

Agenda

Strathfield Local Planning Panel Meeting

Notice is hereby given that a Strathfield Local Planning Panel Meeting will be held at Council Town Hall (Supper Room), 65 Homebush Road, Strathfield on:

Thursday, 5 July 2018

Commencing at 10:00am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.

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TO: Strathfield Local Planning Panel Meeting - 5 July 2018
REPORT: SLPP – Report No. 1
SUBJECT: DA2018/004 - 17 COVENTRY ROAD, STRATHFIELD
LOT 3 IN DP 31617
DA NO. DA2018/004

SUMMARY

Proposal: Alterations and additions to an existing heritage listed residential dwelling, which includes internal reconfigurations, a new rear addition, front boundary fence, carport, shed and swimming pool.

Applicant: Wai Chow

Owner: Wai Chow

Date of lodgement: 5 January 2018

Notification period: 15 January 2018 - 29 January 2018

Submissions received: 0

Assessment officer: LM

Estimated cost of works: \$800,000.00

Zoning: R2 Low Density Residential - SLEP 2012

Heritage: Yes - "Ophir"—Federation house – *Item 1128* under Schedule 5 of SLEP 2012.

Flood affected: Yes

RECOMMENDATION OF OFFICER: **Approval**

EXECUTIVE SUMMARY

- 1.0 The application seeks approval for the alterations and additions to an existing residential dwelling that is heritage listed (*Item 1128*) under Schedule 5 of the Strathfield Local Environmental Plan (SLEP) 2012. Proposed works includes a new rear addition, front fence, carport, shed and swimming pool.
- 2.0 The application was notified in accordance with Part L of the Strathfield Consolidated Development Control Plan (SCDCP) 2005 from 15 January 2018 to 29 January 2018 where no submissions were raised during this time.
- 3.0 Amended plans were submitted to Council to reflect the issues raised by GML Heritage (external Heritage consultant) and Council's Heritage Advisor regarding the original design intent of the proposed development.
- 4.0 This application is considered appropriate and is therefore recommended to be approved subject to the imposition of appropriate conditions of consent.

The subject application was referred to Council's Internal Development Assessment Panel (IDAP) for consideration on 13 June 2018. The Panel deferred the Application and recommended that the application be referred to SIHAP for determination.

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Lot 3 in DP 31617 (Cont'd)

BACKGROUND

On 29 November 2017, a pre-development application meeting was held with Councils Officers, the landowners and architects in relation to the proposed alterations and additions to the subject site. In this meeting, the following points of discussion were raised:

- The application is to consider the newly adopted Part P 'Heritage' of the SCDCP 2005 and therefore a Heritage Impact Statement will be required, detailing an assessment against the proposed works;
- The roof design as part of the rear addition is to be amended in order to reduce the likely visual impacts on the heritage listed building located on the subject site;
- The location of the four (4) skylights are to be deleted as the works will require the removal of the decorative fabrics located on the ceiling, which contribute to the overall heritage significance of the site;
- An additional 6.49% (53.067m²) of deep soil landscaping will be required on the subject site to demonstrate compliance with Part A of the SCDCP 2005;
- 1m of deep soil soft landscaping is to be provided around the boundary of the swimming pool in order to comply with SCDCP 2005;
- Amendments to the schedule of finishes will be required to ensure the rear addition complements the existing heritage significance; and
- Potential mitigation measures that would result in additional privacy for future residents located on site and on surrounding land uses.

DA2018/004 was lodged with Council on 5 January 2018 for the alterations and additions to the existing heritage listed building (Item I128) located on the subject site. The original intention of the proposal included a new rear addition to the existing dwelling, swimming pool, shed, new front fence and carport as well as further internal and external reconfigurations to support the ongoing needs of future residents. After a thorough assessment done by Council's Planning Officers, various outstanding matters were raised and therefore a deferral letter was sent out on 28 February 2018, seeking the following additional information:

- A Stormwater Drainage Concept Plan due to the site being flood affected;
- Design amendments to the roof form as part of the rear addition that would result in a more sympathetic approach to the existing federation dwelling house located on site;
- Amendments to the provided side setback controls that would result in a combined side setback that equals 4.32m (25% of the width of the block);
- Changes to the provided schedule of finishes to reflect the existing character of the streetscape and the overall heritage significance; and
- Reduction to the height of the shed located at the rear of the subject site to gain compliance with the SCDCP 2005.

Due to the extensiveness of the proposed works, a meeting was organised with Council's Assessment and Heritage Officer, the applicant (landowner) and the architect, where further clarification was provided in relation to the required works. The meeting was held at Council on 3 April 2018 where the following matters were addressed:

- Further design amendments being required to the proposed rear addition that would result in a more sympathetic approach the existing heritage significance;
- An additional 6.49% (53.067m²) of deep soil landscaping being required on the subject site in order to gain compliance with Part A of the SCDCP 2005;
- Changes being required to the schedule of finishes that would result in a more sympathetic to the existing heritage character;
- The removal of the four (4) skylights due to the works requiring the removal of the decorative fabrics located on the ceiling that contribute to the heritage significance; and

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- Consideration being required to the rising damp discovered internally of the site and therefore the potential plan of action to ensure there will be no additional impacts to the structure of the existing heritage dwelling.

As the architect wanted to clarify the structural issues with the site, a phone discussion between Councils Planning and Heritage Officer on 24 April 2018 where the additional issues raised by Council regarding the structural adequacy of the existing building and its ability to accommodate the proposal were further discussed. A deferred commencement was raised by the Heritage advisor where a structural engineer will be required on site to confirm that the proposed works could be done without further impacts to the heritage building being done.

Amended plans responding to the abovementioned comments were submitted to Council on 1 May 2018, where a final assessment of the proposal was being complete.

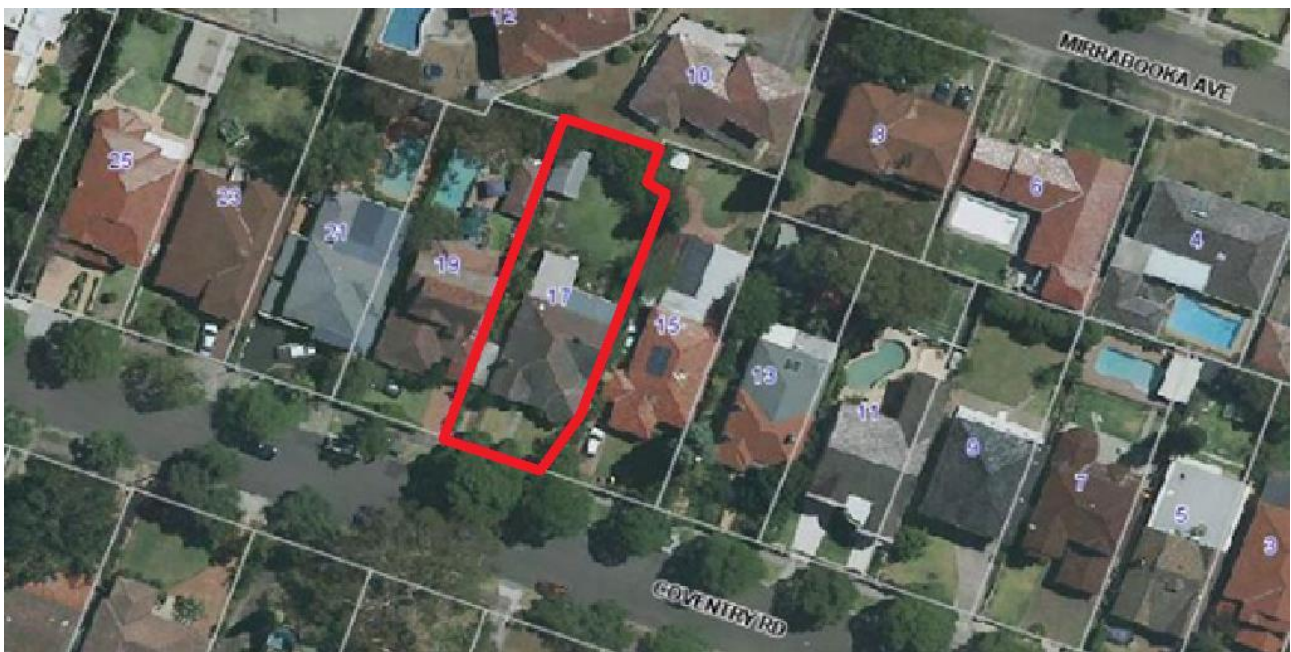
The application was forwarded to the Independent Development Assessment Panel on 31 May 2018, which was deferred due to further assessment being required on the potential impacts proposed works will have on the heritage listed building located on the subject site.

The application was again forwarded to the Independent Development Assessment Panel on 14 June 2018 and deferred due to the proposed Special Conditions in relation to the rising damp that was included in the consent. Further clarification in relation to the inclusion of these conditions were required.

DESCRIPTION OF THE SITE AND LOCALITY

The subject site is legally described as Lot 3 in DP 31617 and is commonly known as 17 Coventry Street, Strathfield (Figure 1). The site is located south of Mirrabooka Avenue and has a total site area of 817.2m². The site is irregular in shape and has a frontage of 14.2m to the south, rear boundary of 13.7m to the north and side boundary length of 48m to the west.

The existing dwelling on site comprises of a heritage listed single storey federation era dwelling house, comprising of masonry construction and a slate roof design (Figure 2). Vehicular access onto the site is provided via an existing driveway, which is located on west of the site frontage. The current streetscape is characterised by single and two (2) storey residential dwellings that primarily consists of exposed face brick and tiled pitched roof forms (Figure 3).



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Figure 1: The site (as outlined in red) and the surrounding context.



Figure 2: The existing site frontage of the subject property.



Figure 3: Residential dwelling located directly opposite the subject site.

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

This application seeks approval for alterations and additions to an existing residential dwelling that is heritage listed (Item I128) under Schedule 5 of the SLEP 2012. Proposed works includes a new rear addition, front fence, shed, carport and a swimming pool. Specific elements of this proposal include:

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- A rear addition to the existing residential dwelling that will comprise of two (2) bedrooms, study/music room and a bathroom;
- Internal reconfigurations to the existing living/dining room in order to enable these areas to be used as two (2) separate bedrooms;
- Demolition and construction of a new front boundary fence;
- Removal of some vegetation within the front setback;
- Demolition and construction of a new carport;
- Construction of a swimming pool which is to be located to the rear;
- Construction of a pitched roof masonry shed located at the rear; and
- Construction of a covered patio and BBQ area.

The proposed northern elevation is shown below in Figure 4.

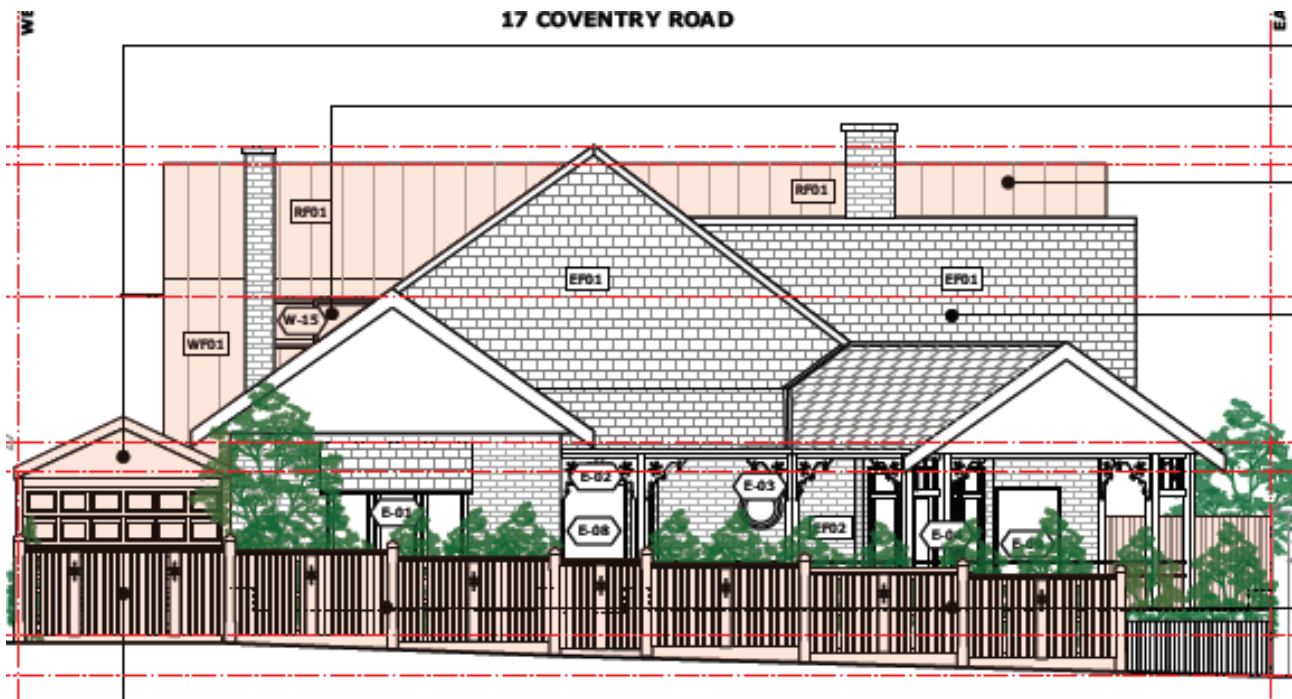


Figure 4: The proposed northern elevation of the subject site.

