection for build-out phase;
- (viii) Laying of turf temporary protection layer, and
- (ix) Final planting.

63. An Operational Management and Maintenance Report is required to be submitted to the Principal Certifying Authority **prior to the issue of an Occupation Certificate** outlining the proposed long term operational management and maintenance requirements of the stormwater system on the site.

A schedule or timetable for the proposed regular inspection and monitoring of the devices, maintenance techniques, reporting and record keeping requirements and associated rectification procedure shall be included in the report.

**Public Authority Matters**

64. **Prior to the issue of an Occupation Certificate** all existing overhead electricity and telecommunication cabling adjacent to the development site shall be consolidated into a single Aerial Bundle Cable (ABC) at the applicant's expense in accordance with the specifications of AusGrid and the telecommunications supplier.

**Landscaping/Tree Matters**

65. The trees listed below shall be retained at all times:

<u>Tree</u>	<u>Height/ Spread (m)</u>	<u>Location</u>	<u>Protection Zone (m)</u>	<u>Structural Root Zone (m)</u>
1) <i>Tristainopsis laurina</i>	4.5/4	Council verge	2.7	1.6
2) <i>Tristainopsis laurina</i>	5/6	Council verge	5.4	2.4
3)				
3) <i>Tristainopsis laurina</i>	5/6	Council verge	3.2	1.9
9) <i>Eleocarpus reticulatus</i>	7/5	Adjoining property	2.5	1.5
10) <i>Hymenosporum flavum</i>	7/5	Adjoining property	2.5	1.3
11a) <i>Hymenosporum flavum</i>	5/4	Adjoining property	2	1.1
11b) <i>Buckinghamia celsissima</i>	5/4	Adjoining property	2.3	1.5
29) <i>Livistona australis</i>	4/4	Adjoining property	3.6	2
30) <i>Livistona australis</i>	10/4	Adjoining property	3.4	1.9
32) <i>Corymbia ficifolia</i>	8/10	Adjoining property	5.3	2.1
34) <i>Melaleuca linearifolia</i>	7/5	40-42 Loftus Crs	3.6	2
35) <i>Leptospermum petersonii</i>	6/4	Adjoining property	2.9	1.8



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36)Eucalyptus seiberi	10/8	Adjoining property	4.2	2.1
37)Seratonia siliqua	10/11	40-42 Loftus Crs	5.5	2.1
38)Syzigium australe	5/3	Adjoining property	2.3	1.5
39)Fraxinus raywoodii	13/6	Adjoining property	3.4	1.9
40) Fraxinus raywoodii	8/4	Adjoining property	2.6	1.6
41)Camellia sasanqua	6/5	Adjoining property	2.5	1.5
43)Eleocarpus reticulatus	6/2	Adjoining property	1.5	1.1
45)Jacaranda mimosifolia	5/5	Adjoining property	3.1	1.9
47)Murraya paniculata	5/4	Adjoining property	2.4	1.7
48)Archontophoenix cunninghamii	12/4	Adjoining property	3	1.6
54)Cuppressocyparis leylandii	6/3	Adjoining property	2.2	1.6
55)Acer negundo	6/4	Adjoining property	2	1.4
56)Acer palmatum	5.5/4	Adjoining property	2.7	1.6

Tree management is to be conducted in accordance with the Arboricultural impact assessment and protected by the establishment of a **protection zone** (in accordance with Australian Standard AS4970-*Protection of trees on development sites*) before any site works begin (including any demolition/excavation). The protection zone shall be maintained for the duration of works and implemented as follows:

- a) A minimum 1.8m high barrier (Chain wire mesh panels, plywood or wooden paling fence panels: refer to *AS4687-Temporary fencing and hoardings* for fencing requirements) shall be erected around the perimeter of the stated Protection Zone as measured from the base of the tree (or where practical). Shade cloth or similar should be attached to reduce the transport of dust, other particulate matter and liquids into the protected area. Fence posts and supports should have a diameter greater than 20mm and be located clear of roots. The barrier shall be constructed so as to prevent pedestrian and vehicular entry into the protection zone. The barrier shall not project beyond the kerb onto the roadway or any adjacent footpath.
- b) Signs identifying the Protection Zone should be installed on the fencing and be visible from within the development site. Lettering should comply with *AS4970-2009: Protection of Trees on Development Sites*.
- c) No concrete slurry or wash, building materials, builders' rubble, excavation soil or similar shall be placed or stored within the tree protection zone.
- d) The whole of the tree protection zone shall be mulched to a minimum depth of 75mm.
- e) The tree protection zone shall be regularly watered.
- f) Any major structural roots which are encountered shall be pruned by a qualified

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Arborist.

- g) **No excavation or construction shall be carried out** within the stated *Structural Root Zone* distances from the base of the trunk surface
- h) Only permeable surfaces (e.g. decomposed granite, gravel, turfpave, permeable paving systems or soft landscaping) are permitted within the canopy spread of the trees to be protected.

- 66. A minimum 600mm deep root deflection barrier shall be provided on both sides of the proposed driveway crossing(s) and footpaths.
- 67. All noxious weeds on the site shall be removed and destroyed as per their classification under the *Noxious Weeds Act 1993*.
- 68. The following listed trees are permitted to be removed to accommodate the proposed development:

<b>Tree</b>
4) <i>Chamaecyparis obtusa</i>
20) <i>Dimocarpus longan</i>
22) <i>Plumeria acutifolia</i>
23) <i>Thuja occidentalis</i>
24) <i>Thuja orientalis</i>
26) <i>Jacaranda mimosifolia</i>
44) <i>Agonis flexuosa</i>
46) <i>Melaleuca bracteata</i>
53) <i>Thuja occidentalis</i>
20) <i>Dimocarpus longan</i>
22) <i>Plumeria acutifolia</i>

- 69. All trees permitted to be removed by this consent shall be replaced by species selected from Council's recommended planting list. Replacements shall be a minimum 25 litre container size and shall be maintained until maturity.
- 70. The following branch or root pruning works are permitted to accommodate the proposed development:

<b>Tree</b>	<b>Approved Works</b>
32) <i>Corymbia ficifolia</i>	Prune as required in order to provide approximately 2 metres clearance from proposed structures

- (a) All pruning work **must** be undertaken by a minimum level 2 (AQF 2) qualified Arborist who is currently a member or eligible for membership to *Arboriculture Australia* (AA) or the *Tree Contractors Association Australia* (TCAA) and in accordance with AS4373—*Pruning of amenity trees*.
- (b) No climbing spikes/spurs are to be worn.
- (c) Root pruning/root barrier installation must be undertaken by a minimum level 4 (AQF 4) qualified Arborist who is currently a member or eligible for membership to the *Arboriculture Australia* (AA) or *Tree Contractors Association Australia* (TCAA) and in accordance with AS4373—*Pruning of amenity trees*.

- 71. General maintenance of Council's nature strip adjoining the development site, including

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regular lawn mowing, edging, irrigation of the lawn and street trees and restricting the storage of materials, rubbish and parking or driving of vehicles on the nature strip, must be carried out during the full period of all approved works (including any demolition and excavation).

72. Tree management on this site is to be conducted in accordance with the recommendations and the content of the Arboricultural Impact Assessment (AIA) report for this site by Andrew Morton from Earthscape Horticultural Services, dated February 2015.
73. Any trees located on adjoining property that will be adversely affected by or require removal as a result of this development may only be removed with the written consent of the tree's owner.
74. Tree protection measures and works within the TPZ of trees to be retained are to be conducted in accordance with section 10 and Appendix 6 of the Earthscape AIA and with section 4 of AS4970-2009 Protection of trees on development sites.
75. Excavations in the vicinity of trees 29, 30,31,32,45 and 48 are to be conducted in accordance with section 9.1.6 of the Earthscape AIA.
76. Tree 4 is to be replaced by a locally indigenous native tree with a mature height exceeding 10 metres and maintained until maturity.

**Construction Matters**

77. **Prior to the commencement of any construction or demolition work**, the Applicant or principal contractor must, subject to obtaining permission from the respective property owners, provide dilapidation reports prepared by a suitably qualified person (such as a structural engineer), on the buildings located on any lot adjacent to the subject site, inclusive of ancillary structures. A copy of the respective report must be provided to the Principal Certifying Authority and neighbouring property owners that are the subject of that report.
78. The proposed development shall comply with the National Construction Code and details demonstrating compliance shall be submitted to the Principal Certifying Authority for approval **prior to the issue of a Construction Certificate**.
79. Footings shall be designed in accordance with the soil classification of H, or Highly Reactive (unless determined to the contrary by a suitably qualified person).
80. If the soil conditions require it retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil must be provided, and adequate provision must be made for drainage.
81. Certification shall be obtained from a registered surveyor at the following stage(s) of construction confirming that the building has been constructed in accordance with the approved plans including any approved amendments (S.96 approvals) and plans and details required by Council as conditions of development consent:
  - (a) footings excavation prior to placement of concrete;
  - (b) car park/garage level prior to placement of concrete or pavement;
  - (c) ground floor and first floor levels;
  - (d) roof ridge height;
  - (e) all floors of the building, roof eaves and all roof ridges;
  - (f) wall setbacks from property boundaries and street alignment;

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- (g) dimensions and areas of balconies/courtyards;
- (h) vehicular ramp gradients.

Copies of the surveyor's certificates must be submitted to and accepted by Council at the stages nominated above.

- 82. The existing ground levels shall not be altered except in accordance with the levels shown on the approved plans as part of this consent. Finished ground surface levels shall match the existing levels at the property boundary. Any survey plan shall also show the extension of these levels in relation to adjoining properties.
- 83. If the existing ground levels are altered during construction, Council may require a survey plan of the finished ground levels to be prepared and submitted **prior to the issue of an Occupation Certificate** to determine if there have been changes to the pre-development levels and if there are any impacts on adjoining properties as a result.
- 84. All construction, demolition and excavation work shall be restricted to 7am and 5pm (Eastern Standard Time) on Mondays to Saturdays (inclusive) and prohibited on Sundays and public holidays.
- 85. All excavations and backfilling associated with the approved works must be executed safely and in accordance with appropriate professional standards. All excavations must be properly guarded and protected to prevent them from being dangerous to life or property.
- 86. If an excavation associated with the approved works extends below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation to be made:
  - a) Must preserve and protect the building from damage; and
  - b) If necessary, must underpin and support the building in an approved manner, and
  - c) Must, at least seven (7) days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.
- 87. There are built structures which may be in the zone of influence of the proposed works and excavations on the site. A qualified practicing geotechnical engineer must prepare a Construction Methodology Report demonstrating that the proposed construction method including any excavation and the configuration of the built structures will have no adverse impact on any surrounding property and infrastructure.

The report must be submitted with the application for a Construction Certificate and must include an investigation to determine the design parameters appropriate to the specific development and site. This would typically include;

- a) the location and level of nearby foundations and footings (site and neighbouring);
- b) proposed method of excavation;
- c) Permanent and temporary support measures for excavation;
- d) Potential settlements affecting footings and foundations;
- e) Ground water levels (if any);
- f) Batter slopes;
- g) Potential vibration cause by method of excavation; and

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- h) De-watering including seepage and off-site disposal rate (if any).

Excavation, retention, underpinning and construction must be undertaken onsite by an excavation contractor with specialist excavation experience. A suitably qualified geotechnical engineer, specialising in excavation must supervise the excavation procedure.

88. The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.
89. Certification of the structural adequacy of the sign shall be prepared by a suitably qualified person and submitted to the Principal Certifying Authority **prior to the issue of a Construction Certificate**.
90. The common access pathways, letterboxes and entry doorways to the building shall be provided with suitable low level artificial lighting systems to ensure safe and convenient access at night. Details shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate**.
91. To maintain pedestrian safety in common areas suitable lighting is to be provided on the development site adjoining each street frontage and near pedestrian main entrances to the site. Details shall be submitted and approved by the Principal Certifying Authority **prior to the installation** thereof.
92. All temporary buildings shall be removed from the site at the completion of the development.
93. A certificate from a practising and suitably qualified structural engineer certifying that the existing structure is capable of supporting the new superimposed loads from the proposed development shall be submitted **prior to the issue of a Construction Certificate**.

### **Building Matters**

94. Identification numbers are to be clearly displayed at the front of the premises and be easily visible from the street.

If it is proposed to strata subdivide the building, the lot numbers and unit numbers shall be the same as those nominated on the approved plans and be in accordance with Council's requirements. For strata subdivision, parking spaces shall have the same lot number as the residential portion and shall not be numbered separately.

### **Sustainability**

95. Water collected in the rainwater tank must be roof water only and not surface water. Water from the rainwater tank must only be used for following purposes and not for human consumption:
- a) Toilet flushing;
  - b) Clothes washing;
  - c) Garden irrigation;
  - d) Car washing and similar outdoor uses;
  - e) Filling swimming pools, spa pools and ornamental ponds; and
  - f) Fire fighting.

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96. Water heating systems to multi-unit residential developments shall be located so as not to be visible from public places and the ground level of adjoining properties. Details (type and location) of the water heaters shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate.**

### **Demolition**

97. Demolition shall be carried out in accordance with Australian Standard 2601 - 'The demolition of structures' or any subsequent standard and the relevant legislation.
98. The demolition of the building shall be carried out by a licensed demolition contractor. A copy of the licence shall be submitted to Council and the Principal Certifying Authority **prior to any work commencing on site.**
99. Details demonstrating that excavated and demolished materials including asbestos-based materials will be disposed of at an approved site shall be submitted to the Principal Certifying Authority **prior to any work commencing on site.**
100. The cleared ground surface of the site shall be suitably stabilised to prevent the generation of dust and the erosion of soil on the site.

### **Works Zone**

101. An application for a 'Works Zone' must be submitted to and approved by the Strathfield Council Traffic Committee prior to the commencement of any site work (including demolition).

The suitability of the proposed length and duration of the Works Zone is to be demonstrated in the application for the Works Zone. The application for the Works Zone must be submitted to Council at least six (6) weeks prior to the commencement of work on the site to allow for assessment and tabling of agenda for the Strathfield Council Traffic Committee.

The requirement for a Works Zone may be varied or waived only if it can be demonstrated in the Construction Traffic Management Plan (to the satisfaction of Council) that all construction related activities (including all loading and unloading operations) can and will be undertaken wholly within the site. The written approval of Council must be obtained to provide a Works Zone or to waive the requirement to provide a Works Zone prior to the commencement of any site work.

### **Construction Traffic Management Plan**

102. A detailed Construction Site Traffic Management Plan (CTMP) must be submitted to and approved by Council, prior to commencement of any site work (including demolition).

The CTMP must be prepared by a suitably qualified person and must include the following details, to the satisfaction of Council:

- a) A description of the demolition, excavation and construction works
- b) A site plan/s showing the site, roads, footpaths, site access points and vehicular movements
- c) Any proposed road and/or footpath closures
- d) Proposed site access locations for personnel, deliveries and materials
- e) Size, type and estimated number of vehicular movements (including removal of excavated materials, delivery of materials and concrete to the site)

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- f) Provision for loading and unloading of goods and materials
- g) Proposed route(s) from the arterial (state) road network to the site and the proposed route from the site back to the arterial road network
- h) Impacts of the work and vehicular movements on the road network, traffic and pedestrians
- i) Proposed hours of construction related activities and vehicular movements to and from the site
- j) Current/proposed approvals from other Agencies and Authorities (including Roads and Maritime Services, Police and State Transit Authority)
- k) Any activities proposed to be located or impact upon Council's road, footways or any public place
- l) Measures to maintain public safety and convenience
- m) Any Traffic Control Plans (TCP's) proposed to regulate traffic and pedestrian movements for construction activities (such as concrete pours, crane installation/removal etc)

### **Fire Safety Measures**

103. Upon completion of works a final fire safety certificate is to be issued from a properly qualified person in respect of each essential fire safety measure installed within the building and specified in the fire safety schedule. The final fire safety certificate shall be provided **prior to the issue of an Occupation Certificate.**
104. Each 12 months after the installation of essential fire or other safety measures, the owner of a building must submit an Annual Fire Safety Statement for the building to Council. In addition a copy of the statement must be given to the NSW Fire Commissioner and a copy displayed prominently in the building.

### **Hoardings**

105. If 'A' type hoarding is to be erected about the building site, it is to comply with NSW Workcover's requirements; shall have a minimum height of 1.8 m and comply with AS1725-2003 (Galvanized Rail-Less Chain-Wire Security Fences and Gates) or AS 4687-2007 (Temporary Fencing and Hoardings). Inverted trench mesh is not an acceptable 'A' type hoarding and as such does not satisfy AS1725-2003 and as such shall not be installed to the building site.
106. An overhead 'B' type hoarding shall be constructed where buildings over 7.5 m in height above the footpath level and within 3.6 m of the street alignment are being erected or demolished or where the outer part of such a building adjoining a public way is being altered. Where the height of the building or the position of the site is such that danger is likely to occur from falling objects, additional safety hoarding shall be provided to the satisfaction of the principal certifying authority and Workcover NSW.
107. An overhead 'B' type hoarding shall be constructed where material is being hoisted over or across a public way.
108. The following additional requirements apply to the erection of a 'B' type hoarding:
- a) No advertisement of any kind shall be affixed to hoarding with the exception of a board not exceeding 2400 –mm by 1800-mm on which may be shown the architects, builders and principal certifying authority company name / contact details or any particulars regarding the subject building, and notices regarding the existing or future occupancies in the building.
  - b) A sign reading 'Billposters will be Prosecuted' shall be attached or printed upon the

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front of the hoarding.

- c) A hydrant or other footpath box shall not be covered in any way or access to it impeded.
- d) Cranes shall not be placed upon the public way unless a permit has been obtained under section 68 Local Government Act, 1993.
- e) The hoarding must be so constructed that it will not obstruct the view of traffic lights of motorists or pedestrians.
- f) The use of the roadway for the storage of building materials is not permitted.
- g) Where materials are being hoisted over a public way a sign shall be attached or printed upon the front of the hoarding at the decking level with the lettering 'Lifting Operation Above'. The lettering shall not be less than 300-mm in height.
- h) Persons undertaking the work in accordance with this Approval must hold this Approval/Permit on-site for inspection.
- i) Approval for a temporary protective structure does not permit use of the roadway for general loading and unloading from construction vehicles. This requires a separate Construction Zone Application.
- j) An appropriate qualified practising structural engineer shall certify the structural stability / adequacy of the erected 'B' type hoarding. A copy of the certificate shall be forward to the principal certifying authority and to Council, where Council is not the principal certifying authority.

109. The builder shall erect and maintain all necessary hoardings, barricades and warning signs required to provide adequate public safety. Night warning lamps are to be provided where necessary and must be in place before the approved activity commences.

110. Permits are required to erect Class 'A' or 'B' type hoardings. If any type hoarding is to occupy a section of Council's property, that section will require a permit for the occupation of Council's property. The applicant, owner, builder or site supervisor must apply for specific permits. The application form is available from Council's Customer Service Department.

### **Air Quality**

111. Full compliance shall be given to the recommendations contained in Section 5 of the endorsed acoustic report prepared by Renzo Tonin & Associates.

112. *An Acoustic Engineer shall certify that any mechanical plant associated with the development complies with the criteria contained with the New South Wales Industrial Noise Policy outlines in the NSW Environmental Protection Authority.*

113. As required by the Protection of the Environment Operations (Noise Control) Regulation 2008, air-conditioning units or heat pump water heaters shall not be audible within a habitable room or any other residential premises before 8am or after 10pm on any Saturday, Sunday or public holiday, or before 7am or after 10pm on any other day.

### **Subdivision**

114. The strata subdivision of the development shall be subject to a separate application.

### **Disabled Access**

115. Access to the building for persons with disabilities shall be in accordance with the requirements of the Building Code of Australia, the relevant standards and the requirements of the Disability (Access to Premises – Buildings) Standards 2010. Details



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shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate.**

116. A carparking space for persons with disabilities shall be provided in accordance with the Building Code of Australia and the relevant standards. Details shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate.**

### Waste Management

117. Full compliance must be given to the endorsed Waste Management Plan submitted for the proposed development. Copies of any weighbridge receipts from all approved waste disposal facilities shall be retained for presentation to the Principal Certifying Authority upon request.
- 117A. The waste collection and storage room shall be designed to accommodate for the following waste and recycling generation rates:
- General Waste - 120L per week per residential unit; and
  - Recycling – 60L per week per residential unit.
118. The waste storage room shall be designed to comply with the relevant standards and details shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate.**
119. A Positive Covenant under Section 88E of the Conveyancing Act shall be created on the title of the property as follows:
- (a) Full and free right must be provided to Strathfield Council employees or its authorised contractors to:
- (i) Enter upon the land and remove any waste products using any vehicle or equipment as necessary;
- (b) The owner of the lot burdened shall be solely responsible for the cost of maintaining in good and sufficient repair at all times the internal roads or access ways used by Strathfield Council for the purpose of exercising its rights as set out in clause (a) above.

The wording of the Instrument shall be submitted to, and approved by Council prior to lodgement at Land & Property Information NSW. The Instrument shall be registered and a registered copy of the document shall be submitted to and approved by the consent authority **prior to the issue of an Occupation Certificate.**

### Integrated Development – Sydney Trains

120. If required by Sydney Trains, prior to the commencement of works and prior to the issue of the Occupation Certificate, a joint inspection of the rail infrastructure and property in the vicinity of the project is to be carried out by representatives from Sydney Trains and the Applicant. These dilapidation surveys will establish the extent of any existing damage and enable any deterioration during construction to be observed. The submission of a detailed dilapidation report will be required unless otherwise notified by Sydney Trains.
121. An acoustic assessment is to be submitted to Council prior to the issue of a construction certificate demonstrating how the proposed development will comply with the Department of Planning's document titled "Development Near Rail Corridors and Busy Roads- Interim Guidelines".

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122. Prior to the issue of a Construction Certificate the Applicant is to engage an Electrolysis Expert to prepare a report on the Electrolysis Risk to the development from stray currents. The Applicant must incorporate in the development all the measures recommended in the report to control that risk. A copy of the report is to be provided to the Principal Certifying Authority with the application for a Construction Certificate.
123. The design, installation and use of lights, signs and reflective materials, whether permanent or temporary, which are (or from which reflected light might be) visible from the rail corridor must limit glare and reflectivity to the satisfaction of Sydney Trains.
- The Principal Certifying Authority is not to issue the Construction Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.
124. If required by Sydney Trains, prior to the issue of a Construction Certificate a Risk Assessment/Management Plan and detailed Safe Work Method Statements (SWMS) for the proposed works are to be submitted to Sydney Trains for review and comment on the impacts on rail corridor. The Principal Certifying Authority is not to issue the Construction Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.
- 124(a). Prior to the commencement of works, the Applicant shall provide certification from a qualified Geotechnical and Structural Engineers stating that the proposed works are to have no negative impact on the original approved development and subsequently no negative impact on the rail corridor and associated rail infrastructure.

**127 – 148 DELETED**

**Land Contamination**

149. Any new information which comes to light during remediation, demolition or construction works which has the potential to alter previous conclusions about site contamination shall be notified to the Council and the Principal Certifying Authority immediately.
150. All fill imported on to the site shall be validated by an appropriately qualified person/body to ensure the imported fill is suitable, from a contamination perspective, for the proposed land use. Fill imported onto the site shall also be compatible with the existing soil characteristics for site drainage purposes.

**Landscaping**

151. To ensure the survival of landscaping following works, a landscape maintenance strategy for the owner/occupier to administer over a 12 month establishment period following the issue of the Occupation Certificate shall be prepared and provided to the satisfaction of the Principal Certifying Authority with the Construction Certificate application. The strategy is to address maintenance issues such as, but not limited to plant survival, irrigation, soil testing, weeding, staking, fertilizing, remedial pruning and plant replacement.
152. All common and private landscape areas of the development are to have full coverage by a fully automatic irrigation system. The design, materials and installation are to be in accordance with Sydney Water Codes and satisfy all relevant Australian Standards. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior occupation of the premises.

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**(Cont'd)**

153. A Water Supply Work Approval from WaterNSW must be obtained prior to commencing dewatering activity on the proposed site. Please complete an Application for approval for water supply works, and/or water use.
154. An application for a Water Supply Works Approval will only be accepted upon receipt of supporting documentation, and payment of the applicable fee (see Application fees for New or amended Works and/or Use Approvals). The information required for the processing of the water supply work application may include preparation of a dewatering management plan. Please refer to checklist attached.
155. If approved, the Approval will be issued for a period of up to 24 months to cover the dewatering requirements during the construction phase. It will include conditions to ensure that impacts are acceptable and that adequate monitoring and reporting procedures are carried out. The Approval will be issued subject to the proponent meeting requirements of other agencies and consent authorities. For example, an authorisation by either Sydney Water or the local Council, depending where the water will be discharged. If contaminants are likely, or are found to be present in groundwater, and are being discharged to stormwater, including high salinities, a discharge licence under the Protection of the Environment Operations Act 1997 (NSW) may also be required.
156. WaterNSW prefers “tanking” (ie. total water proofing below the seasonal high water table) of basement excavations, and avoids the ongoing extraction of groundwater after the initial construction phase. It is also advised to adopt measures to facilitate movement of groundwater post construction (eg. a drainage blanket behind the water-proof membrane).
157. If the basement is not “tanked”, the proponent will require a Water Access Licence (WAL) and need to acquire groundwater entitlements equivalent to the yearly ongoing take of groundwater. Please note: Acquiring groundwater entitlements could be difficult, and may cause delay in project completion. If a WAL is required, please complete an Application for a new water access licence with a zero share component.
158. **Prior to the issue of a Construction Certificate**, amended plans shall be submitted and approved by to the Principal Certifying Authority demonstrating a minimum of **(17) units** (20% of the total number of units) achieving the Livable Housing guideline’s silver level universal design features. The amended plans shall be certified by a suitable qualified Access Specialist.
159. **The exposed facebrick on Building B facing Loftus Lane (PGH Dusk) on the Ground Level to Level 3 shall be continued for the remainder of the building (Level 4 to 6). Amended plans demonstrating compliance with this condition are to be submitted and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate.**
160. **The most south-eastern unit on Levels 5 and 6 (Units B504 and B604) are to be deleted. Amended plans demonstrating compliance with this condition are to be submitted and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate.**
161. **The common corridor on Levels 5 and 6 are to remain open and unenclosed to enable cross ventilation of units. Amended plans demonstrating compliance with this condition are to be submitted and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate.**

## ATTACHMENTS

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**(Cont'd)**

1. [↓](#) 40-42 Loftus Cres - Architecturals

SUMMARY - Residential			
Total Site Area	2,933 m <sup>2</sup>		
FSR	2.0 : 1		
Allowable Total GFA	5,866 m <sup>2</sup>		

PROPOSED TOTAL SITE SUMMARY	Approved	Proposed	Compliance
Total Site Area	2,933 m <sup>2</sup>	2,933 m <sup>2</sup>	✓
GFA	4,300 m <sup>2</sup>	4,880 m <sup>2</sup>	✓
FSR	1.46 : 1	1.66 : 1	✓
Maximum Building Height	20 m	22.1 m	✓

ADD & DCP COMPLIANCE SUMMARY	Approved	Proposed	Compliance
Min 70% Solar Access (DCP 2012 Cl 4.2.3.1)	82 (h)	73 (h)	✓
Min 10% Southfacing Orientation (RFD Cl Part 3)	8 (h)	8 (h)	✓
Min 50% Natural Ventilation (RFD Cl Part 3)	82 (h)	82 (h)	✓
Min 10% Adaptable Units	12 (h)	12 (h)	✓
Min 20% Livable Housing Silver Level	18 (h)	14 (h)	✓
Rubbish Storage	12 (h)	12 (h)	✓
Car Parking Spaces Requested	34 (h)	34 (h)	✓
Bicycle Parking Spaces Requested	14 (h)	14 (h)	✓
Min 7% of Site Area Deep Soil	358 m <sup>2</sup>	328 m <sup>2</sup>	✓
Min 25% of Site Area Common Open Space	732 m <sup>2</sup>	850 m <sup>2</sup>	✓