REFERRALS

INTERNAL REFERRALS

Engineering Comments

As the site is flood affected, Council’s Engineer has reviewed the proposed stormwater drainage concept plan. The following comments were made:

*“I have referred to the development application referenced above and reviewed the stormwater drainage concept plan prepared by **Stubbs Design Tribe issue 2 drawing no. DA1.07 project no. 1417 dated 25.04.2018**. The subject site has a natural fall to the rear, but connection to the existing drainage system has enabled the applicant to submit a compliant design. The provision of water sensitive urban design is not required as the site is less than 2000m². OSD provision not required as site cumulative imperviousness is less than 65% of total site area. Proposed dwelling roof runoff drains into the above rainwater tank in accordance with BASIX requirements by charged means via downpipes. Overflow from the tank and all other impervious areas drain into the existing site drainage system. From an engineering perspective, the concept plan is feasible and there are no objections to its approval subject to the following conditions.”*

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Landscaping Comments

Council's Tree Coordinator offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

Heritage Comments

Council's Heritage Advisor has reviewed the proposal and has made the following comments:

"Proposed Design

The proposed rear addition and front fence originally sought materials that were not sympathetic to the existing built form and was therefore considered to be intrusive from the front elevation. Following an internal meeting with the applicants, amended plans were submitted that included:

- *The reduction in the overall height of the rear addition to be a minimum of 250mm below the ridge height of the existing dwelling house and amendment of the roof form from a pitched roof to a skillion,*
- *Increased side setbacks,*
- *More sensitive treatment of the infill of the arch to bedroom 1/3,*
- *Alterations to the colour of the proposed bricks to be used in the new addition, and*
- *New timber front fence.*

As these amendments were more sympathetic to the existing streetscape, the proposal was considered to be appropriate on Heritage grounds.

During the site inspection, it was noted that the front portion of the house exhibits cracking consistent with possible subsidence and substantial areas of rising damp. Concern was raised that the scope of works proposed to the front portion of the house which is shown on the plans as minor reconfiguration and the inclusion of joinery, may not accurately reflect the works required to achieve the desired outcome.

The plans specify "internal render impacted by rising damp to be removed + replaced". Once the source of the rising damp is identified and the walls are given the opportunity to dry out, the internal render may not require replacement. In the event that it does, a special condition has been recommended to ensure that render of an appropriate composition (lime-based rather than cementitious) is used to lessen the chance of future rising damp issues that may arise if a cementitious mix is used.

The plans also indicate the wholesale replacement of timber flooring in the front part of the house. A special condition is recommended to reduce this to only those areas requiring replacement due to deterioration.

Based on the information currently available, the proposal can be supported on heritage grounds, subject to the conditions of consent. "

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within Section 4.15 of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

4.15(1)(a) the provisions of:

- (i) any environmental planning instrument**

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STATE ENVIRONMENTAL PLANNING POLICY (SEPP) – BASIX 2004

In accordance with the BASIX SEPP all new housing in NSW is required to meet a designated target for energy and water reduction.

A BASIX Certificate was submitted as part of the application which indicates that the proposal meets the required reduction targets. An appropriate condition of consent will be imposed to ensure future compliance with these targets.

State Environmental Planning Policy No 55 – Remediation of Land

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within SEPP55 are considered to be satisfied.

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

In this instance the proposal was referred to Council's Tree Management Officer who outlined specific conditions to be imposed with any development consent in order to ensure the protection of these trees.

Further, no objection was raised to the removal of a number of trees on the site subject to replacement planting. Relevant consent conditions will be imposed.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl. 1.2(2)	Aims	Complies
(a)	<i>To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield</i>	Yes
(b)	<i>To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development</i>	Yes
(c)	<i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	Yes
(d)	<i>To provide opportunities for economic growth that will enhance the local community</i>	Yes
(e)	<i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	Yes
(f)	<i>To identify and protect environmental and cultural heritage</i>	Yes

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(g)	To promote opportunities for social, cultural and community activities	Yes
(h)	To minimise risk to the community by identifying land subject to flooding and restricting incompatible development	Yes

Comments: The proposed works as part of the development application will result in further internal and external reconfigurations to the existing heritage listed residential dwelling. Proposed works are expected to enhance the existing amenity whilst also meet the needs for future residents located on the subject site.

Permissibility

The subject site is Zoned R2 Low Density Residential under Strathfield Local Environmental Plan (SLEP) 2012.

'**Dwelling houses**' are permissible within the R2 Low Density Residential Zone and is defined under SLEP 2012 as follows:

"dwelling house means a building containing only one dwelling."

The proposed development for the purpose of dwelling house is consistent with the definition above and is permissible within an R2 Low Density Residential Zone with consent.

Zone Objectives

An assessment of the proposal against the objectives of the R2 Low Density Residential Zone is included below:

Objectives	Complies
➤ To provide for the housing needs of the community within a low density residential environment.	Yes
➤ To enable other land uses that provide facilities or services to meet the day to day needs of residents.	Yes
➤ To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas.	Yes

Part 4: Principal development standards

An assessment of the proposal against the relevant provisions contained within Part 4 of the SLEP 2012 is provided below.

Height of building

Cl.	Standard	Controls	Proposed	Complies
4.3	Height of building	9.5m	7.03m	Yes

Objectives	Complies
(a) To ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area	Yes
(b) To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area	Yes
(c) To achieve a diversity of small and large development options.	Yes

Comments: The proposed rear extension will result in a maximum building height of 7.03m, which complies with Clause 4.3 of the SLEP 2012. The additional height is compatible with other residential dwellings located within the immediate vicinity in that a majority of built forms are two (2) storeys high. As a result, the proposed height is not expected to detract from the overall amenity of the area and is therefore satisfactory in this regard.

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Floor space ratio

Cl.	Standard	Controls	Proposed	Complies
4.4	Floor space ratio	0.55:1 (449.46m ²)	0.40:1 (324.7m ²)	Yes

	Objectives	Complies
(a)	To ensure that dwellings are in keeping with the built form character of the local area	Yes
(b)	To provide consistency in the bulk and scale of new dwellings in residential areas	Yes
(c)	To minimise the impact of new development on the amenity of adjoining properties	Yes
(d)	To minimise the impact of development on heritage conservation areas and heritage items	Yes
(e)	In relation to Strathfield Town Centre: i. to encourage consolidation and a sustainable integrated land use and transport development around key public transport infrastructure, and ii. to provide space for the strategic implementation of economic, social and cultural goals that create an active, lively and people-oriented development	Yes
(f)	In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor	Yes

Comments: The proposed works as part of this development application will seek a total floor space ratio (FSR) of 0.40:1 (324.7m²), which is consistent with the maximum requirement of 0.55:1 (449.46m²) as provided within Clause 4.4C of the SLEP 2012.

Part 5: Miscellaneous Provisions

The relevant provisions contained within Part 5 of the SLEP 2012 are addressed below as part of this assessment:

5.6 Architectural roof features

The original design intent of the rear addition sought a pitched roof design which raised concerns in terms of the detracting from the overall amenity of the existing heritage listed building (1128 - Ophir—Federation house) located on the subject site. Further, amended plans were submitted to Council, where the rear addition will now seek a skillion roof from as opposed to a pitched roof design. This amendment now demonstrates a more sympathetic design outcome to the heritage listed building located on the subject site, whilst also still being of greater visual interest at a human scale. As a result, the architectural roof design (as part of the rear addition) is considered to be a positive contribution to the overall character of the streetscape and is therefore satisfactory for approval.

5.10 Heritage Conservation

The existing residential dwelling located on site is formally known as the “Ophir”—Federation house *Item 1128* and is heritage listed under Schedule 5 of the SLEP 2012. The built form comprises of a masonry construction with a slate roof, supported with highly decorative wall patterns. Works to the heritage listed building are primarily internal and will seek to maintain a majority of the existing wall finishes in order to conserve the overall significance of the site.

Proposed external works will seek design amendments that will result in a more sympathetic outcome to the existing streetscape. This includes incorporating a skillion roof form as part of the rear addition and finishes to the exterior face seeking to replicate the existing built form on the subject site. This will ensure that the overall amenity and heritage significance is being maintained and therefore the existing character of the streetscape is not being detracted. Overall, the scope of the proposed works is considered to be acceptable on heritage grounds subject to the imposition of appropriate conditions.

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Part 6: Local Provisions

The relevant provisions contained within Part 6 of the SLEP 2012 are addressed below as part of this assessment:

6.3 Flood planning

The front of the subject site is flood affected in accordance with Council's Cooks River Flood Study and was therefore referred to Council's Development Engineer for consideration. As proposed works are primarily located to the rear of the site, expected impacts from a stormwater perspective will be relatively minor and as such will not place any additional risks on future residents located on site. Accordingly, no special planning provisions were required to address the partially flood affected site.

4.15 (1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

4.151(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

Heritage and Conservation

Cl. 1.11	Aims	Complies
A	To preserve and enhance the visual and environmental amenity of heritage items and heritage conservation areas within the municipality of Strathfield	Yes
B	Ensure all new development affecting heritage items and conservation areas is designed to be compatible in setting, scale, setbacks, form, materials and character with the building and surrounding area	Yes
C	Ensure that development in the vicinity of a heritage item or conservation area does not have any adverse impact on the heritage significance or setting and that development is compatible in setting, scale, setbacks, form, materials and character with the item or conservation area	Yes
D	Conserve archaeological sites and places of Aboriginal significance	Yes
Cl. 1.11	Controls	Complies
(1)	A Statement of Heritage Impact is required for proposed development: <ol style="list-style-type: none"> a) affecting a heritage item; b) within a heritage conservation area; or c) in the vicinity of an item or heritage conservation area 	Yes
(2)	This statement must set out the heritage significance of the structure or place and assess the extent to which carrying out of the proposed development would affect the significance of the heritage item or heritage conservation area concerned and outline measures to minimise any identified impact	Yes

Comments: The proposed works as part of the development application will result in a residential dwelling that will meet the needs of future residents on site, whilst still maintaining the overall heritage significance. The scope of the works are not expected to detract from the existing heritage dwelling in that it is designed in a way that is compatible with the streetscape through the chosen colours and finishes. The proposed increase to the building height as part of the rear addition is

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consistent with the character of streetscape, as surrounding residential allotments are predominately two (2) storeys high, with a maximum building height of 9m. Further, the proposed works are considered appropriate as it has provided suitable setbacks and urban design elements that are consistent with other residential allotments located within the wider streetscape, contributing to the enhancement of the overall character.

PART A – DWELLING HOUSES AND ANCILLARY STRUCTURES

An assessment of the proposal against the objectives contained within Clause 1.3 of Part A of SCDP 2005 is included below:

Comment:

The proposed works are consistent with Councils requirements subject to the relevant conditions of consent.

2: Architectural Design & Streetscape Presentation

2.1	Objectives	Satisfactory
A.	<i>To ensure that development respects the predominant height, scale, character, type, form, colour, materials and architectural qualities of the existing dwelling house (in the case of alterations and additions) and surrounding neighbourhood especially any adjoining or nearby heritage item or heritage conservation area.</i>	Yes
B.	<i>To achieve quality architecture in new development through the appropriate composition and articulation of building elements.</i>	Yes
C.	<i>To ensure that the dominant building rhythm of the streetscape is reflected in the building design in terms of the spacing and proportion of the built elements.</i>	Yes
D.	<i>To ensure that new dwellings have facades, which define, address and enhance the public domain.</i>	Yes
E.	<i>To encourage contemporary architecture that is innovative, uses high quality detailing, and incorporates elements characteristic of Strathfield.</i>	Yes
F.	<i>To promote the continuance of pyramidal roof forms within Strathfield where they are already prevalent.</i>	Yes
G.	<i>To retain a feeling of openness and space between built elements by maintaining landscaped setbacks and preserve the appearance of dwellings set in the treelined streets and park-like environment.</i>	Yes
H.	<i>To reduce the use of highly reflective colours and materials that create visual prominence.</i>	Yes
I.	<i>To ensure fencing is sympathetic to the design of the dwelling and the street and enhances the character of both the individual house and street whilst maintaining casual surveillance of the neighbourhood.</i>	Yes
J.	<i>To protect and retain the amenity of adjoining properties.</i>	Yes
2.2	Development Controls	Complies
	<i>Streetscape Presentation</i>	
.1.	1 New dwellings address street frontage with clear entry.	Yes
	2 Consistently occurring building features integrated within dwelling design.	Yes
	3 Consideration of streetscape elements	Yes
	4 Integrated security grilles/screens, ventilation louvres and garage doors	Yes
	<i>Scale, Massing & Rhythm of Street</i>	
.2.	1 Scale, massing, bulk and layout complement the existing streetscape and the dominant building rhythm	Yes

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	2	Building height and mass maintains amenity to adjacent properties open space or the public domain	Yes
.3.	<i>Building Forms</i>		
	1	Building form articulated.	Yes
	2	Dwellings on corner sites address both street frontages and articulated	Yes
	3	Attic located within roof space of 1 or 2-storey dwelling or garage via internal stairs.	Yes
.4.	<i>Roof Forms</i>		
	1	Roof form complements predominant form in the locality	Yes
	2	Roof form minimises bulk and scale of building and remains an important architectural element in the street.	Yes
	3	First floor additions complement the architectural style of the ground floor and delineate the existing roof form, slope and ridge	Yes
	4	Roof structures are not visible from the public domain	Yes
	<i>Materials</i>		
	5	Materials compatible with the existing dwelling house, adjoining dwelling houses and the streetscape (type, form and colour)	Yes
	7	New buildings and facades do not result in glare (Reflectivity Report may be required)	Yes
	<i>Colours</i>		
	8	New development incorporates traditional colour schemes	Yes
9	The external colours integrate harmoniously with the external design of the building	Yes	

Comments: Proposed external works include a new front boundary fence, carport and a rear addition that can be seen from the street frontage. Entry points for both pedestrians and vehicles is clearly visible via the front setback, thus ensuring the safety of future residents, other pedestrians and motorists is being maintained at all times. The chosen design of the front fence keeps with the heritage significance in that it includes a finish that is consistent within the wider streetscape as well as incorporating other key decorative elements that are present on the existing built form. The added bulk as part of the rear addition has been designed in a way that complements the wider streetscape through the inclusion of a skillion roof form that is only slightly visible from the front setback. Further, potential amenity impacts to the existing heritage building are expected to be relatively minor and therefore considered appropriate in this regard.

4: Building Envelope

4.1	Objectives	Satisfactory
A.	To ensure that dwellings are compatible with the built form of the local area and that overall bulk and scale, size and height of dwellings relative to natural ground level responds to the adjoining dwellings, topography and desired future character.	Yes
B.	To minimise impact on the amenity of adjoining properties.	Yes
C.	To establish and maintain the desired setbacks from the street and define the street edge.	Yes
D.	To create a perception or reinforce a sense of openness in the locality.	Yes
E.	To maintain view corridors between dwellings	Yes

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F.	<i>To assist in achieving passive surveillance whilst protecting visual privacy.</i>	Yes
G.	<i>To provide a transitional area between public and private space.</i>	Yes

4.2 Development Controls **Complies**

<i>Floor Space Ratio</i>		
.1.	1 Floor Space Ratio permissible pursuant to SLEP 2012	Yes
	2 Development compatible with the lot size	Yes

Building Height

	1 Height of building permissible pursuant to SLEP 2012	Yes
.2.	2 Height of outbuildings, detached garages and carports is 3.5m (max) measured at the highest point on the roof above NGL	Yes
	3 Dwelling houses and any ancillary structures 2-storeys (max)	Yes
	4 Building height responds to the gradient of the site to minimise cut and fill	Yes

.3.1.	<i>Street Setbacks</i>	
	1 Setbacks consistent with minimum requirements of Table A.1	Yes

<i>Side and Rear Setbacks</i>		
.3.2.	1 A combined side setback of 20% of the width of the block (incorporating a 1.2m min side setback on each side).	Yes
	2 A rear setback of 6m (min)	Yes
	3 Subject to meeting the minimum landscaped area (as per section 5 of this part of the DCP) in the rear of the site, ancillary facilities such as garages/outbuildings may be located within the rear setback area.	Yes
	4 Garages and carports setbacks consistent with Table A.2	Yes

Comments: The proposed alterations and additions will continue to meet Council standards in terms of being consistent with the required FSR, building height and setback controls for the subject site, therefore having minimal amenity impact on adjoining allotments. The proposal will result in a design outcome that creates a sense of openness in the locality as well as ensuring passive surveillance is being maintained at all times.

5: Landscaping

5.1	Objectives	Satisfactory
A.	<i>To encourage landscaping that is appropriate to the style and scale of the dwelling and adjoining development, and to the streetscape.</i>	Yes
B.	<i>To enhance the existing streetscape and promote a scale and density of planting that softens the visual impact of buildings, structures, vehicle circulation and ancillary areas.</i>	Yes

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C.	To preserve existing landscape elements on site (such as existing trees) and encourage their integration into the design of proposals.	Yes
D.	To ensure adequate deep soil planting is retained on each allotment.	Yes
E.	To ensure developments make an equitable contribution to the landscape setting of the locality.	Yes
F.	To ensure both existing and new landscaping provides suitable shade and facilitates convective cooling breeze paths in summer.	Yes
G.	To encourage the use of native flora such as open woodland canopy trees, to provide a habitat for native fauna.	Yes
H.	To ensure that landscaped areas are designed to minimise water use.	Yes
I.	To provide functional private open spaces for active or passive use by residents.	Yes
J.	To provide private open areas with provision for clothes drying facilities screened from the street and lane or a public place.	Yes
K.	To ensure the protection of trees during construction	Yes
L.	To ensure suitable fencing is provided to reduce acoustic impacts and enhance visual privacy between neighbouring residents whilst enabling front fences passive surveillance of the street.	Yes
M.	To maximise the amenity of existing and proposed developments, including solar access, privacy and open space.	Yes

5.2 Development Controls

Complies

5.2 Development Controls		Complies	
<i>Landscaped area</i>			
.1.	1	Landscaped area in accordance with Table A.3	No
	2	At least 50% of the minimum landscaped area located behind the building line to the rear boundary	Yes
	3	At least 50% of the front yard maintained as deep soil soft landscaping	Yes
	4	Minimise hard surface area (concrete/brick/stone paving and bitumen). Run-off directed to permeable surfaces.	Yes
	5	Planting areas soften the built form	Yes
	6	Front gardens respond and contribute to the garden character of Strathfield.	Yes
	7	Retain and reinforce the prevailing streetscape and surrounding locality	Yes
	8	Plant species must be retained, selected and planted to improve amenity	Yes
<i>Tree Protection</i>			
.2.	1	Arboricultural Impact Assessment Report prepared by an AQF Level 5 Arborist	N/A
	2	The Arboricultural Impact Assessment Report address minimum criteria	N/A
	3	Development provides for the retention and protection of existing significant trees	Yes
	4	New dwellings and alterations and additions are set back in accordance with the Arboricultural Impact Assessment Report	N/A
	5	Council may request the applicant to engage a project Arborist	N/A
	6	Opportunities for planting new canopy trees within the front setback	Yes

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	7	At least one (1) canopy tree provided in the rear yard.	Yes
	8	Trunk of a proposed canopy tree planted 4m (min) from built structures, or 3m (min) from pier beam footings	Yes
	9	Planting on side boundaries a 0.6m (min) deep root deflection barrier provided 1.5m (min) either side of the tree center	Yes
	10	Driveway construction does not result in the removal, lopping or root damage to any street tree	Yes
	11	25% (min) of canopy trees and other vegetation shall be locally sourced indigenous species	Yes
<i>Private Open Space</i>			
	1	Provided in a single parcel rather than a fragmented space, directly accessible from internal living areas	Yes
	2	Includes a deep soil area compliant with the minimum landscaped area.	No
.3.	3	Terraces and decks (at least 10m ²) with one length or width 3m (min) and directly accessible from an internal living area. Decks cannot be located more than 500mm above NGL	Yes
	4	Unless 3m (min) width, areas within setbacks are not to be included as private open space	Yes
	5	Private open space located at the rear of the property.	Yes
<i>Fencing</i>			
	1	Fencing designed to be compatible and sympathetic to the style of the dwelling, adjoining properties and the streetscape	Yes
	2	Landscaping used when the streetscape is characterised by the absence of front fences	Yes
	3	Fencing forward of FBL shall not exceed 1.5m. Solid components shall not exceed 0.7m above NGL with the exception of brick piers	Yes
	4	Solid fencing 1.8m (max) is permitted along a secondary street frontage to enclose a private open space	Yes
	5	Side and rear fences limited to 1.8m (max)	Yes
	6	Side fences forward of the FBL taper down to the front fence.	Yes
	7	Front fences visually permeable	Yes
.4.	8	Front fences on busy roads designed to provide acoustic attenuation	Yes
	9	Listed undesirable materials and finishes not used forward FBL	Yes
	10	Corner allotments incorporate a 1.5m x 1.5m (min) splay adjacent to the road intersection	Yes
	11	Solid fences adjoining driveways are provided with 1m x 1m (min) splay	Yes
	12	A splay adjacent to a road intersection or driveway entrance must be landscaped	Yes
	13	Significant trees maintained	Yes
	14	Stormwater flows through or under fencing on sloping sites	Yes
	15	Dividing fences constructed of timber palings (lapped and capped) with height of 1.8m (max)	Yes
	16	Gates or entries from private property onto Council parks, reserves, open space, etc. are permitted	Yes
	17	Gatehouses permitted where compatible with the streetscape.	Yes

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Comments: The proposed works will result in a total deep soil landscaped area of 41.7% (339.2m²) which does not comply with the minimum 45% (367.74m²) required for the subject site. Although there is a non-compliance with this control, the provided deep soil landscaped area will incorporate a large variety of landscaping elements with minimal hard surfaces. Notwithstanding, the non-compliance in landscaping is considered to be appropriate in this regard as it is not expected to impose any further implications to the site or surrounding land uses.

6: Solar Access

6.1 Objectives		Satisfactory
A.	To ensure the design of new dwelling houses and alterations and additions maximises solar access to living areas and open space areas.	Yes
B.	To minimise overshadowing of adjoining properties.	Yes
6.2 Development Controls		Complies
Sunlight Access		
.1.	1 New dwellings - 3 hours solar access between 9.00am and 3.00pm on June 21 to the windows of habitable rooms and 50% of private open space	Yes
	2 Alterations or Additions – maintain 3 hours solar access between 9.00am and 3.00pm on June 21 to the windows of habitable rooms and to the majority of private open space	Yes
	3 50% of the principal private open space of any adjoining premises receives 3 hours solar access between 9.00am and 3.00pm on June 21	Yes
	4 The proposed development does not further reduce the amount of solar access	Yes

Comments: Although the proposed rear addition will result in minor implications in terms of overshadowing, neighbouring allotments will still be able to achieve a minimum of three (3) hours of sunlight during the winter solstice. This is expected due to the proposed roof form (as part of the rear addition) incorporating a pitch to the rear, which reduces potential overshadowing implications on neighbouring allotments. Further, all living areas within the existing dwelling are located where they will be able to achieve maximum solar access during the day.

7: Privacy

7.1 Objectives		Satisfactory
A.	Development that is designed to provide reasonable privacy to adjacent properties	Yes
B.	To maintain reasonable sharing of views from public places and living areas	Yes
C.	To ensure that public views and vistas are protected, maintained and where possible, enhanced	Yes
D.	To ensure that canopy trees take priority over views	Yes
E.	To ensure that the siting and design of buildings minimises noise impacts from abutting roads, rail corridors and other noise-generating land uses	Yes
7.2 Development Controls		Complies
.1.	Visual Privacy	
	1 Protect POS, bedrooms, balconies and living rooms of proposed and any existing adjoining dwellings from direct overlooking	Yes

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	2	Provide adequate separation of buildings	Yes
	3	Ensure elevation of finished floor levels above NGL is not excessive	Yes
	4	Improve privacy to adjacent properties with screen planting	Yes
<i>Windows</i>			
	1	Windows do not directly face the windows, balconies and courtyards of adjoining dwelling	Yes
.2.	2	A window within 9m of another window in a habitable room of an adjoining dwelling is offset by 0.5m (min) or a sill height of 1.7m (min) above the FFL	Yes
	3	Windows directly facing balconies or courtyards are narrow, incorporate obscure glazing and/or a sill height of 1.7m (min) above FFL	Yes
<i>Acoustic Privacy</i>			
.4.	2	Noise-sensitive rooms located away from noise sources	Yes
	3	Suitable acoustic screen barriers or other noise mitigation measures are required where physical separation cannot be achieved	Yes

Comments: The proposed building footprint of the rear addition does not align with neighbouring dwellings, ensuring that privacy is being maintained at all times. Further, the inclusion of landscaping around the side boundary fences ensures privacy will not be of a concern as it will prohibit overlooking onto adjoining allotments.

8: Vehicle Access and Parking

8.1	Objectives	Satisfactory
A.	To provide adequate and convenient on-site car parking.	Yes
B.	To ensure that the location and design of driveways, parking spaces and other areas used from the movement of motor vehicles are efficient, safe and convenient.	Yes
C.	To ensure garages, carports, basements and hard standing areas for cars do not visually dominate the street façade of the dwelling.	Yes
D.	To ensure that construction materials used for driveways respect the architectural qualities of the dwelling.	Yes
E.	To minimise the area of access driveways to minimise impermeable surfaces and maximise landscaped areas.	Yes
F.	To ensure basements have discreet entries, safe access and a high degree of natural cross-ventilation.	Yes
G.	To minimise excavation to reduce disturbance to natural ground level particularly adjacent to site boundaries.	Yes
H.	To ensure that any proposed basement minimises disturbance to natural drainage systems and that flooding, drainage or ventilation impacts would not be created for the site, or for adjoining or nearby properties.	Yes
8.2	Development Controls	Complies
	<i>Garages, Carports and Car Spaces</i>	Yes
.2.	1 Two (2) car parking spaces required behind the FBL of all new dwellings (exceptions apply)	Yes
	4 Dimensions of parking spaces and garages comply with the Australian Standards	Yes

Comments: The existing carport located on the western elevation of the site frontage is proposed to be replaced in that it will now seek to support two (2) car parking spaces as opposed to one (1).

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The new carport will continue to be consistent with the dimensions as provided within the Australian Standards and the provisions under Part A of the SCDPC 2005.

With the exception of the front boundary fence, no further changes are sought within the front setback.

10: Water and Soil Management

10.1 Objectives		Satisfactory
A.	To encourage the incorporation of Water Sensitive Urban Design (WSUD) and Botany Improvement Plan principles in the development.	Yes
B.	To ensure compliance with Council's Stormwater Management Code	Yes
C.	To ensure compliance with the NSW State Government's Flood Prone Lands Policy.	Yes
D.	To ensure that appropriate soil erosion and sediment control measures are implemented on all sites that involve soil disturbances during construction.	Yes
E.	To ensure new building work does not detrimentally affect the existing drainage system of any area of the Municipality.	Yes
F.	To ensure that new development in areas that may be affected by acid sulphate soils do not adversely impact the underlying ground conditions, soil acidity and water quality.	Yes
G.	To appropriately manage stormwater and overland flow to minimise damage to occupants and property	Yes
10.2 Development Controls		Complies
<i>Stormwater Management and Flood Prone areas</i>		
.1.	1 Applicant contacted Council regarding site being flood prone land	Yes
	2 Compliance with Council's Stormwater Management Code	Yes
	3 Flood affected properties comply with Council's Interim Flood Prone Lands Policy (Flood Prone Areas & Through Site Drainage)	Yes
	4 Minimum habitable floor height advice obtained for flood affected sites	Yes
	5 A drainage/flood report prepared by a hydraulics engineer submitted for sites affected by overland flows	Yes
	6 Stormwater Management Code compliance	Yes
<i>Acid Sulfate Soils</i>		
.2.	1 Site managed consistent with the provisions contained in Clause 6.1 SLEP 2012	Yes
<i>Soil Erosion and Sediment Control</i>		
.3.	1 Soil erosion and sediment control measures detailed and implemented prior to the commencement of work.	Yes
	2 Sediment control measures applied	Yes
	3 Plans provided detailing stormwater quality treatment	Yes

Comments: Although the eastern elevation of the site frontage is flood affected, proposed works subject to this application is not expected to impose any additional risk for future residents on site. Further, the proposed works are considered to be appropriate in this regard and is suitable for approval, subject to the conditions of consent.