GFA CALCULATION	UNIT NO	UNIT TYPE	UNIT AREA	TOTAL	SOLAR ACCESS	NATURAL VENTILATION	ADAPTABLE
LOFTUS LANE 001	1	1	1	1	1	1	1
LOFTUS LANE 002	1	1	1	1	1	1	1
LOFTUS LANE 003	3	1	11	13	12	10	2
LOFTUS LANE 004	3	1	11	13	12	10	2
LOFTUS LANE 005	3	1	11	13	12	10	2
LOFTUS LANE 006	2	2	10	6	4	1	1
LOFTUS LANE 007	1	1	10	5	5	1	1
LOFTUS LANE 008	1	1	10	5	5	1	1
LOFTUS LANE 009	1	1	10	5	5	1	1
LOFTUS LANE 010	3	3	10	5	5	1	1
LOFTUS LANE 011	1	1	10	5	5	1	1
<b>TOTALS</b>	<b>4882 m<sup>2</sup></b>	<b>17</b>	<b>67</b>	<b>4</b>	<b>88</b>	<b>73</b>	<b>12</b>

BASEMENT 1 (LOWER GROUND)	Building A (LOFTUS LANE)								Building B (LOFTUS LANE)							
Total Number of Apartments	1.0								1.0							
Apartment Type	1.0								1.0							
Efficiency	82%								82%							
Apartment per Floor	1.0								1.0							
GFA per Floor	4300 m <sup>2</sup>								4300 m <sup>2</sup>							
FSR per Floor	1.46								1.46							
N/A per Floor	215 m <sup>2</sup>								215 m <sup>2</sup>							
Terrace / Balcony	215 m <sup>2</sup>								215 m <sup>2</sup>							
Storage	215 m <sup>2</sup>								215 m <sup>2</sup>							
Adaptable	12								12							
Solar Access (DCP 2012 Cl 4.2.3.1)	12								12							
Southfacing Orientation (RFD Cl Part 3)	12								12							
Natural Ventilation (RFD Cl Part 3)	12								12							



**S96 LIST OF AMENDMENTS:  
LEVEL 05 & 06**

- 8 ADDITIONAL UNITS OVER 2 ADDITIONAL LEVELS ON THE LOFTUS LANE SIDE. THESE UNITS ARE ALL 2 BED APARTMENTS. (CLOUDED)

STRATHFIELD COUNCIL  
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DA2016/172/03  
12 April 2018

Drawing No.	Description	Issue
DA1001	COVER PAGE	Current 206- ISSUE F
DA1002	SITE PLAN	No Amendments
DA1003	DEMOLITION PLAN	No Amendments
DA2100	BASEMENT 00	No Amendments
DA2102	LOWER GRD & B2	No Amendments
DA2103	GROUND LEVEL & D1	No Amendments
DA2104	LEVEL 02/03 & 04	Current 206- ISSUE F
DA2105	LEVEL 05 & 06	Current 206- ISSUE F
DA2106	LEVEL 07 & 08	Current 206- ISSUE F
DA2401	TYPICAL GFA INCLUSIONS	Current 206- ISSUE F
DA2001	ELEVATION	Current 206- ISSUE F
DA2002	ELEVATION	Current 206- ISSUE F
DA2003	ELEVATION	Current 206- ISSUE F
DA2004	ELEVATION	Current 206- ISSUE F
DA2005	EAST/WEST ELEVATIONS	Current 206- ISSUE F
DA2101	SECTION AA/BB	Current 206- ISSUE F
DA2102	SECTION C/CFF	Current 206- ISSUE F
DA6001	JUNE 22 WINTER SOLSTICE	Current 206- ISSUE F

F SECTION 04 1/24/18 CH

E SECTION 04-42 PER COMMENTS 20/1/17 CH

D SECTION 04 24/6/17 CH

C GENERAL REVISION 1/20/17 CH

B DEVELOPMENT APPLICATION 1/18/18 CH

A PRELIMINARY CONSULTATION 2/1/18 CH

No. Rev. Drawing Name: \_\_\_\_\_

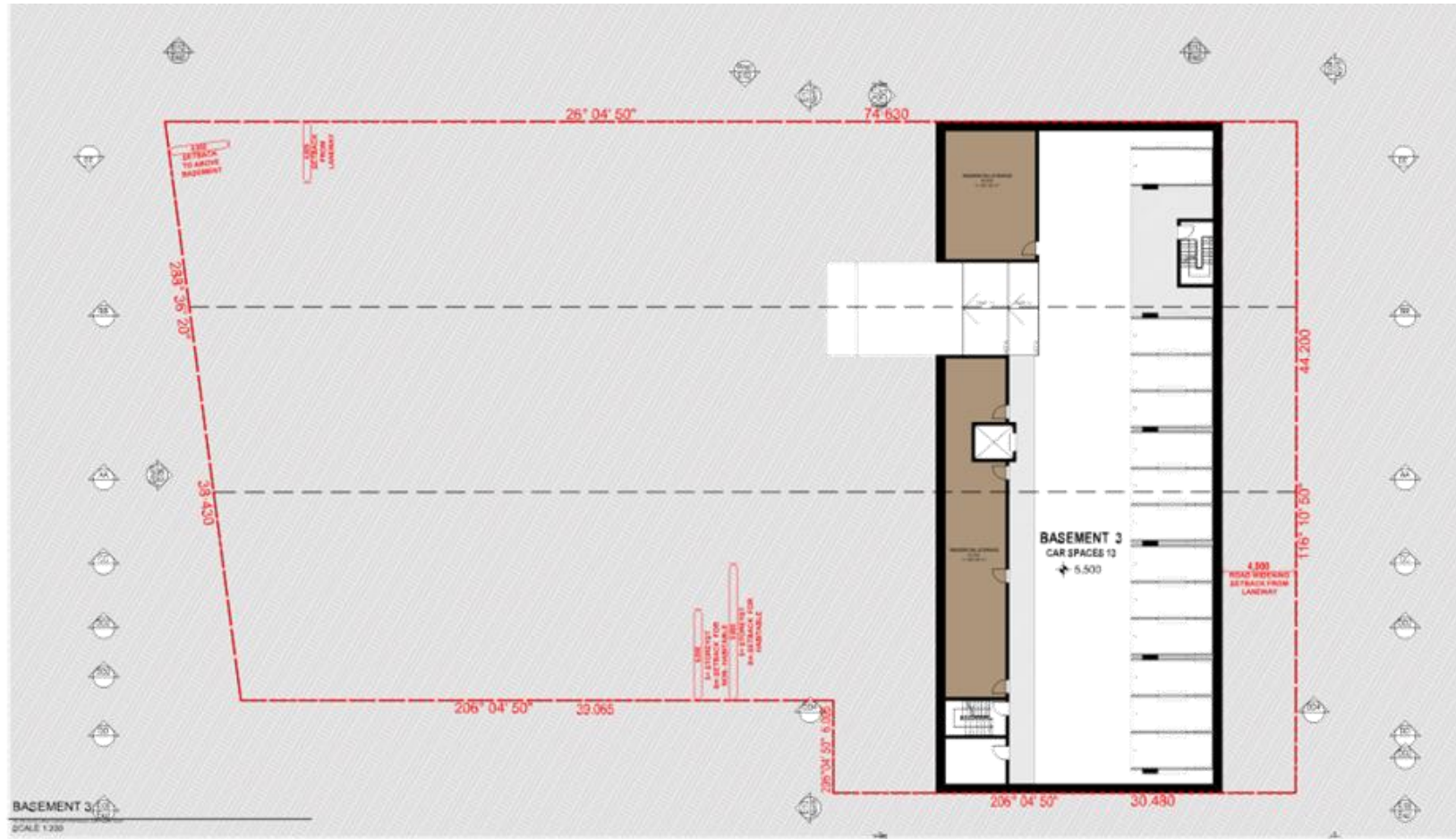
Rev. Description: \_\_\_\_\_ Date: \_\_\_\_\_

**The Crescent  
MULTI-RESIDENTIAL**

40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

Project No: 16-103 Drawing Number: DA0001

Date: SECTION 96



Note  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK OR PREPARING SHOP DRAWINGS.  
DO NOT SCALE DRAWING.

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NO AMENDMENTS

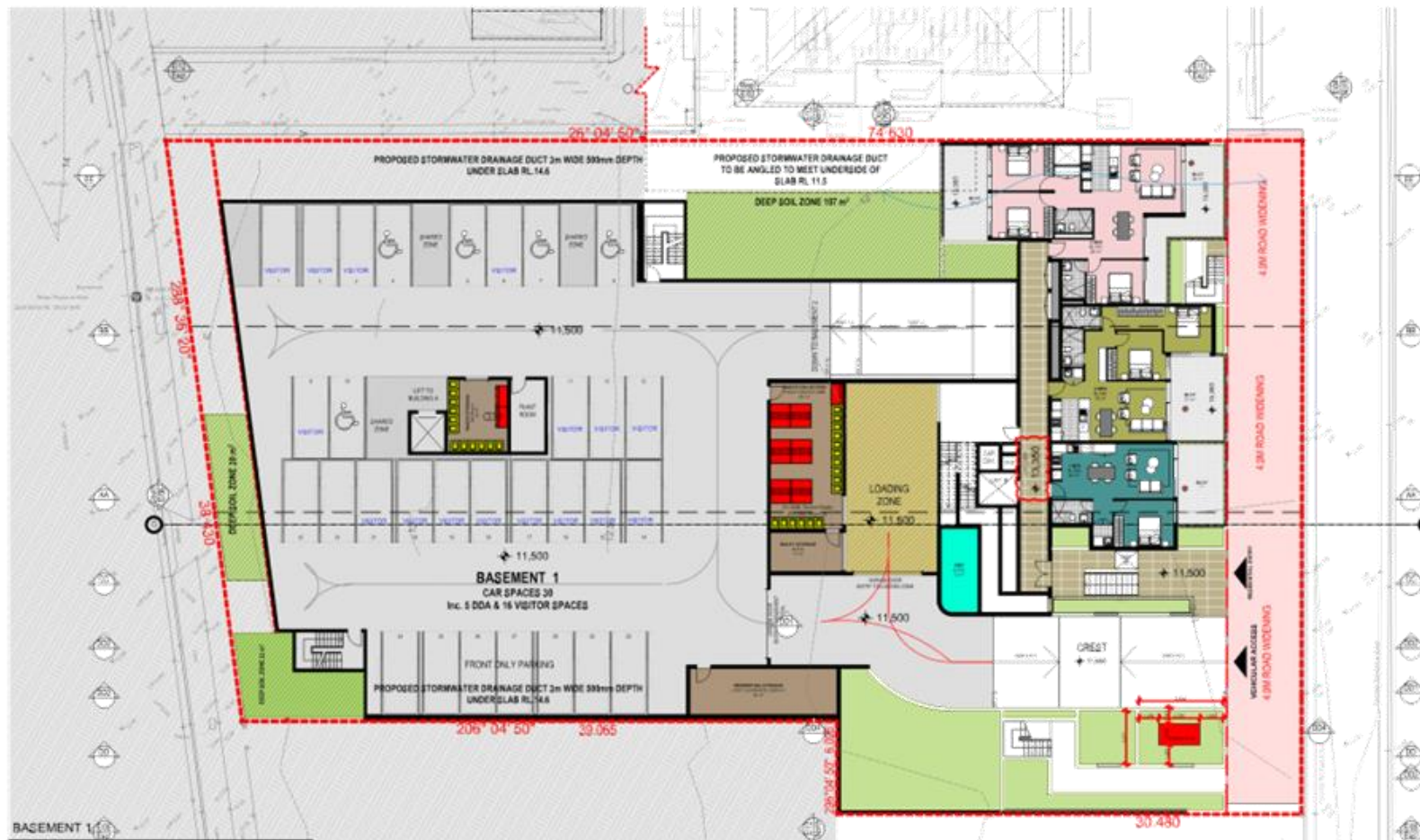
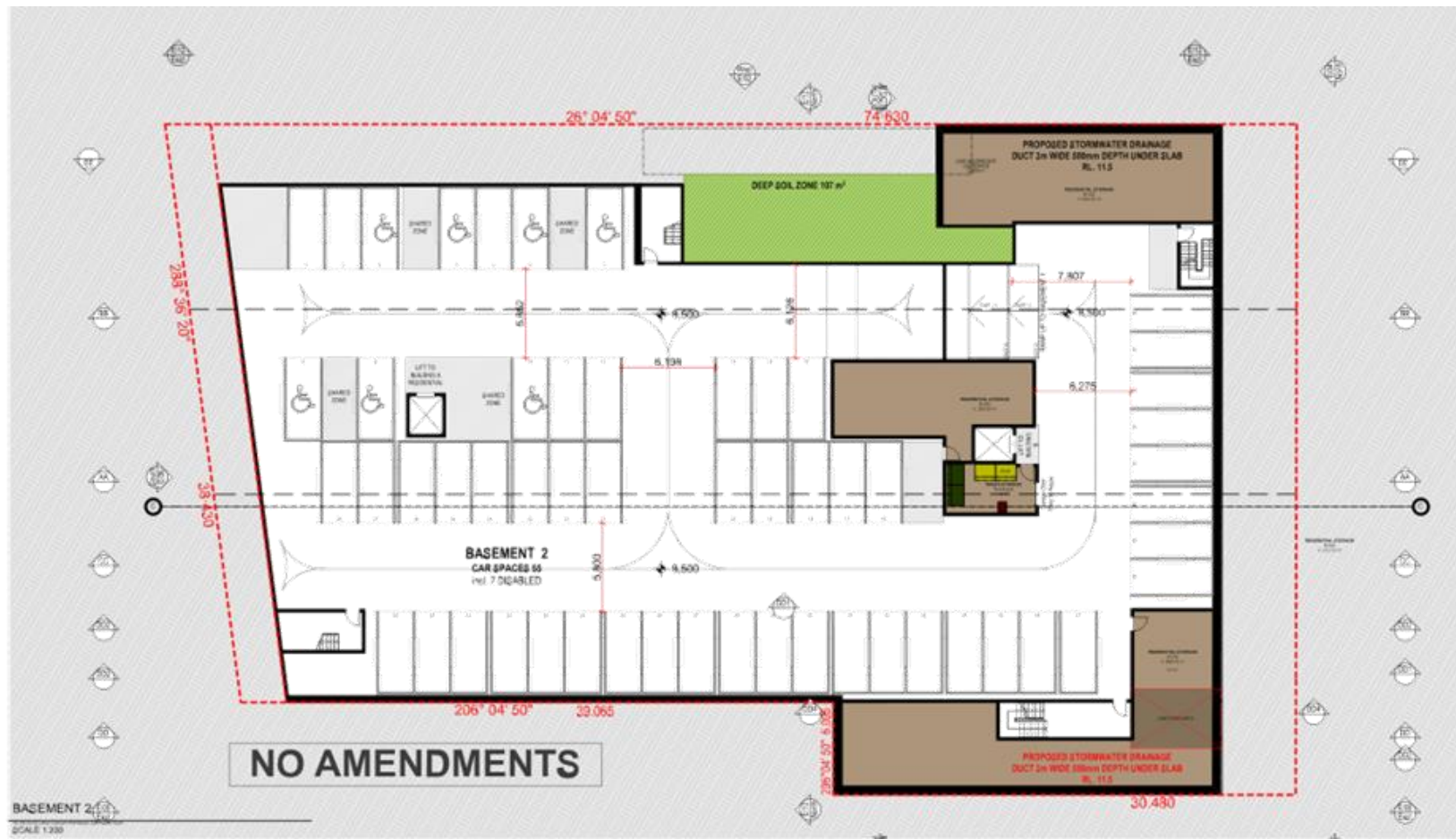
E	SECTION 96 PER COMMENTS 18/08/2017	02/01/17	CH
D	SECTION 96	10/01/17	CH
C	GENERAL REVISION	02/01/17	CH
B	DEVELOPMENT APPLICATION	21/01/16	CH
A	PRELIMINARY SITE CO-ORDINATION	21/01/16	CH
Rev	Description	Date	Author
Client			