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11: Access, Safety and Security

11.1 Objectives		Satisfactory
A.	To encourage the incorporation of crime prevention principles in the design of the proposed developments.	Yes
B.	To increase the safety and perception of safety in public and semi-public spaces.	Yes
C.	To provide passive surveillance of the public domain to promote a safe pedestrian environment whilst maintaining the privacy of residents	Yes
D.	To ensure the safety of pedestrians by separating pedestrian access from vehicular access.	Yes

11.2 Development Controls		Complies
<i>Address and Entry Sightlines</i>		
.1.	1 Occupants able to overlook public places to maximise passive surveillance	Yes
	2 Landscaping design around dwellings and ancillary structures to accommodate plant maturation	Yes
	3 External lighting enhance safe access and security and light spill does not adversely impact on adjoining properties.	Yes
	4 Crime Prevention through Environmental Design (CPTED) principles incorporated.	Yes
<i>Pedestrian Entries</i>		
.2.	1 Pedestrian entries and vehicular entries suitably separated	Yes
	2 Dwelling entrances easily identifiable	Yes
	3 House numbers are to be clearly visible from the street	Yes

Comments: The height and the inclusion of the wooden piers to the front fence is considered to be appropriate as it allows for overlooking onto public spaces whilst still ensuring privacy for future residents is being maintained. The pedestrian and vehicular entry via the front setback are suitably separated and are easily identifiable to ensure safety is being maximised at all times.

12: Ancillary Development

12.1 Objectives		Satisfactory
A.	To ensure that ancillary development is compatible with the design of the principal dwelling, streetscape and adjoining dwellings in form, materials and colours	Yes
B.	To limit the size, bulk and scale of ancillary structures and minimise their visibility from the public domain.	Yes
C.	To ensure that the provision of ancillary structures improves the amenity of residents whilst ensuring that the amenity of surrounding dwellings and neighbouring lots is maintained.	Yes

12.2 Development Controls		Complies
<i>Swimming Pools</i>		
.6.	1 Side and rear setbacks from the outside edge of the pool concourse are 1m (min) wide and comprise deep soil soft landscape area	Yes
	2 If greater than 1m above ground, the space between the bond beam/concourse and the ground is finished to Council's satisfaction	Yes
	3 The pool filter and pump equipment designed and located to not emit a noise level that	Yes

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	exceeds 5dBA above the ambient background noise level measured at any property boundary. The pool equipment shall be located within an enclosed structure so as to not be readily visible		
4	Lighting positioned to prevent light spillage and minimise any nuisance to adjoining premises		Yes
5	Enclosures shall comply with the Swimming Pools Act and relevant Australian Standards as amended.		Yes

Comments: The swimming pool located at the rear of the subject site has been designed to comply with the Swimming Pools Act and relevant Australian Standards. Surrounding the pool are various landscaping elements that contributes to the overall amenity of the subject site.

PART H - WASTE MANAGEMENT (SCDCP 2005)

The proposal was accompanied by a Waste Management Plan, prepared in accordance with Part H of the SCDCP 2005. To ensure compliance with the waste minimisation strategies of this waste management plan, appropriate conditions have been included in the consent.

4.15 (1)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

(i) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) and does involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

(ii) any coastal zone management plan

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

The proposed development is located on a site that is affected by the existing 1 in 100 year flood event or is likely to be as a result of the planning benchmarks for sea level rise mentioned above. Accordingly, the proposed development has been assessed against the relevant provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

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4.15(1)(b) *the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality*

Heritage

The building on site is formally known as the "Ophir"—Federation house and is heritage listed under Schedule 5 – *Item 1128* of the SLEP 2012. The scope of the works as part of this application will seek an addition to the rear portion of the building, front fence, car port, shed, swimming pool and further internal reconfigurations to support the desired housing needs of future residents. Amended plans were submitted to Council which has generally responded to the concerns raised by both Council and GML Heritage. This includes the incorporation of wider setbacks, more sensitive treatment to the infill of the arch to the bedrooms and further amendments to the schedule of finishes that is more reflective of the heritage building. The amended design has positively contributed to the wider streetscape in that the chosen colours and finishes to the exterior face are sympathetic to neighbouring allotments, in that it seeks to replicate the existing built form on the subject site, thus ensuring the amenity of the existing character will be maintained.

The front fence sought under the application has been design in a way that is sympathetic to the existing heritage building as it incorporates further decorative elements that is also present on the built form. The amended fence design is considered appropriate in this regard, and is therefore being supported on heritage grounds.

Further, proposed works sought under this development application is considered appropriate on heritage grounds subject to the relevant conditions.

Streetscape

The original design intent of the rear addition sought a flat roof that was highly visible from the front setback. As a result, amended plans were submitted to Council where the architectural roof feature was reconfigured in a way that was more reflective of the existing heritage building. The proposed development will now seek a skillion roof form where the highest point will be located towards the rear of the subject site. As a result, the proposed rear extension appears to be substantially reduced from the front setback and therefore the expected amenity impacts are being greatly decreased.

The proposed works are sympathetic to the existing streetscape due to the proposed external finishes seeking to replicate the existing residential dwelling located on the subject site. Further, this design is a more sympathetic approach in terms of maintaining the existing character of the wider streetscape, whilst also ensuring the amenity of the heritage dwelling on the subject site is not being detracted.

Landscaping

The proposed works will result in a total deep soil landscaped area of 41.7% (339.2m²) which is inconsistent with the minimum 45% (367.74m²) required for the subject site as per Part A of the SCDCP 2005. As the proposed design to all private open space areas across the subject site incorporates a wide variety of landscaping elements, the non-compliance is considered appropriate in this regard as it will result in a better outcome for the environment.

4.15 (1)(c) *the suitability of the site for the development*

The proposed development is considered to be suitable to the site in that it will result in a residential development that supports the needs of future residents on site.

4.15 (1)(d) *any submissions made in accordance with this Act or the regulations*

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The application was notified in accordance with Part L of the SCDCP 2005 from 15 January 2018 to 29 January 2018, where no submissions received during this time.

4.15 (1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is not considered to be contrary to the public interest.

SECTION 7.11 CONTRIBUTIONS

Section 7.11 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Act reads as follows:

- “(1) If a consent authority is satisfied that development for which development consent is sought will or is likely to require the provision of or increase the demand for public amenities and public services within the area, the consent authority may grant the development consent subject to a condition requiring:*
- (a) the dedication of land free of cost, or*
 - (b) the payment of a monetary contribution, or both.*
- (2) A condition referred to in subsection (1) may be imposed only to require a reasonable dedication or contribution for the provision, extension or augmentation of the public amenities and public services concerned.”*

STRATHFIELD INDIRECT SECTION 7.11 CONTRIBUTIONS PLAN

Local Amenity Improvement Levy	\$8,000.00
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CONCLUSION

The application has been assessed having regard to Section 4.15 of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions of consent.

RECOMMENDATION

That Development Application No. DA2018/004 for the alterations and additions to a heritage listed residential dwelling at 17 Coventry Street, Strathfield be **APPROVED**, subject to the following conditions:

1. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans affixed with Council's 'Development Consent' stamp relating to Development Consent

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No. DA2018/04:

Drawing No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
DA1.102	Proposed Floor Plans	Strubbs Design Tribe	26 April 2018	1 May 2018
DA1.03	Proposed Elevations	Strubbs Design Tribe	1 May 2018	1 May 2018
DA1.04	Proposed Sections	Strubbs Design Tribe	1 May 2018	1 May 2018
DA1.07	Stormwater Plan	Strubbs Design Tribe	27 April 2018	1 May 2018
DA1.08	Waste Management Plan and Demolition Plan	Strubbs Design Tribe	27 April 2018	1 May 2018
DA1.10	Infill Wall Plan	Strubbs Design Tribe	26 April 2018	1 May 2018
DA1.11	Infill Wall Elevation and Section	Strubbs Design Tribe	26 April 2018	1 May 2018
DA1.12	Front Fence Elevation	Strubbs Design Tribe	26 April 2018	1 May 2018
A302543	Basix Certificate	-	26 April 2018	1 May 2018
DA1.00	Site Analysis	Strubbs Design Tribe	26 April 2018	1 May 2018
DA1.06	Landscape Plan	Strubbs Design Tribe	4 June 2018	4 June 2018

Reference Documentation affixed with Council's 'Development Consent' stamp relating to Development Consent No. DA2018/04:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Heritage Impact Statement	Strubbs Design Tribe	1 May 2018	1 May 2018
Existing External Colours and Finishes Schedule	Strubbs Design Tribe	Issue B / 1 May 2018	1 May 2018

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

2. **CONSTRUCTION HOURS (GC)**

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/ rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

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3. CONSTRUCTION WITHIN BOUNDARIES (GC)

The development including but not limited to footings, walls, roof barges and guttering must be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

(Reason: Approved works are to be contained wholly within the subject site.)

4. DEMOLITION - HERITAGE ITEMS (GC)

Alterations to, and demolition of, the existing building shall be limited to that documented on the approved plans (by way of notation) or conditioned in this consent. No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is shown to be retained.

Should any portion of the existing building which is indicated on the approved plans to be retained, be damaged for whatever reason, all the works in the area of this damaged portion are to cease and written notification given to Council. No work is to resume until the written approval of Council is obtained.

(Reason: Heritage conservation.)

5. DEMOLITION - SITE SAFETY FENCING (GC)

Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

(Reasons: Statutory requirement and health and safety.)

6. LANDSCAPING - TREE PRESERVATION (GC)

All street trees and trees on private property that are protected under Council's controls, shall be retained except where Council's prior written consent has been obtained. The felling, lopping, topping, ringbarking, wilful destruction or removal of any tree/s unless in conformity with this approval or subsequent approval is prohibited.

All healthy trees and shrubs identified for retention on the approved drawings are to be suitably protected in accordance with Australian Standard AS4970 – 2009, Protection of Trees on Development Sites prior to the commencement of any works (including any demolition and excavation) and maintained for the duration of the works.

(Reason: To ensure the protection of trees to be retained on the site.)

7. MATERIALS – CONSISTENT WITH SUBMITTED SCHEDULE (GC)

All external materials, finishes and colours are to be consistent with the schedule submitted and approved by Council with the development application.

(Reason: To ensure compliance with this consent.)

8. PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)

Prior to commencement of any work, signage must be erected in a prominent position on

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the work site identifying:

- i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;
- ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and
- iii) the sign must state that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

9. SITE MANAGEMENT (DURING DEMOLITION AND CONSTRUCTION WORKS)

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- x) All waste must be contained entirely within the site.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways, include nature strips and roadways adjacent to the site must be

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maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.

- xvi) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Any work must not prohibit or divert any natural overland flow of water.
- xix) Toilet facilities for employees must be provided in accordance with WorkCover NSW.
- xx) Protection pads are to be installed to the kerb and gutter where trucks and vehicles enter the site.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

10. STORMWATER MANAGEMENT PLAN - CERTIFICATION REQUIREMENT (GC)

A detailed Stormwater Management Plan (SWMP) in line with Council's Stormwater Management Code is to be prepared and certified by a practicing Chartered Professional Engineer on the National Professional Engineer's Register (NPER) at Engineers Australia and submitted to the Principal Certifying Authority and Council, prior to the issue of a Construction Certificate. The SWMP is to be based on the approved development as modified by any conditions of consent.

(Reason: To ensure appropriate provision is made for the disposal and management of stormwater generated by the development, and to ensure public infrastructure in Council's care and control is not overloaded.)

11. SYDNEY WATER - STAMPED PLANS PRIOR TO COMMENCEMENT (GC)

The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. Plans will be appropriately stamped.

For Quick Check agent details please refer to the web site www.sydneywater.com.au (see Building Developing and Plumbing then Quick Check) or telephone 13 20 92. The consent authority or a Certifying Authority must ensure that a Quick Check agent/Sydney Water has stamped the plans before the commencement of work.

(Reason: Compliance with Sydney Water requirements.)

12. UTILITIES AND SERVICES - PROTECTION OF (GC)

Any footings or excavation to be located or undertaken adjacent to Council's stormwater must be designed to address the following requirements:

- i) all footings and excavation must be located wholly within the site and clear of any easement boundaries;
- ii) all footings and excavation must be located a minimum of 1000mm from the centreline of the pipeline or 500mm from the outside of the pipeline, whichever is the greater distance from the centreline; and

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Lot 3 in DP 31617 (Cont'd)

- iii) footings must extend to at least the depth of the invert of the pipeline unless the footings are to be placed on competent bedrock.

If permanent excavation is proposed beneath the obvert of the pipeline, suitable means to protect the excavation and proposed retaining structures from seepage or other water flow from the pipeline and surrounding subsoil, must be provided. The design must be prepared by a qualified practicing Structural/Civil Engineer.

Construction plans must be approved by the appropriate utility's office (e.g. council, Sydney Water Corporation) to demonstrate that the development complies with the utility's requirements.

The applicant must provide written evidence (e.g. compliance certificate, formal advice) of compliance with the requirements of all relevant utility providers (e.g. Water, Energy, Telecommunications, Gas).

(Reason: To ensure protection of Council assets.)

13. LANDSCAPING - TREE PRESERVATION

The trees listed below shall be retained at all times:

<u>Tree</u>	<u>Height/ Spread (m)</u>	<u>Location</u>	<u>Protection Zone (m)</u>	<u>Structural Root Zone (m)</u>
1) Lophostemon confertus	10 x 12	Road reserve	5.5	2.8
2) Camellia sasanqua	6 x 3	Front	2.5	2.0
3) Lophostemon confertus	10 x 12	Road reserve	5.8	2.7
4) Lagerstroemia indica	8 x 6	Front	3.6	2.0
7) Melia azedarach	6 x 4	Adjoining	2.4	2.0
15) Ulmus parvifolia	9 x 9	Adjoining	4.8	2.6

and protected by the establishment of a **protection zone** (in accordance with Australian Standard AS4970-*Protection of trees on development sites*) before any site works begin (including any demolition/excavation). The protection zone shall be maintained for the duration of works and implemented as follows:

- a) A minimum 1.8m high barrier (Chain wire mesh panels, plywood or wooden paling fence panels: refer to AS4687-*Temporary fencing and hoardings* for fencing requirements) shall be erected around the perimeter of the stated Protection Zone as measured from the base of the tree (or where practical). Shade cloth or similar should be attached to reduce the transport of dust, other particulate matter and liquids into the protected area. Fence posts and supports should have a diameter greater than 20mm and be located clear of roots. The barrier shall be constructed so as to prevent pedestrian and vehicular entry into the protection zone. The barrier shall not project beyond the kerb onto the roadway or any adjacent footpath.
- b) Signs identifying the Protection Zone should be installed on the fencing and be visible from within the development site. Lettering should comply with AS4970-2009: *Protection of Trees on Development Sites*.
- c) No concrete slurry or wash, building materials, builders' rubble, excavation soil or similar shall be placed or stored within the tree protection zone.

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- d) The whole of the tree protection zone shall be mulched to a minimum depth of 75mm.
- e) The tree protection zone shall be regularly watered.
- f) Any major structural roots which are encountered shall be pruned by a qualified Arborist.
- g) **No excavation or construction shall be carried out** within the stated *Structural Root Zone* distances from the base of the trunk surface.
- h) Only permeable surfaces (e.g. decomposed granite, gravel, turfpave, permeable paving systems or soft landscaping) are permitted within the canopy spread of the trees to be protected.

Manual excavation of retained trees is required within canopy spread of the retained trees as provided above.

To protect existing trees, masonry fence piers must be setback a minimum 3.0 metre radius from the retained trees referred above and all masonry walling between the piers within this zone must be supported on concrete beams (not strip footings).

(Reason: To ensure the protection of trees to be retained on the site.)

14. LANDSCAPING – TREES PERMITTED TO BE REMOVED

The following listed trees are permitted to be removed to accommodate the proposed development however, any of the trees listed below that are located on adjoining properties must only be removed after consent from the tree's owner has been sought and obtained in writing:

<u>Tree</u>	<u>Height/ Spread (m)</u>	<u>Location</u>
5)Persea americana	4 x 1	Subject site
6)Castanospermum australe	6 x 1	Subject site
8)Rothmania globosa	4 x 6	Subject site
9)Ficus sp	6 x 5	Subject site
10)Cupressus sempervirens	14 x 6	Subject site
11)Magnolia grandiflora	6.5 x 6	Subject site
12) Unknown	6 x 4	Subject site
13)Camellia sasanqua	4 x 3	Subject site
14)Bauhinia galpinii	5 x 3	Subject site

All trees permitted to be removed by this consent shall be replaced by species selected from Council's recommended planting list. Replacements shall be a minimum 50 litre container size and shall be maintained until maturity.

A minimum 600mm deep root deflection barrier shall be provided on both sides of the proposed driveway crossing(s) and footpaths.

(Reason: To ensure appropriate planting back onto the site.)

15. LANDSCAPING – MAINTAIENCE

General maintenance of Council's nature strip adjoining the development site, including

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regular lawn mowing, edging, irrigation of the lawn and street trees and restricting the storage of materials, rubbish and parking or driving of vehicles on the nature strip, must be carried out during the full period of all approved works (including any demolition and excavation).

(Reason: To ensure maintenance of Council's nature strip located outside the subject site.)

16. **NOXIOUS WEEDS ACT 1993 – COMPLIANCE**

All noxious weeds on the site shall be removed and destroyed as per their classification under the *Noxious Weeds Act 1993*.

(Reason: To ensure compliance with the Noxious Weeds Act 1993.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (CC)

17. **LANDSCAPING - PLANTING ALONG SIDE AND REAR BOUNDARIES**

Evergreen shrubs with a minimum 5 litre container size achieving a minimum mature height of 3m shall be planted along side and rear boundaries to provide privacy screening and shall be maintained at all times. Details of the selected plants shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate.**

(Reason: to ensure appropriate planting is included on the subject site to reflect the proposed removal of trees as listed in Condition 14.)

18. **BUILDING CODE OF AUSTRALIA - COMPLIANCE WITH (CC)**

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

19. **CAR PARKING - COMPLIANCE WITH AS/NZS 2890.1:2004 (CC)**

Car parking dimensions must comply with the Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure compliance with Australian Standards relating to parking of vehicles.)

20. **COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)**

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Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 4.19 of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

21. COUNCIL PERMITS – FOR ALL ACTIVITIES ON COUNCIL LAND (CC)

Works Permit

(as per Section 68 of the Local Government Act 1993 and Section 138 and 139 of the Roads Act 1993)

A Works Permit is required for construction of a vehicular crossing (driveway), new stormwater down pipe connection to kerb and gutter, new footpath and/or stormwater connection. A Works Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Standing Plant Permit

This permit must be applied for where it is intended to park a concrete pump, crane or other plant on the roadway or footpath. A Standing Plant Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Skip Bin Permit

This permit must be applied for if you intend to place a skip bin on the roadway or footpath. A Skip Bin Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Temporary Full or Part Road Closure Permit

This permit must be applied for if you require a full or a part road closure to take place to assist in your construction works. Please use the Works Permit Application Form, which is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Hoarding/Fencing Permit

This permit must be applied for if you intend to erect a Class A (fence type) or Class B (overhead type) hoarding/fencing along the street frontage(s). A Hoarding Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Work Zone Permit

This permit must be applied for if you require permanent parking along the kerbside at the front of the site during construction works. A Work Zone Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Ground Anchoring Permit

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This permit must be applied for, for the installation of ground anchors under Council's footway/road reserve. It does not cover ground anchors under private properties. A separate approval is required to be obtained from Roads and Maritime Services (RMS) if it is proposed to install ground anchors under a State or Classified Regional Road (please refer to the end of this application form for more information).

(Reason: Council requirement)

22. EROSION AND SEDIMENTATION CONTROL PLAN (CC)

An Erosion and Sediment Control Plan is to be prepared where construction or excavation activity requires the disturbance of the soil surface and existing vegetation. Details including drawings and specifications must provide adequate measures for erosion and sediment control to ensure:

- i) Compliance with the approved Soil and Water Management Plan.
- ii) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval).
- iii) All uncontaminated run-off is diverted around cleared or disturbed areas.
- iv) Silt fences or other devices are installed to prevent sediment and other debris escaping from the cleared or disturbed areas into drainage systems or waterways.
- v) All erosion and sediment controls are fully maintained for the duration of demolition/development works.
- vi) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadways.
- vii) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar.
- viii) All water pumped or otherwise removed from excavations or basement areas is filtered to achieve suspended solids/non filterable residue levels complying with the Australian Water Quality guidelines for Fresh and Marine Waters.
- ix) Pumped or overland flows of water are discharged so as not to cause, permit or allow erosion before the commencement of work (and until issue of the occupation certificate).

Details of the proposed soil erosion and sedimentation controls are to be submitted to the Principal Certifying Authority with the Construction Certificate Application. Under no circumstances are any works to commence, prior to these details being approved by the Principal Certifying Authority and the controls being in place on the site.

(Reason: Environmental protection.)

23. SECTION 7.11 CONTRIBUTION PAYMENT - INDIRECT CONTRIBUTIONS PLAN) (CC)

In accordance with the provisions of Section 7.11 of the Environmental Planning and Assessment Act 1979 and the Strathfield Indirect Development Contributions Plan 2010-2030, a contribution in the form of cash, cheque or credit card (financial transaction fee applies) shall be paid to Council for the following purposes:

Local Amenity Improvement Levy	\$8,000.00
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The total amount of the contribution is valid as at the date of determination and is subject to quarterly indexation. The amount of the contribution under this condition shall be indexed in accordance with clause 4.12 of the Strathfield Indirect Development Contributions Plan 2010-2030.

Contributions must be receipted by Council and submitted to the Accredited Certifier, prior

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to the issue of any Construction Certificate.

A copy of this condition is to be presented to Council's Customer Service Centre when paying the contribution so that it can be recalculated.

Note: A copy of Strathfield Council's Section 7.11 Indirect Development Contributions Plan may be downloaded from Council's website.

(Reason: To enable the provision of public amenities and services required/anticipated as a consequence of increased demand resulting from the development.)

24. STORMWATER - RAINWATER RE-USE (CC)

A rainwater re-use system shall be provided in accordance with either the BASIX minimum requirements, any relevant Council Rainwater Policy and/or specification of the management of stormwater, whichever is applicable. A detailed stormwater plan showing the proposed re-use system shall be submitted to and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Compliance and amenity.)

25. SWIMMING POOLS (CONSTRUCTION OF)

The approved swimming pool/spa must comply with all relevant legislation including:

- i) Swimming Pools Amendment Act 1992 (as amended);
- ii) Swimming Pools Regulations 2008; and
- iii) Australian Standard AS1926.1-2012 – Safety Barriers for Swimming Pools.

Details demonstrating compliance with this condition shall be demonstrated to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Safety and statutory compliance.)

26. SWIMMING POOLS - MECHANICAL PLANT ENCLOSURE (CC)

Any mechanical plant associated with the swimming pool shall be acoustically treated to comply with the Protection of the Environment Operations Act 1997. Details are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure the acoustic amenity of the neighbouring residents.)

27. TREE BONDS (CC)

A tree bond of **\$4,950.00** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

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A refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

(Reason: To ensure the protection of trees to be retained on Council's Road Reserve.)

28. STORMWATER DRAINAGE (CC)

The following stormwater precautions are required to be provided on the site:

- i) Grated drains shall be provided along the driveway/basement entry at the vehicular crossing(s) and are to connect to the internal drainage system.
- ii) Overflow paths shall be provided to allow for flows in excess of the capacity of the pipe/drainage system draining the site.
- iii) Allowance shall be made for surface runoff from adjacent properties, and to retain existing surface flow path systems through the site. Any redirection or treatment of these flows shall not adversely affect any other properties
- iv) Boundary fencing shall be erected in such a manner as not to interfere with the natural flow of ground and surface water to the detriment of any other party.

(Reason: To ensure the site is drained appropriately and does not interfere with the natural flow of flood waters.)

29. WASTE MANAGEMENT PLAN (CC)

A Waste Management Plan (WMP) is to be provided in accordance with Part H of Strathfield Consolidated Development Control Plan 2005. All requirements of the approved Waste Management Plan must be implemented during demolition, construction and on-going use of the premises.

The WMP must identify the types of waste that will be generated, all proposals to re-use, recycle or dispose of the waste and designs of the waste storage and collection areas. The WMP is to be submitted to council for comment prior to approval by the Principal Certifying Authority, approval must be provided prior to the issuing of the Construction Certificate.

Full compliance must be given to the endorsed Waste Management Plan submitted for the proposed development. Copies of any weighbridge receipts from all approved waste disposal facilities shall be retained for presentation to the Principal Certifying Authority upon request.

NOTE: The property must be inspected by a Council Waste Officer prior to the issue of an Occupation Certificate so as to ensure that the correct number of general waste and recycling bins are ordered from Strathfield Council.

(Reason: To ensure appropriate management of waste.)

30. CAR PARKING - VEHICULAR ACCESS RAMPS (CC)

Vehicular access ramps shall comply with the provisions of AS/NZS 2890.1:2004. Plans to be submitted shall contain the following details:

- i) Longitudinal section along the extreme wheel paths of each driveway/access ramp at

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a scale of 1:25 demonstrating compliance with the scraping provisions of AS/NZS 2890.1:2004. It shall include all levels and grades, including those levels stipulated as boundary levels, both existing and proposed. It shall extend from the centre-line of the roadway through to the parking area.

- ii) Sections showing the clearance to the underside of any overhead structure (minimum headroom requirements 2200mm minimum for standard headroom clearance or 2400mm where disabled access provisions are to be provided) demonstrating compliance with the provisions of AS/NZS 2890.1:2004.
- iii) Longitudinal section along the gutter line showing how it is intended to transition the vehicular crossing into the existing kerb and gutter. Boundary levels shall generally run parallel with the kerb levels.
- iv) Location of verge trees, street furniture and service installations.
- v) Superimposition of vehicle turning circles for access into parking spaces.
- vi) Certification that the design complies with AS/NZS 2890.1:2004 by a Qualified Engineer.

The certification referred to in (vi) above shall be submitted to the Principal Certifying Authority prior to the issue of a Construction Certificate (for the design) and to the Principal Certifying Authority prior to the issue of any Occupation Certificate for the 'as-built works'.

(Reason: To ensure adequate vehicular access can be achieved.)

31. CAR PARKING - COMPLIANCE WITH AS/NZS 2890.1:2004 (CC)

Car parking dimensions must comply with the Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure compliance with Australian Standards relating to parking of vehicles.)

32. COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 4.19 of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORKS (CW)

33. APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY (PCA) (CW)

No work shall commence in connection with this Development Consent until:

- i) A construction certificate for the building work has been issued by the consent authority or a Principal Certifying Authority.
- ii) The person having the benefit of the development consent has appointed a principal certifying authority for the building work, and notified the principal certifying authority that the person will carry out the building work as an owner/builder, if that is the case.
- iii) The principal certifying authority has, no later than 2 days before the building work commences:

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- notified the Council of his or her appointment, and
 - notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- iv) The person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:
- appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved;
 - notified the principal certifying authority of such appointment; and
 - unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- v) The person having the person having the benefit of the development consent has given at least 2 days notice to the Council of the person's intention to commence the erection of the building.

Note: If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement.)

34. HOME BUILDING COMPENSATION FUND (CW)

No residential building work within the meaning of the Home Building Act 1989 may commence until:

- i) A contract of insurance in accordance with Part 6 of the Home Building Act 1989 is entered into and in force, where such a contract is required under that Act (this is a prescribed condition of consent pursuant to clause 981(b) Environmental Planning and Assessment Regulation 2000.
- ii) The PCA is satisfied that the principal contractor for the work is the holder of the appropriate licence and is covered by the appropriate insurance, in each case if required by the Home Building Act 1989 (unless the work is to be carried out by an owner-builder).
- iii) If the work is to be carried out by an owner builder, that the owner builder is the holder of any owner -builder permit required under the Home Building Act 1989.
- iv) Written notice of the following information has been provided to Council (this is a prescribed condition of consent pursuant to clause 98B of the Environmental Planning and Assessment Regulation 2000):
 - In the case of work for which a principal contractor is required to be appointed:
 - the name and licence number of the principal contractor; and
 - the name of the insurer by which the work is insured under Part 6 of the Home Building Act 1989.

In the case of work to be done by an owner-builder:

 - the name of the owner-builder; and
 - if the owner-builder is required to hold an owner-builder permit under the Home

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Building Act 1989, the number of the owner-builder permits.

Where Council is not the PCA, the PCA is responsible for notifying Council of the above matters.

Note: Where arrangements for doing residential building work change while the work is in progress so that the above information becomes out of date, the PCA (where not the Council) must provide Council with written notice of the updated information.