Client Name  
Client Project Number  
Project  
The Crescent  
MULTI-RESIDENTIAL  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBAN LINK**  
Business Address: Level 10, 11-13 Green Street, Sydney NSW 2014  
Postal Address: PO BOX 2122 Homebush NSW NSW 2124  
Phone Number: +61 29740 2014

Drawing Title  
**FLOOR PLANS  
BASEMENT 03**  
Date of Issue  
3/19/2017  
Scale  
1:200  
Project Number  
16-103  
Drawing Number  
DA2100 E  
Section  
SECTION 96

Note:  
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E	SECTION 96 - NO PER COMMENTS 18/02/17	02/17	CH
D	SECTION 96	10/17	CH
C	GENERAL REVISION	02/17	CH
B	DEVELOPMENT APPLICATION	11/16	CH
A	PRELIMINARY SITE CO-ORDINATION	21/16	CH
Rev	Description	Date	Author

Client: Council  
Project:  
**The Crescent**  
MULTI-RESIDENTIAL  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

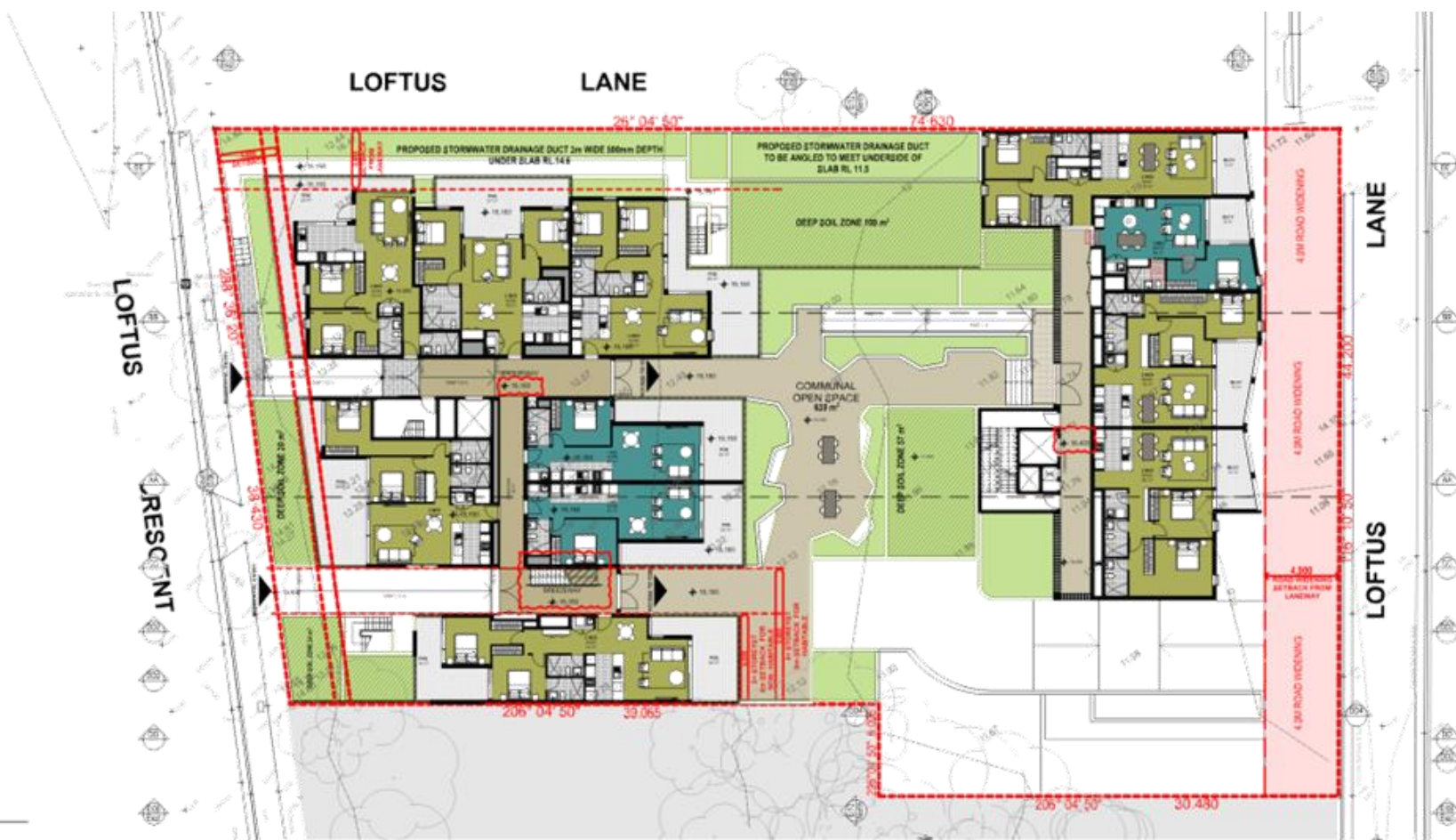


Drawing Title:  
**FLOOR PLANS**  
LOWER GRD & B2

Scale:  
1:200  
Date:  
16-103  
Project Number:  
16-103  
Drawing Number/Revision:  
DA2102 E  
Section:  
SECTION 96

NOTE:  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK OR PREPARING SHOP DRAWINGS.  
DO NOT SCALE DRAWING.

GROUND FLOOR  
SCALE 1:200



LEVEL 1  
SCALE 1:200



E	SECTIONAL - NO PER COMMENTS 18/02/17	21/01/17	CH
D	SECTIONAL	10/01/17	CH
C	GENERAL REVIEW	02/01/17	CH
B	DEVELOPMENT APPLICATION	11/10/16	CH
A	PRELIMINARY SITE CO-ORDINATION	21/03/16	CH
Rev	Description	Date	Author
Client			

Client Name  
Client / Project Number  
Project  
**The Crescent**  
MULTI-RESIDENTIAL  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBANLINK**  
Business Address: Unit 10, 11-13 Green Street, Homebush NSW 2147  
Postal Address: PO BOX 2122, Homebush North NSW 2147  
Phone Number: +61 2 9746 9214

Drawing Title  
**FLOOR PLANS**  
GROUND LEVEL & 01  
Date of Issue: 21/02/17  
Checked: Approved:

Scale  
1:200  
Project Number  
16-103  
Drawing Number  
DA2103 E  
Section  
SECTION 96

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DO NOT SCALE DRAWING.



LEVEL 2A3  
SCALE 1:200

LEVEL 4  
SCALE 1:200

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DA2016/172/03  
12 April 2018

**NO AMENDMENTS**

F	SECTION: ADDITIONAL 1/5 OF A	09/01/16	CH
E	SECTION: 40 PER COMMENTS 16/02/2017	02/03/17	CH
D	SECTION: 10/01/17	10/01/17	CH
C	GENERAL REVIEW	02/01/17	CH
B	DEVELOPMENT APPLICATION	11/01/16	CH
A	PRELIMINARY SITE CO-ORDINATION	21/03/16	CH
Rev	Description	Date	Author
Client			

Client Name  
Client Project Number  
Project  
**The Crescent**  
MULTI-RESIDENTIAL  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBAN LINK**  
Business Address: Unit 10, 11-13 Green Street, Strathfield NSW 2154  
Postal Address: PO BOX 1022 Rowland North NSW 2154  
Phone Number: +61 29740 2014

Drawing Title  
**FLOOR PLANS**  
LEVEL 02/03 & 04  
Date of Issue: 11/04/2018  
Checked: \_\_\_\_\_  
Approved: \_\_\_\_\_

Scale  
1:200  
Project Number  
16-103  
Drawing Number  
DA2104 F  
Section  
SECTION 96

Note:  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK OR PREPARING SHOP DRAWINGS.  
DO NOT SCALE DRAWING.



**S96 LIST OF AMENDMENTS:  
LEVEL 05 & 06**

- 8 ADDITIONAL UNITS OVER 2 ADDITIONAL LEVELS  
ON THE LOFTUS LANE SIDE. THESE UNITS ARE ALL  
2 BED APARTMENTS. (CLOUDED)



STRATHFIELD COUNCIL  
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DA2016/17203  
12 April 2018

F	SECTION: ADDITIONAL 1% OFA	04/01/18	CH
E	SECTION: AS PER COMMENTS 18/04/2017	02/01/17	CH
D	SECTION:	10/11/16	CH
C	GENERAL REVIEW	02/11/16	CH
B	DEVELOPMENT APPLICATION	11/10/16	CH
A	PRELIMINARY SITE CO-ORDINATION	21/12/16	CH
Rev	Description	Date	Author
Client			

Client: [redacted]  
Project:  
**The Crescent**  
MULTI-RESIDENTIAL  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBAN LINK**  
Business Address: Unit 10, 11-15 Green Street, Homebush NSW 2148  
Postal Address: PO Box 1222, Homebush NSW 2148  
Phone Number: +61 (0)294 0124

Drawing Title:  
**FLOOR PLANS**  
LEVEL 05 & 06  
Date of Issue: 11/04/2018  
Checked: [redacted] Approved: [redacted]

Scale:  
1:200  
Project Number:  
**16-103**  
Drawing Number:  
**DA2105 F**  
Section:  
**SECTION 96**

Note:  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK OR PREPARING SHOP DRAWINGS.  
DO NOT SCALE DRAWING.



S96 LIST OF AMENDMENTS:  
AMENDED ROOF

LEVEL 7  
SCALE 1:200

LEVEL 8  
SCALE 1:200

STRATHFIELD COUNCIL  
RECEIVED  
DA2016/172/03  
12 April 2018

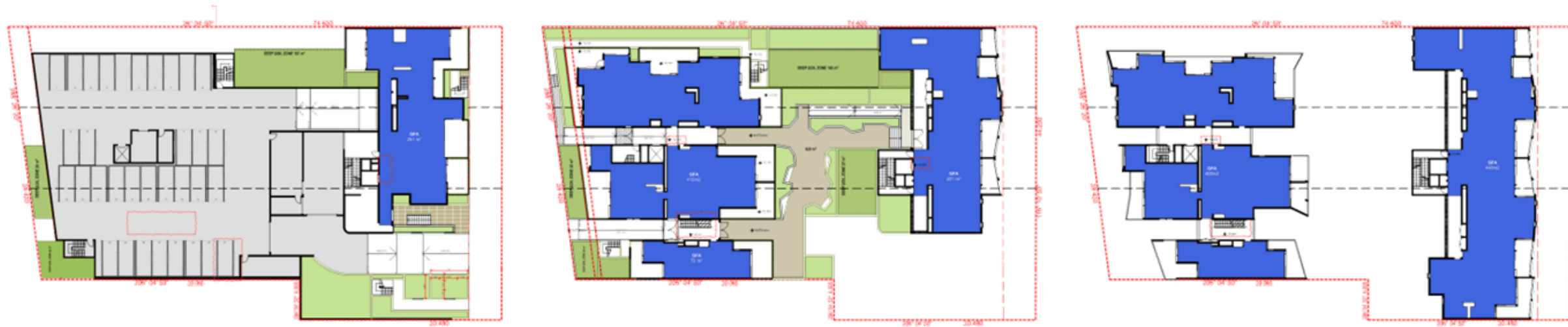
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E	SECTION: AS PER COMMENTS 18/02/2017	02017	04
D	SECTION:	10/011	04
C	GENERAL REVISION	10/011	04
B	DEVELOPMENT APPLICATION	11/016	04
A	PRELIMINARY SITE CO-ORDINATION	21/016	04
Rev	Description	Date	April
Client			