(Reason: Statutory requirement.)

35. NOTICE OF COMMENCEMENT (CW)

No work shall commence until the following details are submitted to Council:

- i) a Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- ii) details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- iii) details of the name, address and licence details of the Builder.

(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED DURING DEMOLITION AND BUILDING WORKS (DW)

36. OBSTRUCTION OF PUBLIC WAY NOT PERMITTED DURING WORKS (DW)

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances, without the prior approval of Council.

(Reason: To maintain public access and safety.)

37. FILL MATERIAL (DW)

The only waste derived material which may be received at the development site is:

- i) Virgin excavated material (within the meaning of the Protection of the Environment Operations Act 1997), and
- ii) any other waste-derived material the subject of a resource recovery exemption under cl.51A of the Protection of the Environment Operations (Waste) Regulation 2005 that is permitted to be used as fill material.

Any (b)-type material received at the development site must be accompanied by documentation certifying by an appropriately qualified environmental consultant the materials compliance with the exemption conditions; and this documentation must be provided to the Principal Certifying Authority on request.

(Reason: To ensure imported fill is of an acceptable standard for environmental protection purposes.)

38. PUBLIC INFRASTRUCTURE AND SERVICES (DW)

The applicant must comply with the requirements (including financial costs) of any relevant utility provider (e.g. Energy Australia, Sydney Water, Telstra, RMS, Council etc.) in relation to any connections, works, repairs, relocation, replacements and/or adjustments to public

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infrastructure or services affected by the development.

(Reason: To maintain public infrastructure and/or services.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE (OC)

39. DRAINAGE SYSTEM - MAINTENANCE OF EXISTING SYSTEM (OC)

Where elements of the existing drainage system are to be utilised, the existing drainage system shall be overhauled and maintained clear of silt and accumulated debris. Silt and the like shall be removed, not flushed from the system.

A certificate shall be provided by a suitably qualified person (a registered plumber or a person of equivalent or greater experience or qualification) to the satisfaction of the Principal Certifying Authority, prior to the issue of any Occupation Certificate to confirm that the system is in good working order and adequate to accept additional flows having regard to any relevant standards and/or Sydney Water requirements.

(Reason: Maintenance and environment.)

40. ENGINEERING WORKS (CERTIFICATION OF)

Prior to occupation of the premises, a Work As Executed (WAE) Plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate Membership standing in the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that:

- i) the stormwater drainage system; and/or
- ii) the car parking arrangement and area; and/or
- iii) any related footpath crossing works; and/or
- iv) the proposed basement pump and well system; and/or
- v) the proposed driveway and layback; and/or
- vi) any other civil works

have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

For major works, such as subdivisions, works within the road reserve (requiring separate S138 approval) and as where specified by Council, a Part 4A Certificate will be required. It is strongly recommended that an Engineer supervise all engineering related works.

Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council, prior to the issue of any Occupation Certificate.

(Reason: Asset management.)

41. SWIMMING POOLS - REGISTRATION AND REQUIREMENTS (OC)

The approved swimming pool/spa must comply with all relevant legislation including:

- i) Swimming Pools Amendment Act 1992 (as amended);
- ii) Swimming Pools Regulations 2008; and
- iii) Australian Standard AS1926.1-2012 – Safety Barriers for Swimming Pools.

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Swimming pool owners must register their swimming pool or spa on the NSW Swimming Pool Register. A copy of a valid certificate of compliance or relevant occupation certificate must be attached to new residential tenancy agreements to rent property with a swimming pool or spa pool. Note: This requirement does not apply to a lot in strata or community title schemes with more than two lots.

A copy of a valid certificate of compliance or relevant occupation certificate must be attached to new residential tenancy agreements to rent property with a swimming pool or spa pool. Note: This requirement does not apply to a lot in strata or community title schemes with more than two lots; or for any off the plan contacts.

Details demonstrating compliance with this condition shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: Safety and statutory compliance.)

42. STORMWATER - CERTIFICATION OF THE CONSTRUCTED DRAINAGE SYSTEM (OC)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

(Reason: Adequate stormwater management.)

43. STORMWATER - COVENANT AND RESTRICTION AS TO USER FOR STORMWATER CONTROLLED SYSTEMS (OC)

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility (on-site detention, pump-out, charged lines, etc.).

Where any drainage line or service conduit is to traverse any property other than that which it serves, an appropriate easement will be required. In this case, the applicant shall register an easement no less than 1200mm wide over the proposed drainage line or service concurrently with any subdivision registration.

The wording on the 88E and/or the 88B Instrument is to make reference to the Council file where the Construction plans and the Work As Executed (as built), plans are held. Typical wording can be obtained from Council's Specification for the Management of Stormwater document.

(Reason: To ensure the on-site detention and/or pump system is maintained to an appropriate operational standard.)

44. OCCUPATION OF BUILDING (OC)

A person must not commence occupation or use (or change of use where an existing building) of the whole or any part of a new building (within the meaning of section 109H (4) of the Act) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

The Principal Certifying Authority is required to be satisfied, amongst other things, that:

- i) all required inspections (including each applicable mandatory critical stage

DA2018/004 - 17 Coventry Road, Strathfield
Lot 3 in DP 31617 (Cont'd)

- inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent have been met.

Note: New building includes an altered portion of, or an extension to, an existing building.

(Reason: Statutory requirement.)

45. RAINWATER TANKS (OC)

Rainwater tanks must be installed on residential properties by a suitably qualified and licensed plumber and in accordance with the following:

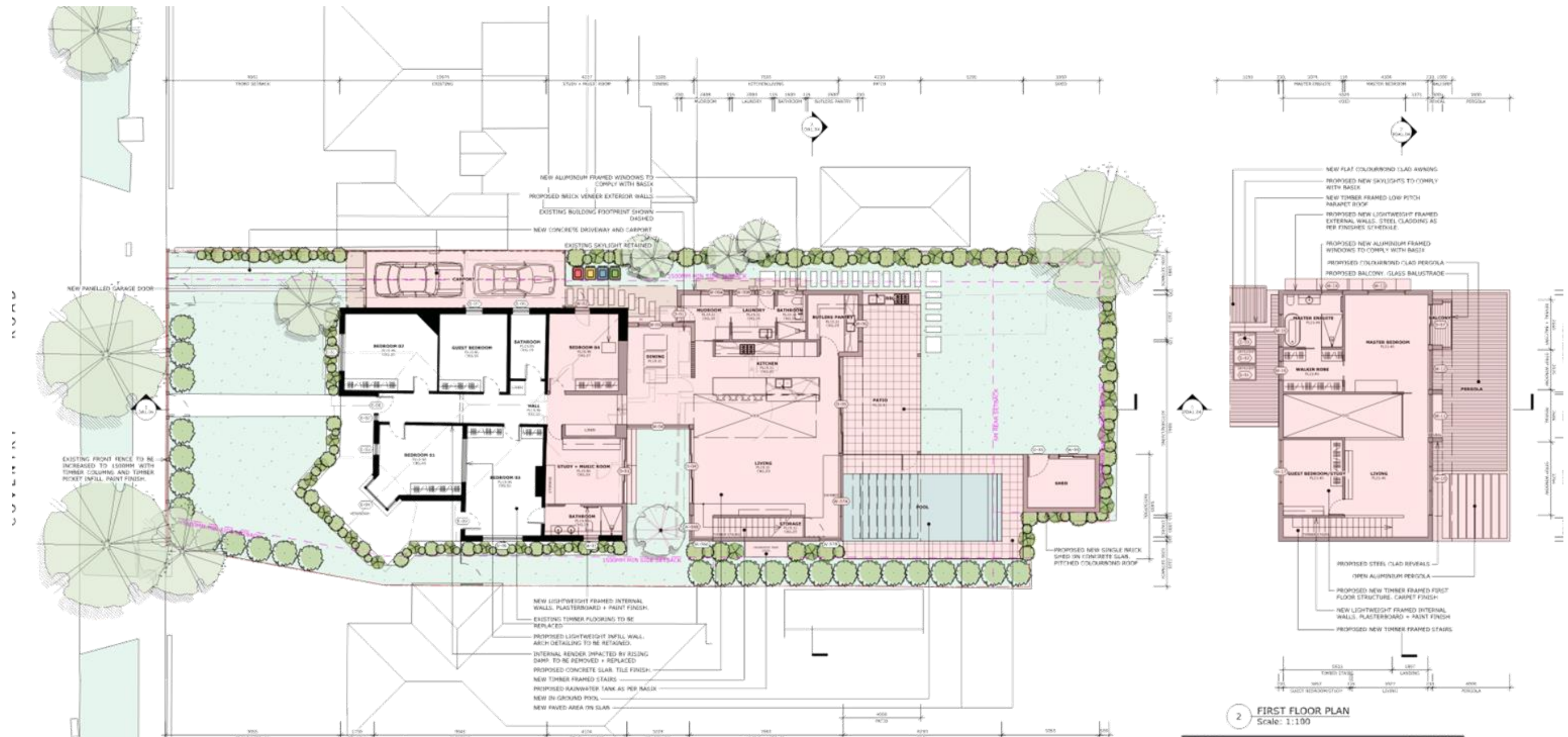
- i) Australian/New Zealand Standard AS/NZS 3500:2003;
- ii) NSW Code of Practice Plumbing and Drainage, 2006 produced by Committee on Uniformity of Plumbing and Drainage Regulations in NSW (CUPDR); and
- iii) Council's rainwater tank policy.

Details demonstrating compliance with this condition are to be submitted to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To protect public health and amenity.)

ATTACHMENTS

1. [↓](#) Architectural Plans
2. [↓](#) Heritage Impact Report



1 GROUND FLOOR PLAN
Scale: 1:100

2 FIRST FLOOR PLAN
Scale: 1:100

Item No.	Description	Proposed	Existing	Demolished	Retained	Notes
1	NEW ALUMINIUM FRAMED WINDOWS TO COMPLY WITH BASIX	Y				
2	PROPOSED BRICK VENEER EXTERIOR WALLS	Y				
3	EXISTING BUILDING FOOTPRINT SHOWN DASHED		Y			
4	NEW CONCRETE DRIVEWAY AND CARPORT	Y				
5	EXISTING SKYLIGHT RETAINED		Y			
6	NEW LIGHTWEIGHT FRAMED INTERNAL WALLS, PLASTERBOARD + PAINT FINISH	Y				
7	EXISTING TIMBER FLOORING TO BE REPLACED		Y			
8	PROPOSED LIGHTWEIGHT INFILL WALL ARCH DETAILING TO BE RETAINED	Y				
9	INTERNAL RENDER IMPACTED BY RIDING DAMP TO BE REMOVED + REPLACED	Y				
10	PROPOSED CONCRETE SLAB, TILE FINISH	Y				
11	NEW TIMBER FRAMED STAIRS	Y				
12	PROPOSED RAINTWATER TANK AS PER BASIX	Y				
13	NEW IN-GROUND POOL	Y				
14	NEW PAVED AREA ON SLAB	Y				

Item No.	Description	Proposed	Existing	Demolished	Retained	Notes
15	NEW FLAT COLOURBOND CLAD AWNING	Y				
16	PROPOSED NEW SKYLIGHTS TO COMPLY WITH BASIX	Y				
17	NEW TIMBER FRAMED LOW PITCH PARAPET ROOF	Y				
18	PROPOSED NEW LIGHTWEIGHT FRAMED EXTERNAL WALLS, STEEL CLADDING AS PER FINISHER SCHEDULE	Y				
19	PROPOSED NEW ALUMINIUM FRAMED WINDOWS TO COMPLY WITH BASIX	Y				
20	PROPOSED COLOURBOND CLAD PERGOLA	Y				
21	PROPOSED BALCONY, GLASS BALUSTRADE	Y				
22	PROPOSED STEEL CLAD REVEALS	Y				
23	OPEN ALUMINIUM PERGOLA	Y				
24	PROPOSED NEW TIMBER FRAMED FIRST FLOOR STRUCTURE, CARPET FINISH	Y				
25	NEW LIGHTWEIGHT FRAMED INTERNAL WALLS, PLASTERBOARD + PAINT FINISH	Y				
26	PROPOSED NEW TIMBER FRAMED STAIRS	Y				

Development Application Only



KEY
 PROPOSED WORKS
 EXISTING WALLS TO BE RETAINED
 PROPOSED NEW WALLS
 WALLS TO BE DEMOLISHED



Rev	Date	Comment	By	Stage	17 COVENTRY ROAD STRATHFIELD	Drawing No.
1	13/11/17	REV. DEVELOPMENT APPLICATION	DC	DEVELOPMENT APPLICATION	17 COVENTRY ROAD STRATHFIELD	DA1.02
2	21/1/18	DEVELOPMENT APPLICATION SUBMISSION	DC			
3	13/4/18	DEVELOPMENT APPLICATION SUBMISSION	DC			