Client: [redacted]  
Project:  
**The Crescent**  
MULTI-RESIDENTIAL  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBAN LINK**  
Business Address: Level 10, 11-13 Green Street, Sydney NSW 2014  
Postal Address: PO Box 1222, Homebush North NSW 2124  
Phone Number: +61 02 945 0214

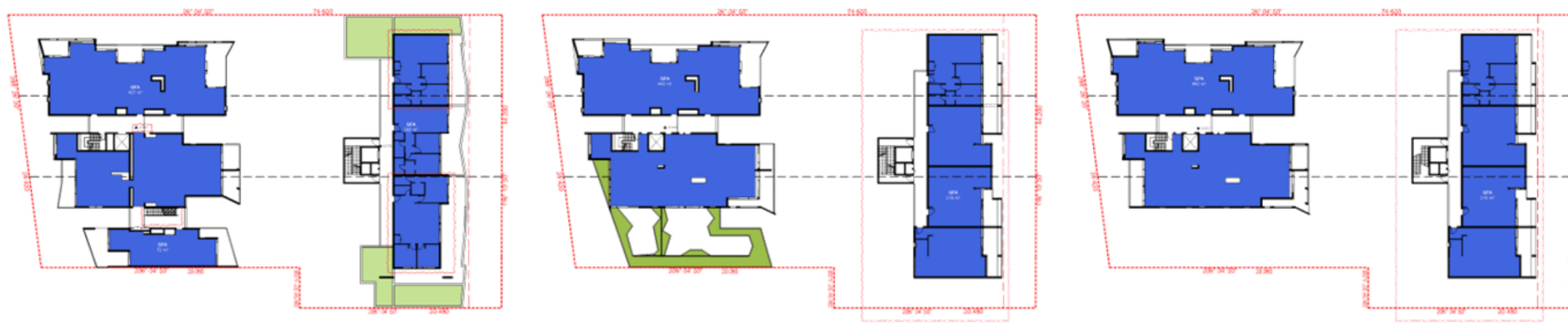
Drawing Title:  
**FLOOR PLANS**  
LEVEL 07 & 08  
Date of Issue: 11/04/2018  
Checked: [redacted] Approved: [redacted]

Scale:  
1:200  
Project Number:  
16-103  
Drawing Number: 16-103  
Section: SECTION 96

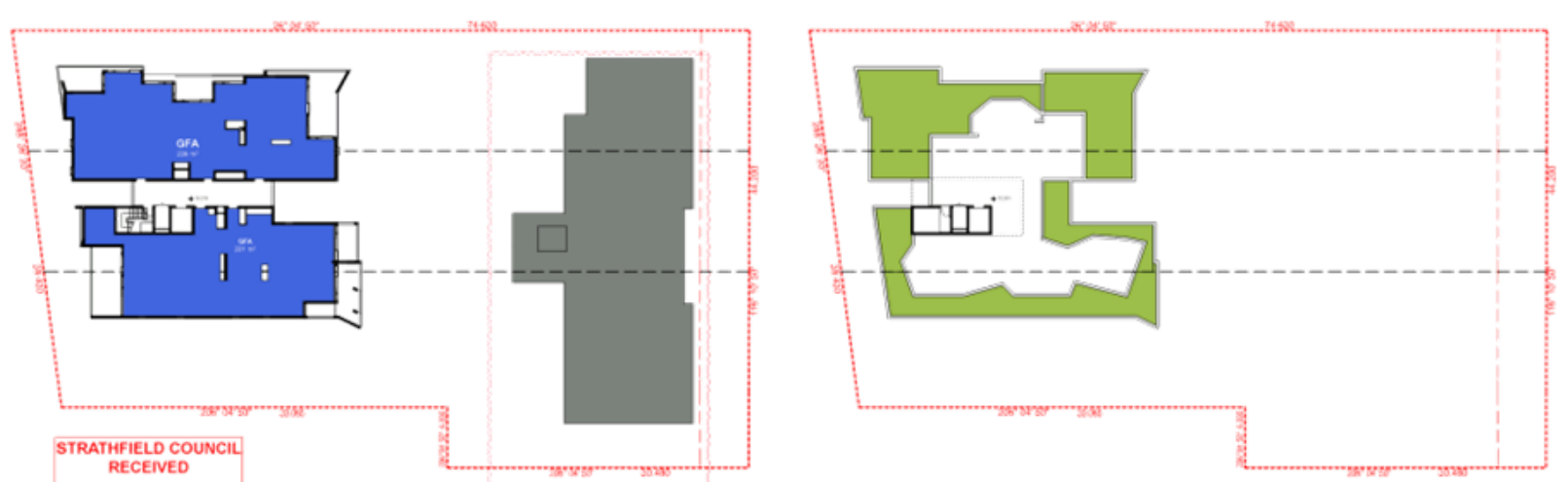


Note:  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK OR PREPARING SHOP DRAWINGS.  
DO NOT SCALE DRAWING.

1 - BASEMENT 1 1 - GROUND FLOOR 1 - LEVEL 1



1 - LEVEL 4 1 - LEVEL 5 1 - LEVEL 6



1 - LEVEL 7 1 - LEVEL 8

STRATHFIELD COUNCIL  
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DA2016/172/03  
12 April 2018

GFA CALCULATION		
LOWER GROUND/B1	261	m <sup>2</sup>
GROUND FLOOR	789	m <sup>2</sup>
LEVEL 01	930	m <sup>2</sup>
LEVEL 02	930	m <sup>2</sup>
LEVEL 03	930	m <sup>2</sup>
LEVEL 04	719	m <sup>2</sup>
LEVEL 05	758	m <sup>2</sup>
LEVEL 06	758	m <sup>2</sup>
LEVEL 07	427	m <sup>2</sup>
LEVEL 08		m <sup>2</sup>
<b>TOTALS</b>	<b>6502</b>	<b>m<sup>2</sup></b>
	<b>FSR 2.2:1</b>	<b>:1</b>

F	SECTION: ADDITIONAL 1% GFA	94816	04
E	SECTION: 40 PER COMMENTS 18/02/17	32127	04
D	SECTION: 10/11/17	10311	04
C	GENERAL REVIEW	10217	04
B	DEVELOPMENT APPLICATION	11116	04
A	PRELIMINARY SITE CO-ORDINATION	21316	04
Rev	Description	Date	April
Client			

Client E-mail  
Client Phone Number  
Project  
**The Crescent**  
MULTI-RESIDENTIAL  
40-42 LOTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBAN LINK**  
Business Address: Level 10, 11-15 Green Street, Sydney NSW 2014  
Postal Address: PO BOX 1222 Rozelle NSW 2058  
Phone Number: +61 2940 2014

Drawing Title  
**COMPLIANCE**  
TYPICAL GFA INCLUSIONS

Date of Issue  
11/04/2018

Scale  
1:200, 1:100, 1:1  
400 mm dia

Project Number  
16-103  
Drawing Number/Revision  
DA2401 F  
Section  
SECTION 96



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DA2016/172/03  
12 April 2018

F	SECTION: ADDITIONAL 1% OFA	04016	01
E	SECTION: 40 PER COMMENTS 16/02/17	02017	04
D	SECTION: 10/11/17	10/11/17	04
C	GENERAL REVIEW	10/11/17	04
B	DEVELOPMENT APPLICATION	11/11/16	04
A	PRELIMINARY SITE CO-ORDINATION	21/12/16	01
Rev	Description	Date	Author
Client			

Client: [Redacted]  
Project:  
**The Crescent**  
MULTI-RESIDENTIAL  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBANLINK**  
Business Address: Unit 10, 11-15 Green Street, Homebush NSW 1589  
Postal Address: PO Box 3222, Homebush NSW 1589  
Phone Number: +61 (0)2 9493 2014

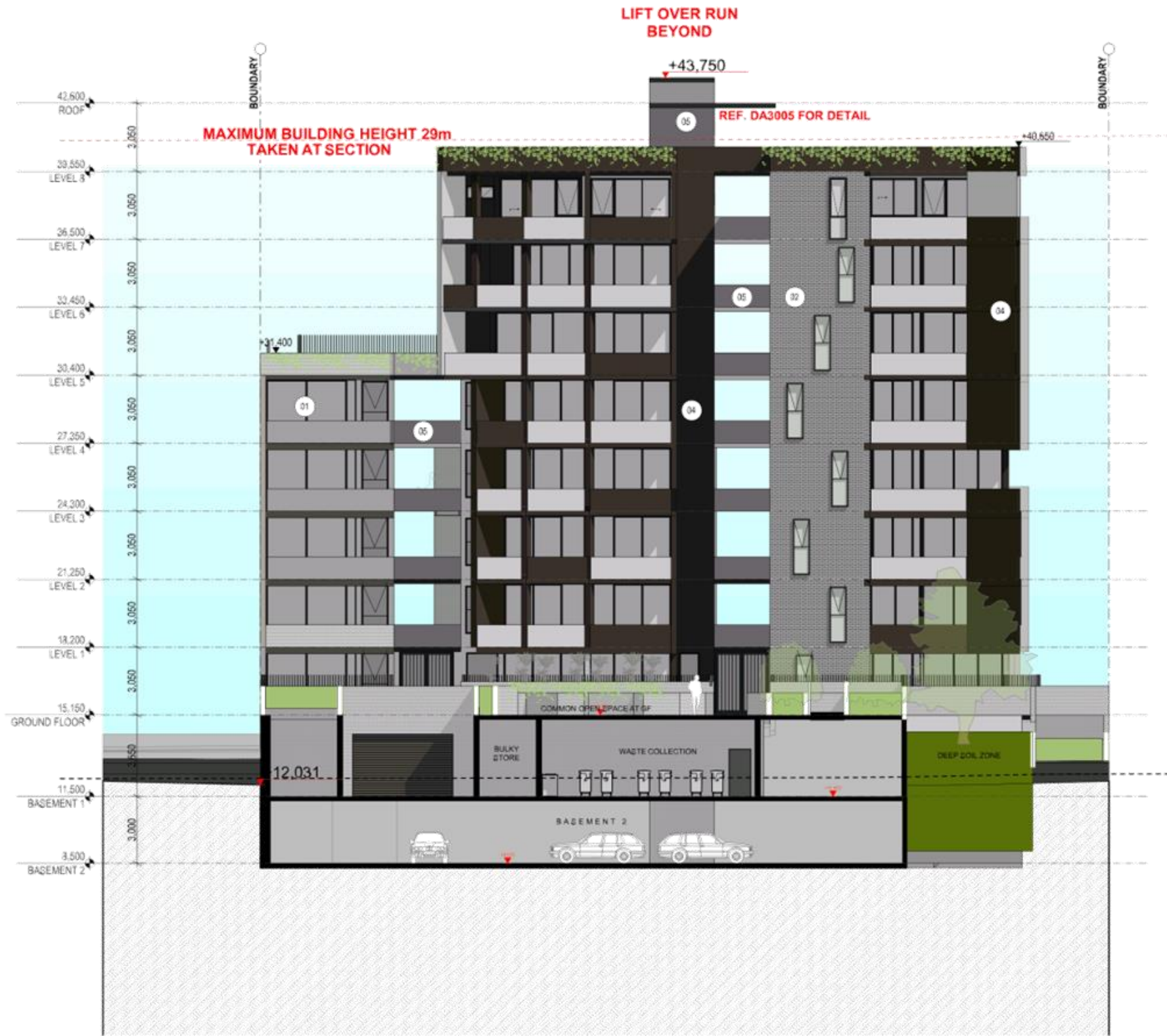
Drawing Title:  
**ELEVATIONS**  
ELEVATION

Date of Issue: 11/04/2018  
Scale: 1:100, 1:162.08  
Project Number: 16-103  
Drawing Number: DA3001 F  
Section: SECTION 96

1

SOUTH BLDG A

LOFTUS LANE



Note:  
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**MATERIAL SCHEDULE**

- 01 WHITE BRICK
- 02 BRICK PINK FLESH
- 03 BRICK PORTLAND
- 04 DARK BLACK/ROTTENHOLM OR SIMILAR
- 05 TERRAZZO CARPARK OR SIMILAR
- 06 ALUMINUM PANEL SYSTEMS OR SIMILAR

**LEGEND**

01 Common Wall  
02 Common Wall  
03 Common Wall  
04 Common Wall  
05 Common Wall  
06 Common Wall  
07 Common Wall  
08 Common Wall  
09 Common Wall  
10 Common Wall  
11 Common Wall  
12 Common Wall  
13 Common Wall  
14 Common Wall  
15 Common Wall  
16 Common Wall  
17 Common Wall

F	SECTION: ADDITIONAL 1/3 OF A	04016	CH
E	SECTION: AS PER COMMENTS 18/02/17	02017	CH
D	SECTION:	10/111	CH
C	GENERAL REVISION	10/111	CH
B	DEVELOPMENT APPLICATION	11/116	CH
A	PRELIMINARY SITE CO-ORDINATION	11/116	CH
Rev	Description	Date	Author
Client			

Client Name  
Client Project Number

Project  
**The Crescent**  
MULTI-RESIDENTIAL  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBAN LINK**

Business Address: Level 10, 11-15 Green Street, Sydney NSW 2014  
Postal Address: PO Box 1222, Strathfield NSW 1514  
Phone Number: +61 (0)2 9540 2014

Drawing Title  
**ELEVATIONS**  
ELEVATION

Date of Issue: 11/04/2018  
Checked: Approved:

Scale  
1:100, 1:162.08  
9/11/2018

Project Number  
**16-103**

Drawing Number/Revision  
**DA3002 F**

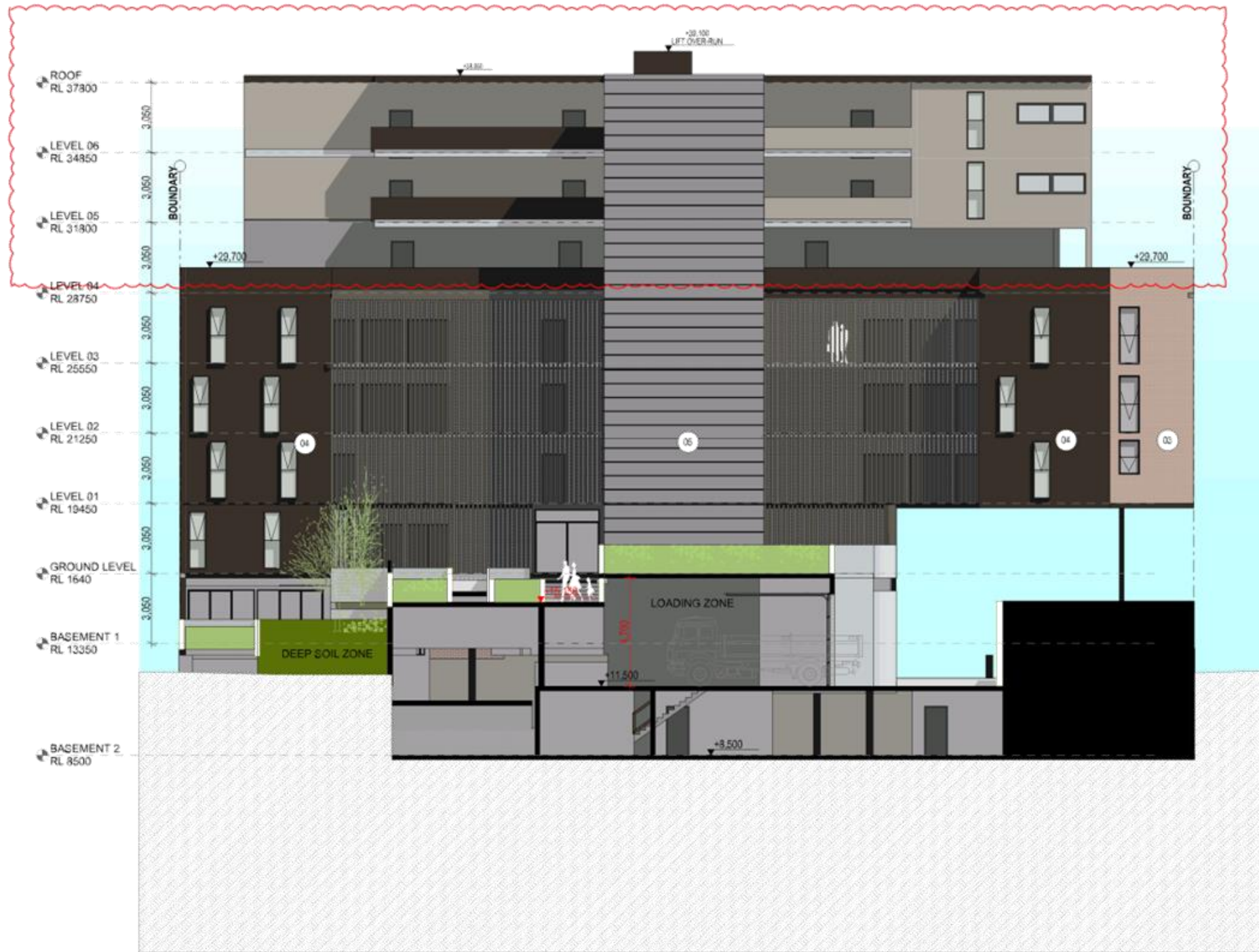
Section  
**SECTION 96**

STRATHFIELD COUNCIL  
RECEIVED

DA2016/172/03  
12 April 2018

1

NORTH BLDG B



NOTE  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWINGS.

**MATERIAL SCHEDULE**

- 01 WHITE BRICK
- 02 BRICK PINK FLESH
- 03 BRICK PORTLAND
- 04 DALLAS BLACKCRAFT BRICK (R 2000-04)
- 05 POLYURETHANE CARBONFIBRE (R 2000-04)
- 06 METAL PANEL (COSTA PANELS OR EQUIVALENT)

**LEGEND**

01 Concrete Slab  
02 Concrete Wall  
03 Concrete Floor  
04 Concrete Slab  
05 Concrete Wall  
06 Concrete Floor  
07 Reinforced Concrete Slab  
08 Reinforced Concrete Wall  
09 Reinforced Concrete Column  
10 Reinforced Concrete Beam  
11 Steel Deck  
12 Steel Joist  
13 Steel Column  
14 Steel Beam  
15 Steel Joist  
16 Steel Deck  
17 Steel Joist  
18 Steel Column  
19 Steel Beam  
20 Steel Joist  
21 Steel Deck  
22 Steel Joist  
23 Steel Column  
24 Steel Beam  
25 Steel Joist  
26 Steel Deck  
27 Steel Joist  
28 Steel Column  
29 Steel Beam  
30 Steel Joist  
31 Steel Deck  
32 Steel Joist  
33 Steel Column  
34 Steel Beam  
35 Steel Joist  
36 Steel Deck  
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39 Steel Beam  
40 Steel Joist  
41 Steel Deck  
42 Steel Joist  
43 Steel Column  
44 Steel Beam  
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46 Steel Deck  
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89 Steel Beam  
90 Steel Joist  
91 Steel Deck  
92 Steel Joist  
93 Steel Column  
94 Steel Beam  
95 Steel Joist  
96 Steel Deck  
97 Steel Joist  
98 Steel Column  
99 Steel Beam  
100 Steel Joist

F	SECTION: ADDITIONAL 1/3 OF 04	9/8/16	GH
E	SECTION: AS PER COMMENTS 18/02/17	02/17	GH
D	SECTION: 01	10/11	GH
C	GENERAL REVISION	10/11	GH
B	DEVELOPMENT APPLICATION	11/16	GH
A	PRELIMINARY SITE CO-ORDINATION	21/16	GH
Rev	Description	Date	Author
Client			

Client Email  
Client Phone Number  
Project  
**The Crescent**  
MULTI-RESIDENTIAL  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

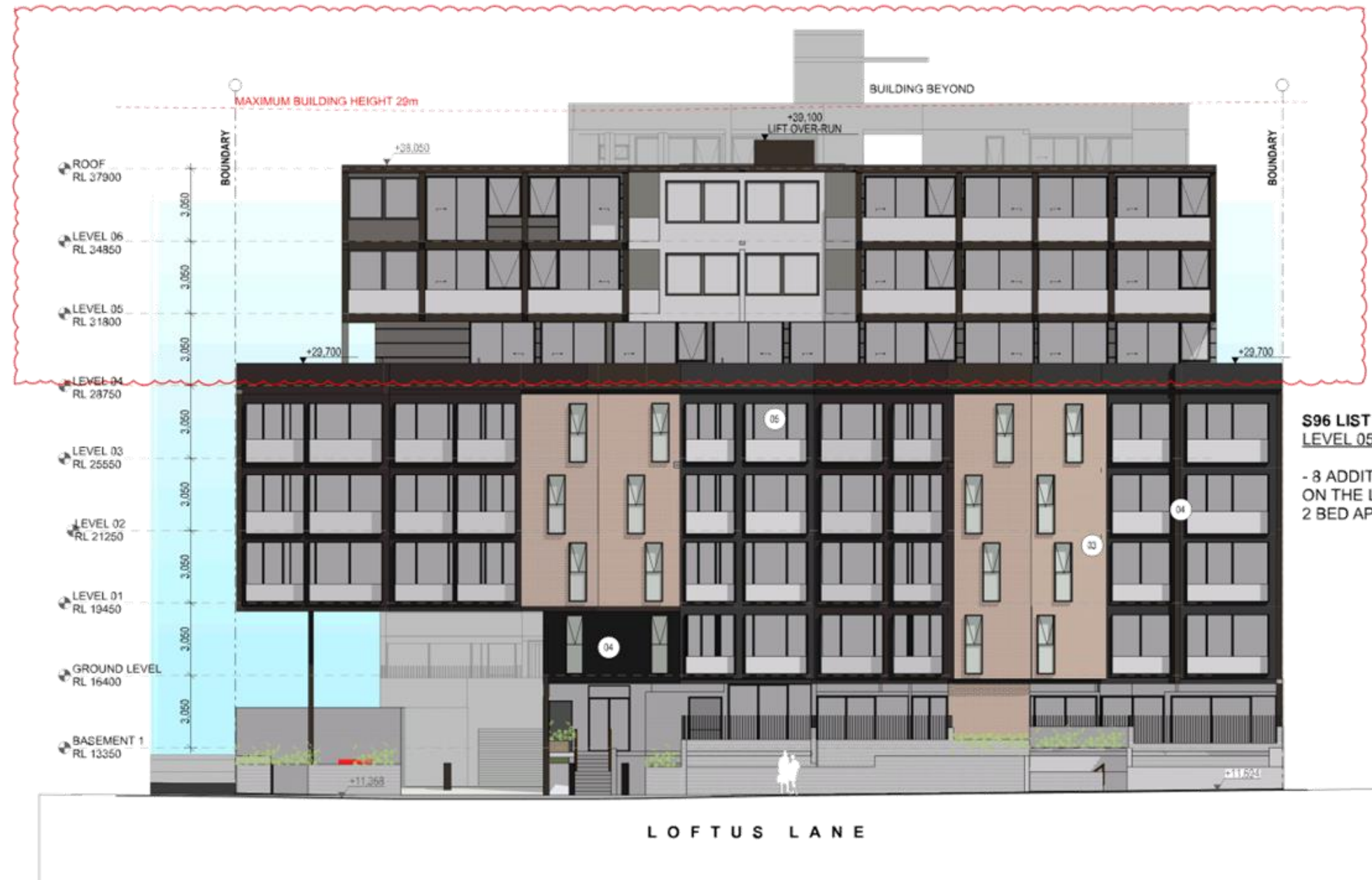
**URBAN LINK**  
Building Services - 144 St. Vincent Street, Sydney NSW 2011  
Planning Services - PO Box 1222, Strathfield NSW 1513  
Phone Number - 401 2540 2014

Drawing Title  
**ELEVATIONS**  
ELEVATION  
Date of Issue  
11/04/2018  
Scale  
1:100, 1:162.08  
Project Number  
16-103  
Drawing Number  
DA3003 F  
SECTION 96

STRATHFIELD COUNCIL  
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DA2016/172/03  
12 April 2018

1

SOUTH BLDG B



NOTE  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWINGS.

**MATERIAL SCHEDULE**

- 01 WHITE BRICK
- 02 BRICK PINK FINISH
- 03 BRICK PORTLAND
- 04 SLATE BLACK/WHITE GRAY OR DARK GR
- 05 POLYURETHANE CARBONFIBRE OR GFR/GFR
- 06 ALUMINA FIBRE GLASS FIBRE REINFORCED POLYESTER OR GFR/GFR

**LEGEND**

01 Concrete  
02 Concrete  
03 Concrete  
04 Concrete  
05 Concrete  
06 Concrete  
07 Concrete  
08 Concrete  
09 Concrete  
10 Concrete  
11 Concrete  
12 Concrete  
13 Concrete  
14 Concrete  
15 Concrete  
16 Concrete  
17 Concrete  
18 Concrete  
19 Concrete  
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**S96 LIST OF AMENDMENTS:  
LEVEL 05 & 06**

- 8 ADDITIONAL UNITS OVER 2 ADDITIONAL LEVELS ON THE LOFTUS LANE SIDE. THESE UNITS ARE ALL 2 BED APARTMENTS. (CLOUDED)

F	SECTION: ADDITIONAL 1/8 GFA	98016	01
E	SECTION: 40 PER COMMENTS 16/02/17	02017	04
D	SECTION: 10/11/17	10111	04
C	GENERAL REVIEW	10011	04
B	DEVELOPMENT APPLICATION	11016	04
A	PRELIMINARY SITE COORDINATION	11016	04
Rev	Description	Date	April
Client			

Client Email  
Client Phone Number

Project  
**The Crescent**  
MULTI-RESIDENTIAL  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBAN LINK**

Building Address: Level 10, 11 & 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

Postal Address: PO BOX 2222, HOMEBUSH NSW 1514  
Phone Number: 401 2540 2014

Drawing Title  
**ELEVATIONS**  
ELEVATION

Date of Issue: 11/04/2018  
Checker: [Signature]  
Approver: [Signature]

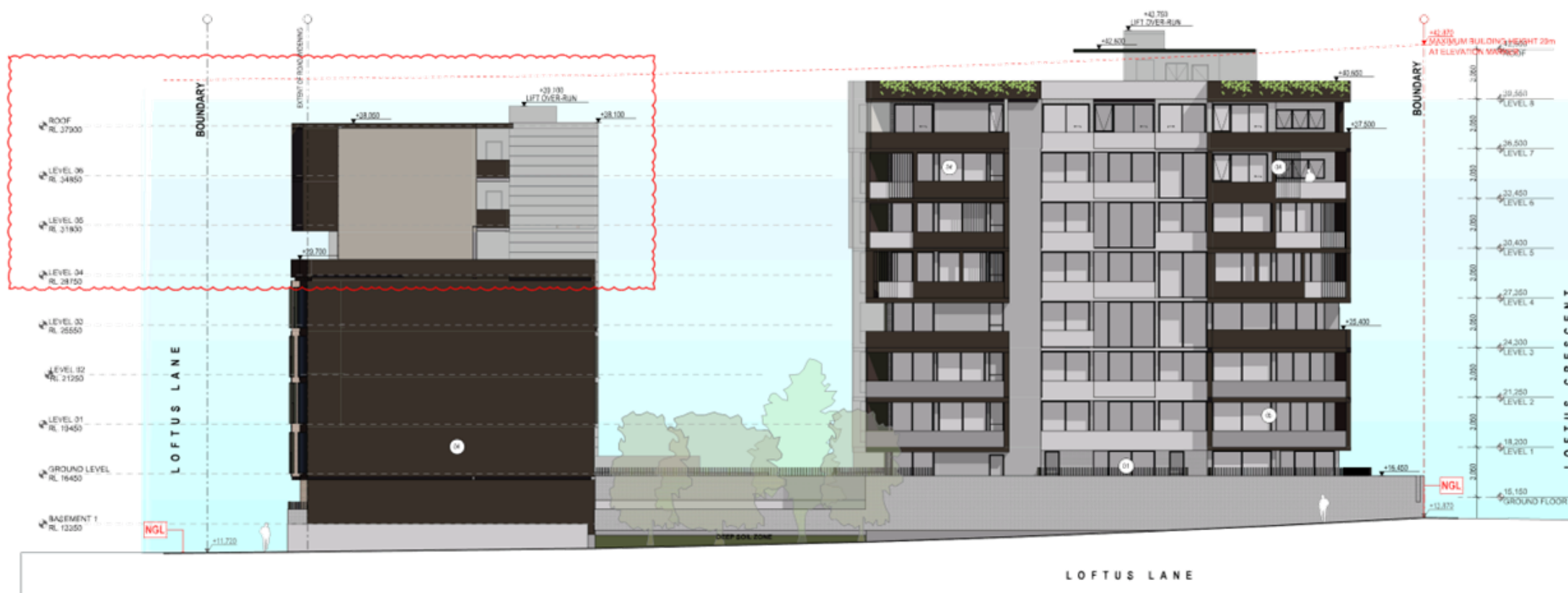
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9/11/2018

Project Number: 16-103  
Drawing Number: DA3004 F  
Section: SECTION 96

STRATHFIELD COUNCIL  
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DA2016/172/03  
12 April 2018





NOTE: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWINGS.

**MATERIAL SCHEDULE**

- 1 WHITE BRICK
- 2 BRICK PINK FINISH
- 3 BRICK PORTLAND
- 4 DARK BLACK/GRAY BRICK (ON BALCONY)
- 5 TERRAZZO/CONCRETE ON BALCONY
- 6 METAL FINISH PANELS (ON BALCONY)

**LEGEND**

1:00 SECTION: WEST SIDE

1:00 SECTION: EAST SIDE

1:00 SECTION: SOUTH SIDE

1:00 SECTION: NORTH SIDE

1:00 SECTION: WEST SIDE

1:00 SECTION: EAST SIDE

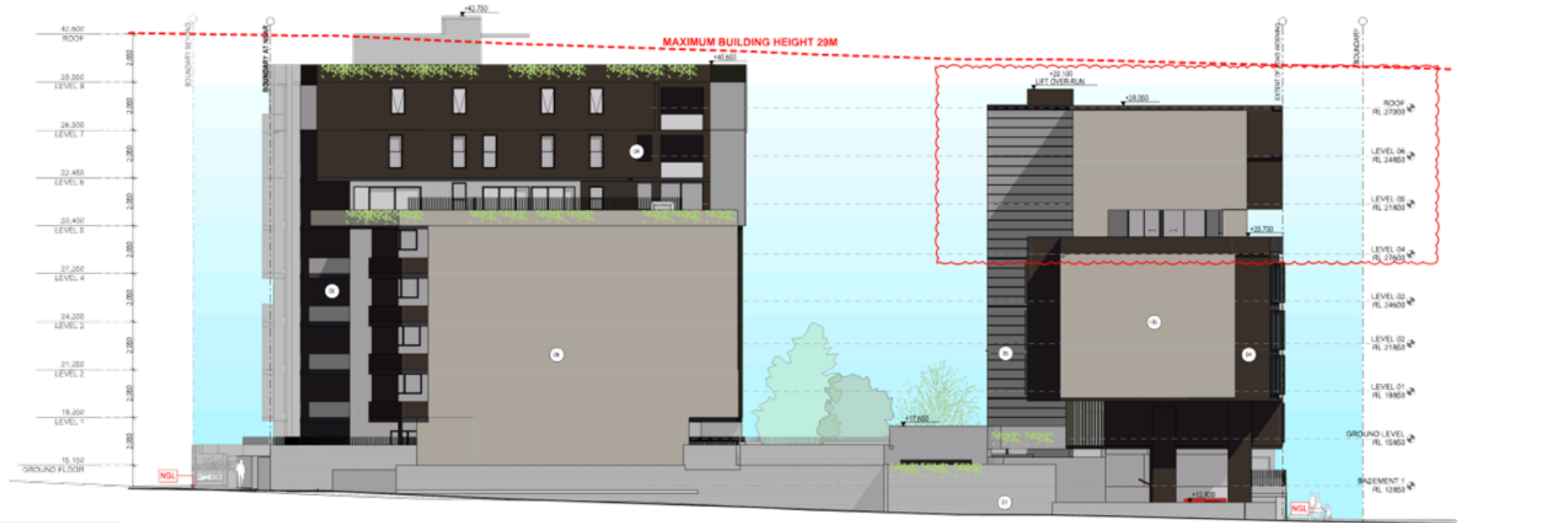
1:00 SECTION: SOUTH SIDE

1:00 SECTION: NORTH SIDE

**S96 LIST OF AMENDMENTS:  
LEVEL 05 & 06**

- 8 ADDITIONAL UNITS OVER 2  
ADDITIONAL LEVELS  
ON THE LOFTUS LANE SIDE.  
THESE UNITS ARE ALL  
2 BED APARTMENTS.  
(CLOUDED)

1



F	SECTION: ADDITIONAL 10% OFA	9/8/16	DR
E	SECTION: AS PER COMMENTS 18/02/17	30/1/17	DR
D	SECTION: 10% OFA	10/11/16	DR
C	GENERAL REVIEW	10/11/16	DR
B	DEVELOPMENT APPLICATION	11/11/16	DR
A	PRELIMINARY SITE COORDINATION	21/12/16	DR
Rev	Description	Date	Author
Client			

Client E-mail: [redacted]  
Client Phone Number: [redacted]

**The Crescent  
MULTI-RESIDENTIAL**  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBAN LINK**  
Building Address: Level 10, 11 & 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24  
Postal Address: PO BOX 1022, Homebush NSW NSW 1514  
Phone Number: +61 2 9490 2014

Drawing Title:  
**ELEVATIONS  
EAST/WEST ELEVATIONS**

Date of Issue: 11/04/2018  
Checked: [redacted]  
Approved: [redacted]

Scale:  
1:150, 1:162.08  
AS 1500:2011

Project Number:  
**16-103**

Drawing Number/Revision:  
**DA3005 F**

Date:  
**SECTION 96**

STRATHFIELD COUNCIL  
RECEIVED  
DA2016/172/03  
12 April 2018

1

EAST



NOTE: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

**GENERAL SYMBOLS**

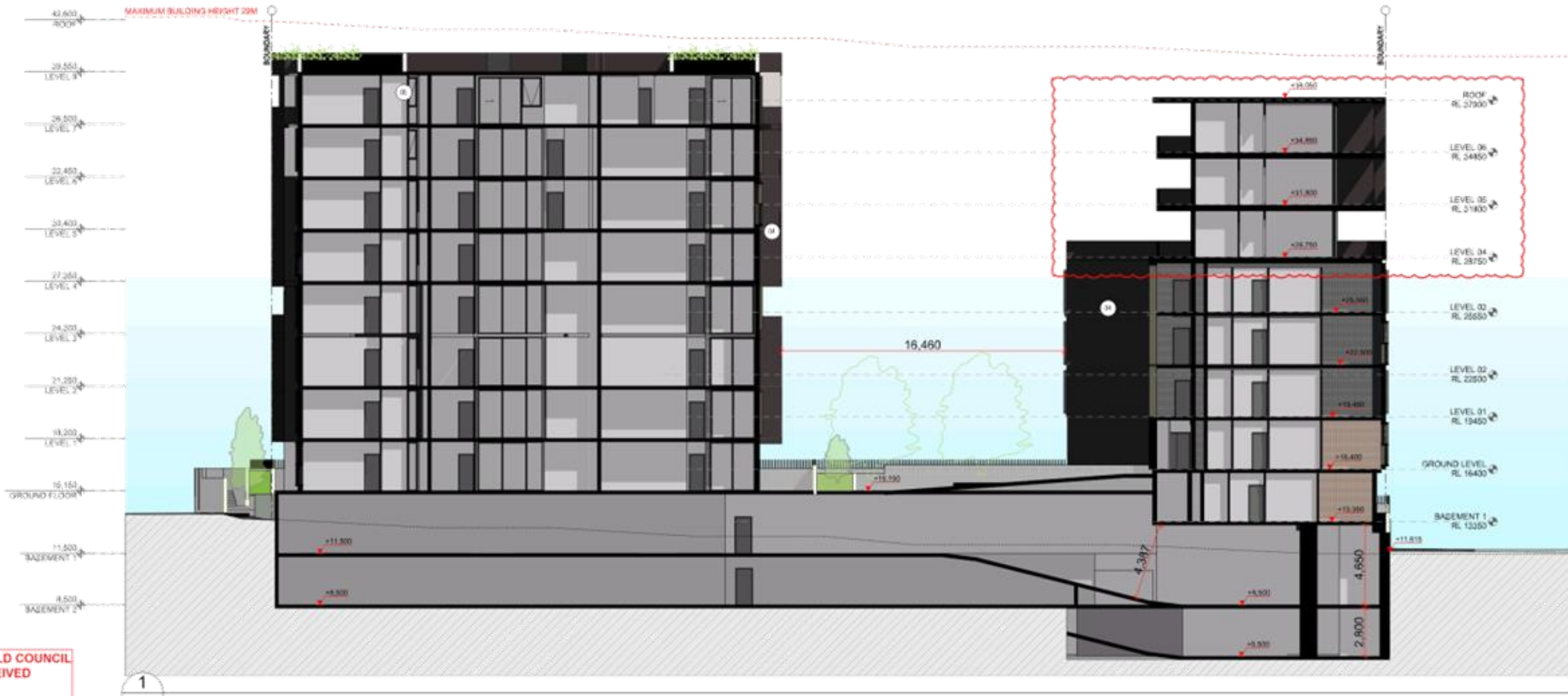
- 01: 2 BED APARTMENT (27.2m<sup>2</sup>)
- 02: 3 BED APARTMENT (37.2m<sup>2</sup>)
- 03: 4 BED APARTMENT (47.2m<sup>2</sup>)
- 04: MULTIFUNCTIONAL LIVING UNIT (47.2m<sup>2</sup>)
- 05: 2 BED APARTMENT (27.2m<sup>2</sup>)

**LEGEND**

1: Structure  
2: Floor Slab  
3: Wall  
4: Column  
5: Staircase  
6: Lift Shaft  
7: Recessed Ceiling  
8: Suspended Ceiling  
9: Floor Finish  
10: Wall Finish  
11: Ceiling Finish  
12: Window  
13: Door  
14: Glass Panel  
15: Glass Wall  
16: Glass Door  
17: Glass Window  
18: Glass Wall  
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198: Glass Wall  
199: Glass Door  
200: Glass Window

**S96 LIST OF AMENDMENTS:**  
**LEVEL 05 & 06**

- 8 ADDITIONAL UNITS OVER 2 ADDITIONAL LEVELS ON THE LOFTUS LANE SIDE. THESE UNITS ARE ALL 2 BED APARTMENTS. (CLOUDED)



F: SECTION 96 - ADDITIONAL 178 UFA 98016 CH  
 E: SECTION 96 - PER COMMENTS 18/02/17 02/017 CH  
 D: SECTION 96 - PER COMMENTS 18/02/17 10/111 CH  
 C: GENERAL REVIEW 10/011 CH  
 B: DEVELOPMENT APPLICATION 11/0116 CH  
 A: PRELIMINARY SITE COORDINATION 21/12/16 CH  
 Rev: Description Date April  
 Client

Client Name  
 Client Project Number

Project  
**The Crescent**  
 MULTI-RESIDENTIAL  
 40-42 LOFTUS CRESCENT  
 HOMERLEIGH NSW AUSTRALIA

**URBAN LINK**  
 Building Address: 144-151, 11-15 Green Street, Sydney NSW 2014  
 Postal Address: PO BOX 2222, Liverpool NSW 2157  
 Phone Number: +61 2 9740 2014

Drawing Title  
**SECTION 96**  
**SECTION AA/BB**

Date of Issue: 11/04/2018  
 Checked: Approved:

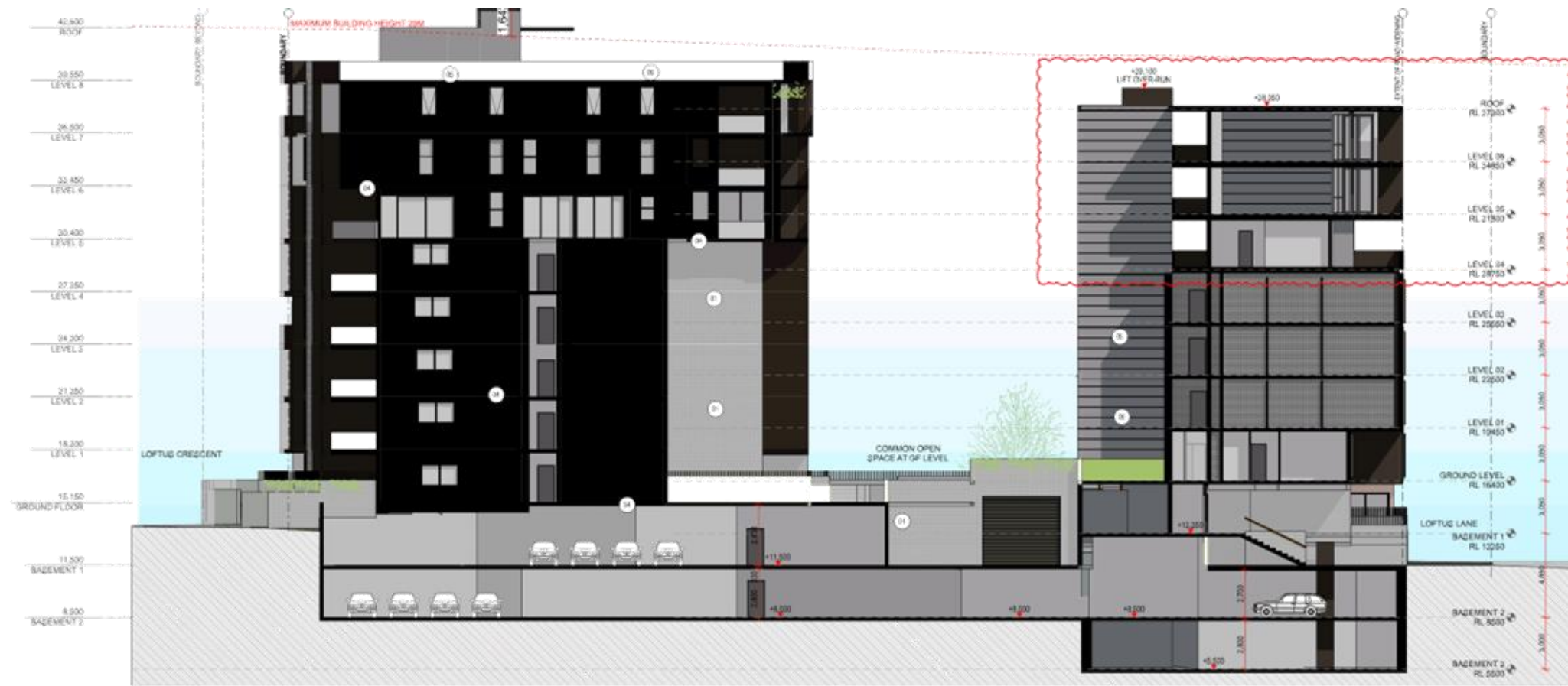
Scale  
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 9/11/2018