1 21st June 9am
Azimuth: 42°
Altitude: 18°

2 21st June 12pm
Azimuth: 359°
Altitude: 32°

3 21st June 3pm
Azimuth: 318°
Altitude: 18°

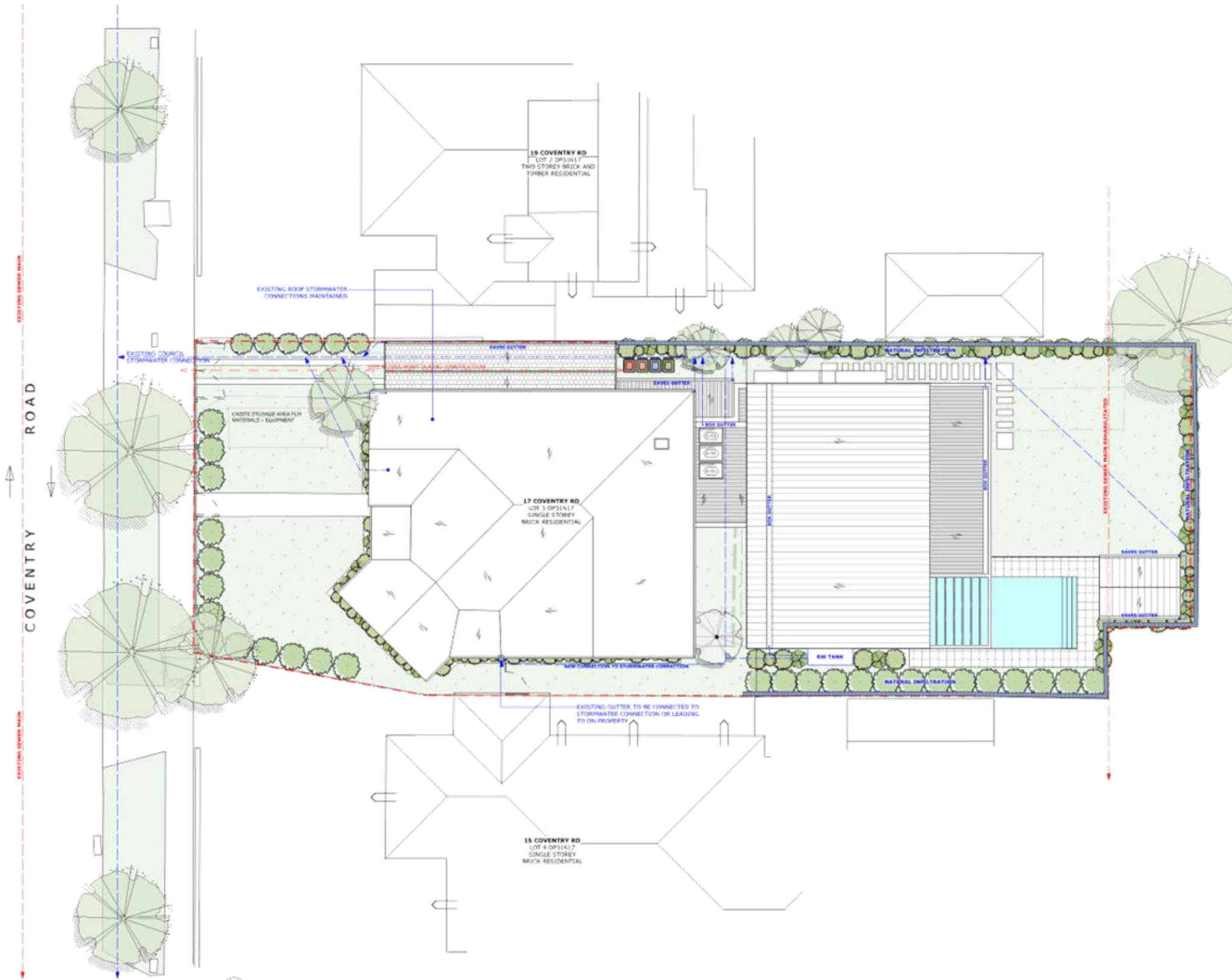
For Development Application Only



KEY
EXISTING SHADOWS
PROPOSED SHADOWS



Rev	Date	Comment	By	Stage	17 COVENTRY ROAD STRATHFIELD	Drawing No.
				DEVELOPMENT APPLICATION	17 COVENTRY ROAD STRATHFIELD	DA1.35
						1
Issue	Date	Comment	By	Site Address	Drawing Title	Scale
1	02/06/18	DEVELOPMENT APPLICATION SUBMISSION	RS	17 COVENTRY ROAD STRATHFIELD	SHADOW DIAGRAMS	1:2000 A1
2	26/06/18	DEVELOPMENT APPLICATION REVISION	RT			
				Client	Project No.	1417
						Drawn By



- EROSION PLAN - STORMWATER NOTES**
- 1 STORAGE AREAS TO BE CLEAR FROM GRASS, GUTTERS AND FOOTPATH
 - 2 FRONT YARD AND FRONT HANDSTAND AREA TO BE USED AS ON SITE STORAGE
 - 3 GEOTEXTILE FABRIC WITH GRAVEL OR ALL OPTICAL POLYMERFIBRE (AS SHOWN ON PLAN @@@@)
 - 4 SITE ACCESS TO REMAIN RESTRICTED THROUGHOUT CONSTRUCTION PERIOD
 - 5 EXISTING DRIVE TO BE FITTED WITH RILLED WIRE MESH AND GEOTEXTILE FABRIC FILLED WITH GRAVEL RECONSTRUCTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE
 - 6 ALL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING SWEEPING OF FOOTPATH TO BE INSTALLED AND MAINTAINED DAILY
 - 7 COUNCIL APPROVAL TO BE OBTAINED PRIOR TO PLACEMENT OF ANY MATERIAL ON THE FOOTPATH
 - 8 MAINTAIN ALL EXISTING STORMWATER CONNECTIONS AND CONNECT ALL NEW FLOWS TO EXISTING STORMWATER SYSTEM OR RAINWATER TANK
 - 9 A RAINWATER TANK WITH MINIMUM CAPACITY OF 5000L TO BE INSTALLED AS PER BADC REQUIREMENTS PARALLEL TANK TO BE CONNECTED TO ALL LAUNDRY TAPS + TOILETS AND AN OUTSIDE TAP WITHIN THE DEVELOPMENT

1 SITE PLAN
Scale: 1:100

For Development Application Only



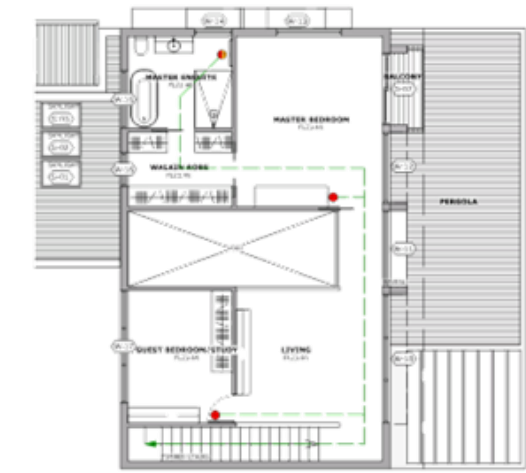
ARCHITECTURE INTERIOR LANDSCAPE
APT 21 JAWA Road
Melbourne, VIC 3042
P: 03 9339 1873

KEY
STORMWATER CONNECTIONS
SEWER MAINS



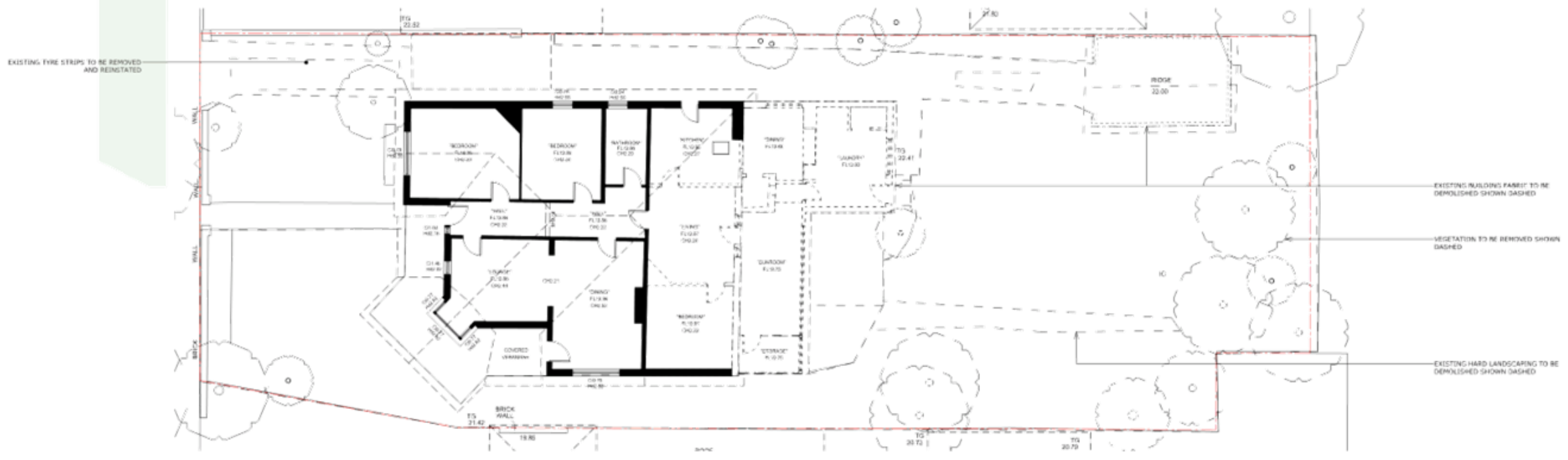
Rev	Date	Comment	By	Stage	17 COVENTRY ROAD STRATHFIELD	Drawing No.
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					Site Address	Drawing Title
					17 COVENTRY ROAD STRATHFIELD	STORMWATER PLAN
					Client	Project No. 1417
						Scale 1:100 @ A1
						Drawn By

Issue	Date	Comment	By
1	22/06/18	DEVELOPMENT APPLICATION SUBMISSION	RS
2	20/07/18	DEVELOPMENT APPLICATION RESUBMISSION	RT



1 GROUND FLOOR WMP
Scale: 1:100

2 FIRST FLOOR WMP
Scale: 1:100



3 DEMOLITION PLAN
Scale: 1:100

for Development Application Only

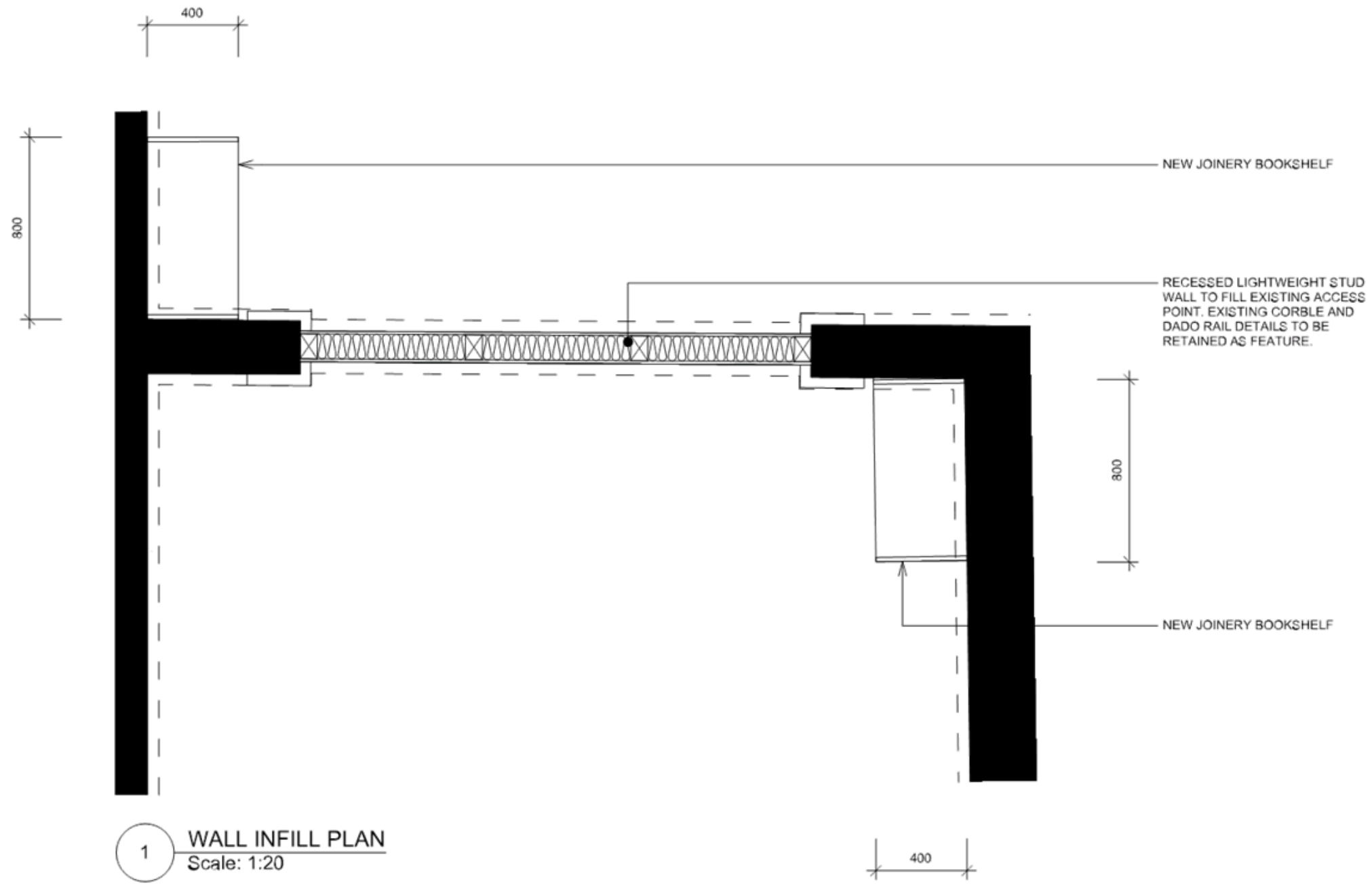


KEY	
EXISTING WALLS TO BE RETAINED	WASTE TRAVEL PATH
PROPOSED NEW WALLS	240L MGB
WALLS TO BE DEMOLISHED	SOFT LANDSCAPING
BOUNDARY LINE	TEMP. INTERNAL WASTE (GENERAL)
	TEMP. INTERNAL WASTE (RECYCLING)
	TEMP. INTERNAL WASTE (COMBINED)



Rev	Date	Comment	By	Stage	17 COVENTRY ROAD STRATHFIELD	Drawing No.
1	02/18	DEVELOPMENT APPLICATION SUBMISSION	RS	DEVELOPMENT APPLICATION	17 COVENTRY ROAD STRATHFIELD	DA1 28
2	20/18	DEVELOPMENT APPLICATION REVISION	RS			1