Project Number  
**16-103**

Drawing Number/Revision  
**DA2101 F**

Section  
**SECTION 96**

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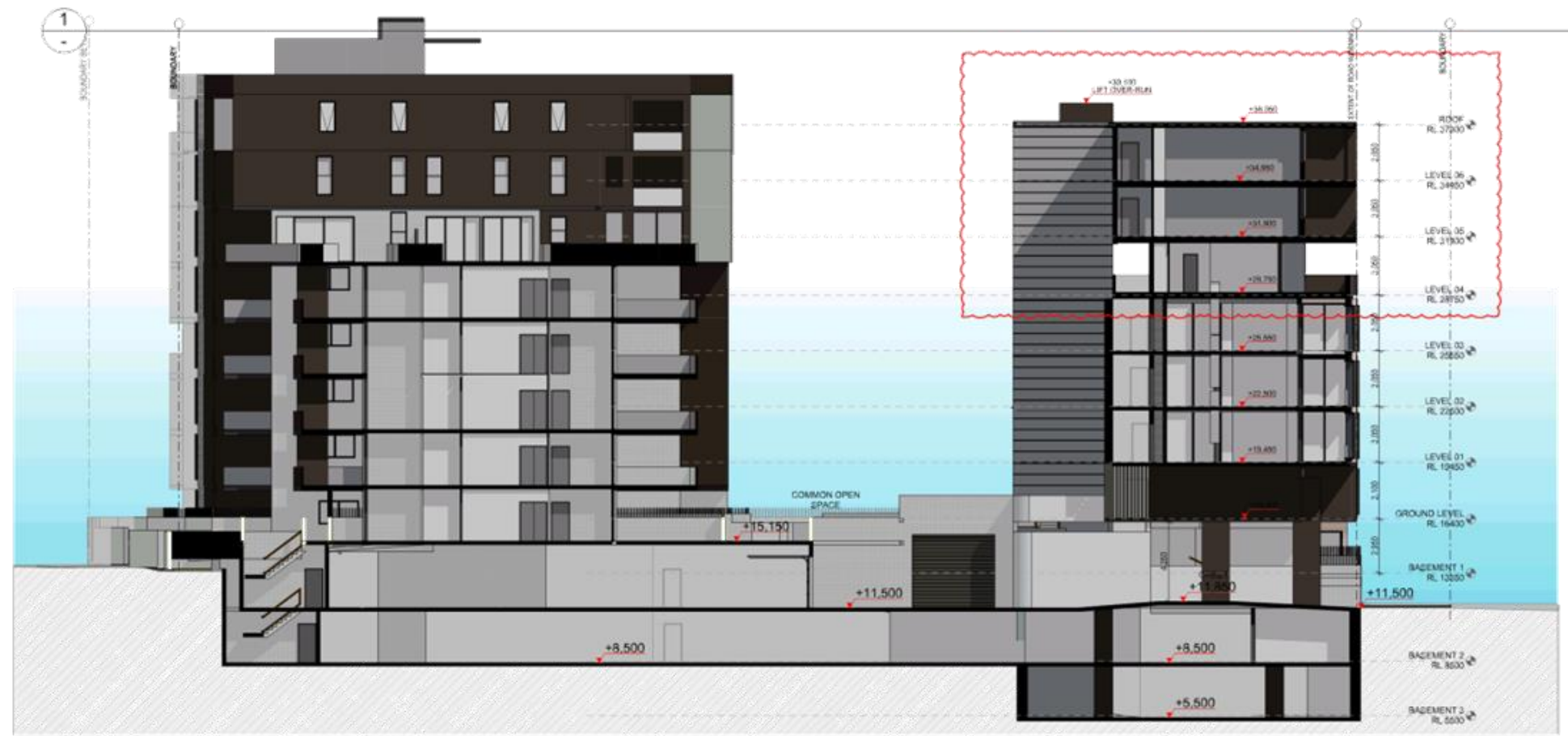
NOTE: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. IF PREPARING SHOP DRAWINGS, DO NOT SCALE DRAWING.

**GENERAL SYMBOLS**

01	CONCRETE WALL
02	CONCRETE COLUMN
03	CONCRETE BEAM
04	GLAZED ALUMINIUM WINDOW
05	GLAZED ALUMINIUM DOOR

**LEGEND**

1	Structure	1	Roof
2	Foundation	2	Roof
3	Structure	3	Roof
4	Structure	4	Roof
5	Structure	5	Roof
6	Structure	6	Roof
7	Structure	7	Roof
8	Structure	8	Roof
9	Structure	9	Roof
10	Structure	10	Roof
11	Structure	11	Roof



F	SECTION: ADDITIONAL 1/8" DIA	98016	01
E	SECTION: 40 PER COMMENTS 18/02/17	02057	04
D	SECTION: 40 PER COMMENTS 18/02/17	10311	04
C	GENERAL REVISION	02011	04
B	DEVELOPMENT APPLICATION	11016	04
A	PRELIMINARY DEVELOPMENT	21216	01
Rev	Description	Date	April
Client			

Client: [Name]  
 Project:  
**The Crescent**  
**MULTI-RESIDENTIAL**  
 40-42 LOFTUS CRESCENT  
 HOMEBUSH NSW AUSTRALIA



Drawing Title:  
**SECTION CC/FF**

Date of Issue: 11/04/2018  
 Checked: [Signature]  
 Approved: [Signature]

Scale:  
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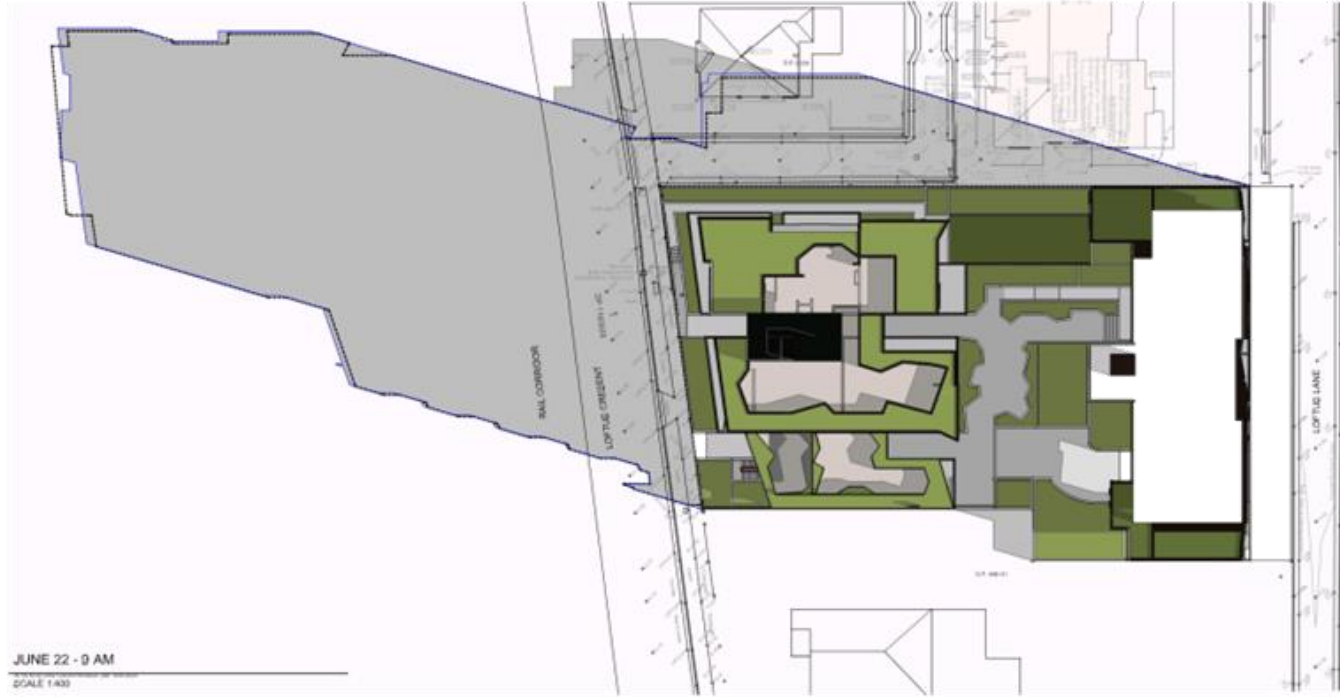
Project Number:  
**16-103**

Drawing Number/Revision:  
**DA2102 F**

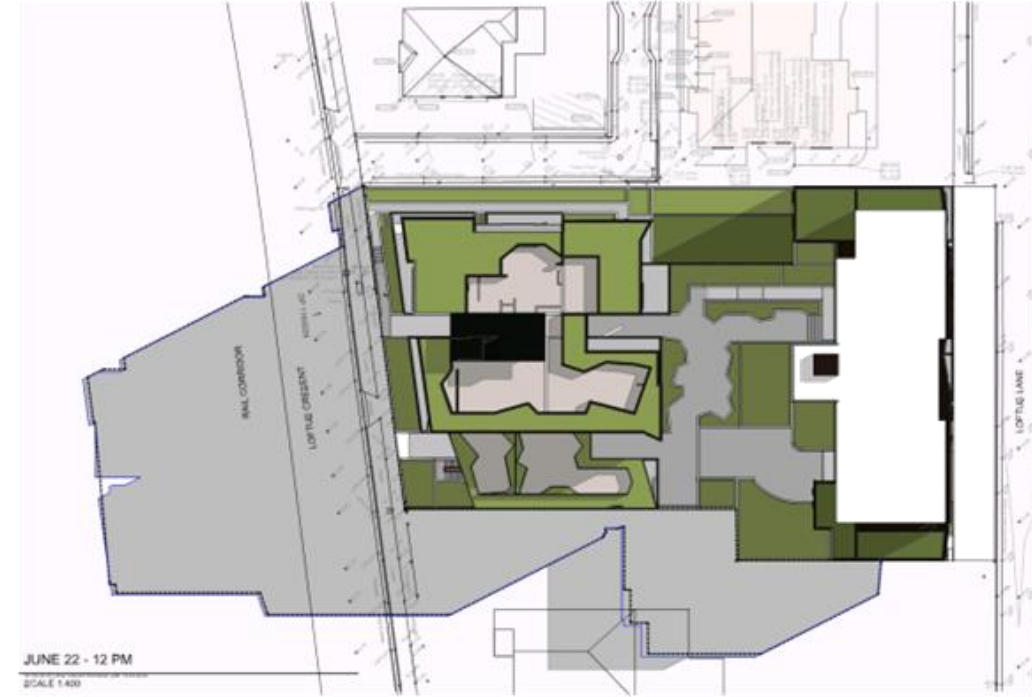
Section:  
**SECTION 96**

STRATHFIELD COUNCIL  
 RECEIVED  
 DA2016/172/03  
 12 April 2018

Note  
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK OR PREPARING SHOP DRAWINGS  
DO NOT SCALE DRAWING






JUNE 22 - 9 AM  
SCALE 1:400



JUNE 22 - 12 PM  
SCALE 1:400



JUNE 22 - 3 PM  
SCALE 1:400

-  APPROVED SHADOW  
DA 2016/172  
07/08/2017
-  APPROVED SHADOW  
DA 2016/172  
03/10/2017
-  PROPOSED SHADOW

STRATHFIELD COUNCIL  
RECEIVED  
DA2016/172/03  
12 April 2018

F	SECTION: ADDITIONAL 1% OFA	04/01/18	DR
E	SECTION: AS PER COMMENTS 18/02/17	02/02/17	CH
D	SECTION:	10/11/17	CH
C	GENERAL REVIEW	10/11/17	CH
B	DEVELOPMENT APPLICATION	11/11/16	CH
A	PRELIMINARY SITE CO-ORDINATION	21/12/16	CH
Rev	Description	Date	Author
Client			

Client Name  
Client Project Number  
Project  
**The Crescent**  
**MULTI-RESIDENTIAL**  
40-42 LOFTUS CRESCENT  
HOMEBUSH NSW AUSTRALIA

**URBAN LINK**  
Business Address: Unit 10, 11-15 Green Street, Strathfield NSW 2154  
Postal Address: PO BOX 1222 Strathfield NSW 2154  
Phone Number: +61 2 9740 2014

Drawing Title  
**DA4 SHADOW DIAGRAMS**  
**JUNE 22 WINTER SOLSTICE**

Scale of Plan  
1:400  
Date of Issue  
11/04/2018

Project Number  
**16-103**  
Drawing Number  
**DA6001 F**  
Section  
**SECTION 96**