Issue	Date	Comment	By	Client	Project No.	1417	Scale	1:100@A1	Drawn By	RS
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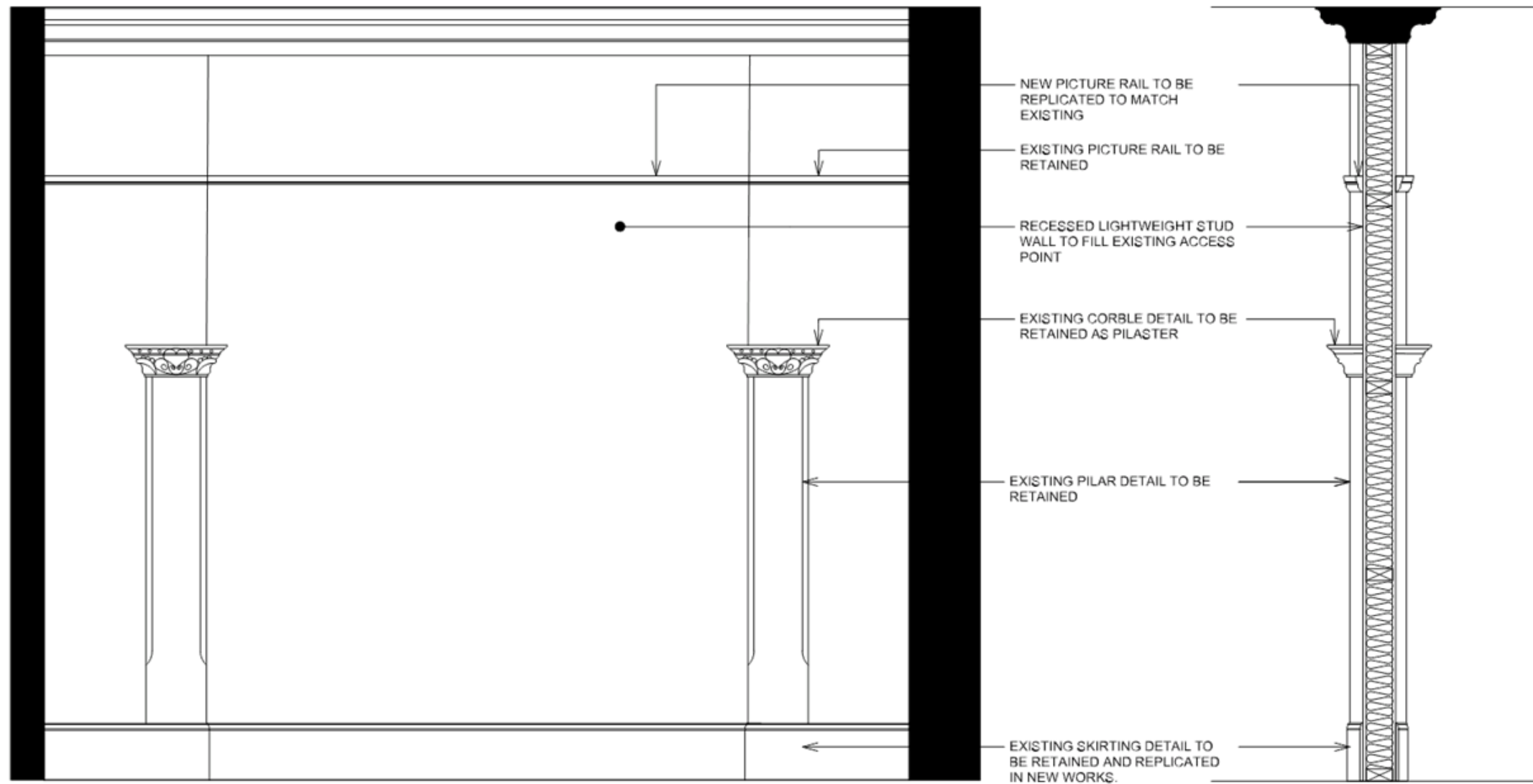
1 WALL INFILL PLAN
Scale: 1:20

For Development Application Only



STUBBS DESIGN TRIBE
4/11/17 12:00 PM
17 COVENTRY ROAD, STRATHFIELD
NSW 2159
02 9610 1000
www.stubbsdesigntribe.com.au

Rev	Date	Comment	By	Stage	COVENTRY ROAD	Drawing No.	
				2		DA1.10	
						3	
Issue	Date	Comment	By	Site Address	Drawing Title	Scale	Rev #
1	16/6/18	DEVELOPMENT APPLICATION SUBMISSION		17 COVENTRY ROAD, STRATHFIELD	INFILL WALL PLAN	1:20	
				Client	Project No.	Drawn By	Checked By
				KEN & MARGARET CHOW	1417	st	EG
					Draw Date:	Plot Date:	
					16/6/18	26/6/18	



1 WALL FILL ELEVATION
Scale: 1:20

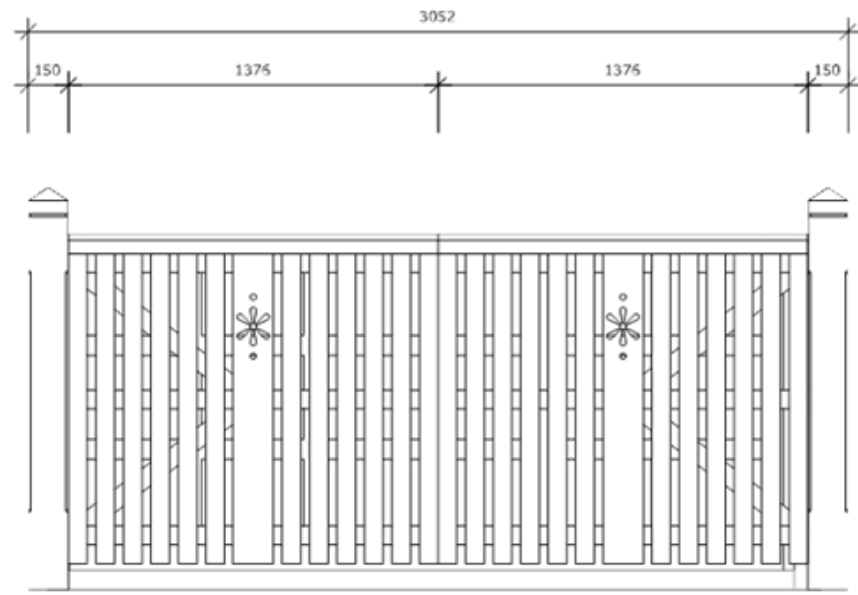
2 WALL FILL SECTION
SCALE: 1:20

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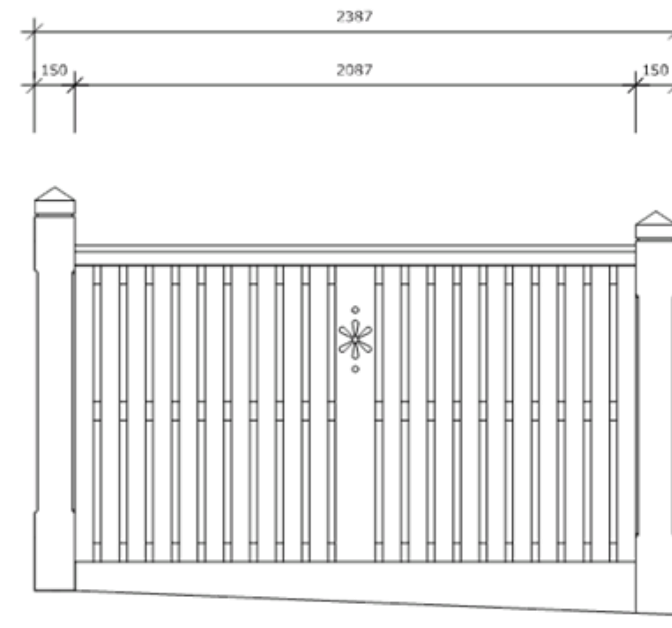


14/11/2017 14:17:00
 17 COVENTRY ROAD, STRATHFIELD
 NSW 1585
 1585 3411
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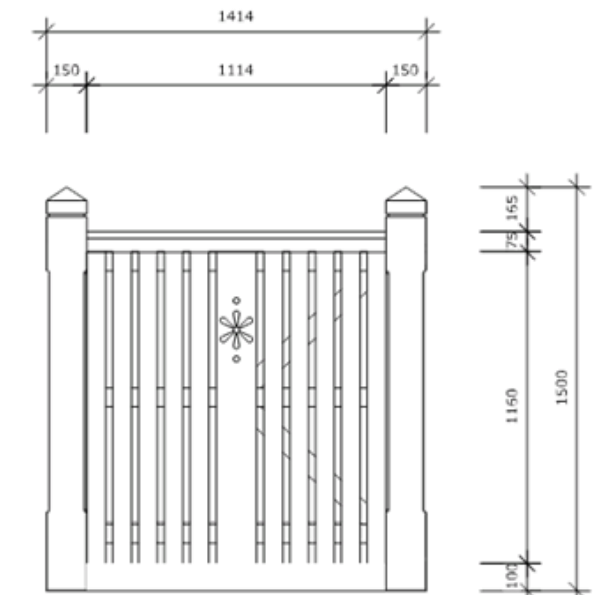
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						3	
Issue	Date	Comment	By	Site Address	Drawing Title	Scale	Rev #
1	14/11/17	DEVELOPMENT APPLICATION SUBMISSION		17 COVENTRY ROAD, STRATHFIELD	INFILL WALL ELEVATION + SECTION	1:20	
				Client	Project No.	Drawn By	Checked By
				KEN & MARGARET CHOW	1417	ML	EG
					Draw Date:	14/11/17	14/11/17



1 FRONT FENCE VEHICULAR ACCESS GATE
Scale: 1:25



2 FRONT FENCE PANEL
Scale: 1:25



3 FRONT FENCE ACCESS GATE
Scale: 1:25

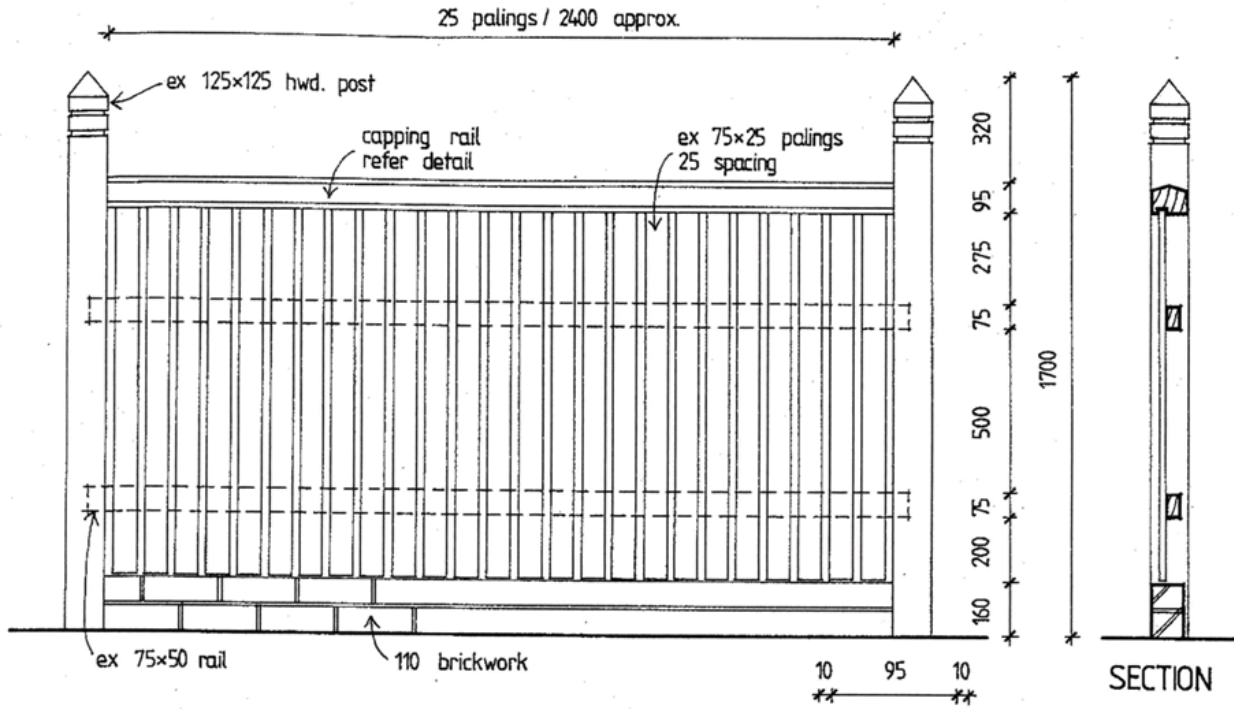
NOTE:
REFER TO FEDERATION ARCHITECTURE GUIDELINES:
FENCES AND GATES, DRAWING NO. 18

For Development Application Only

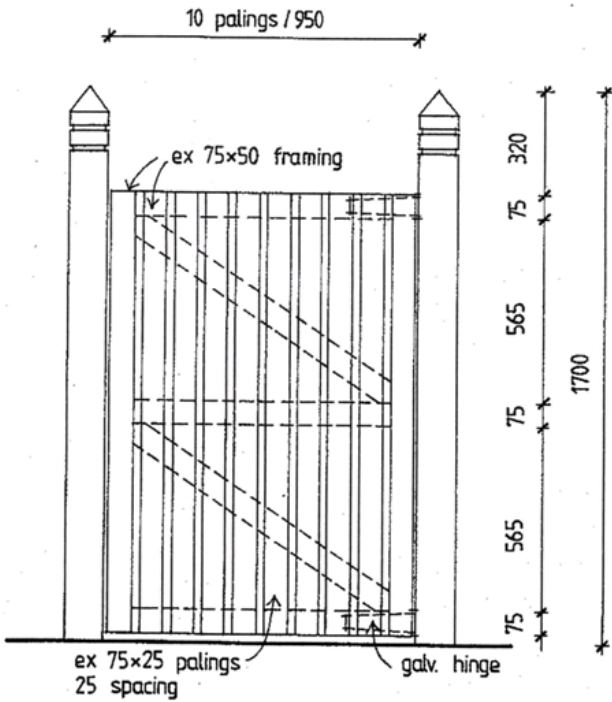


ARCHITECTURAL SERVICES
4/11/2017 10:00 AM
17 COVENTRY ROAD, STRATHFIELD, NSW, 1585
PH: 02 9515 5676
WWW.STUBBSDESIGNTRIBE.COM.AU
17 COVENTRY ROAD, STRATHFIELD, NSW, 1585
PH: 02 9515 5676
WWW.STUBBSDESIGNTRIBE.COM.AU

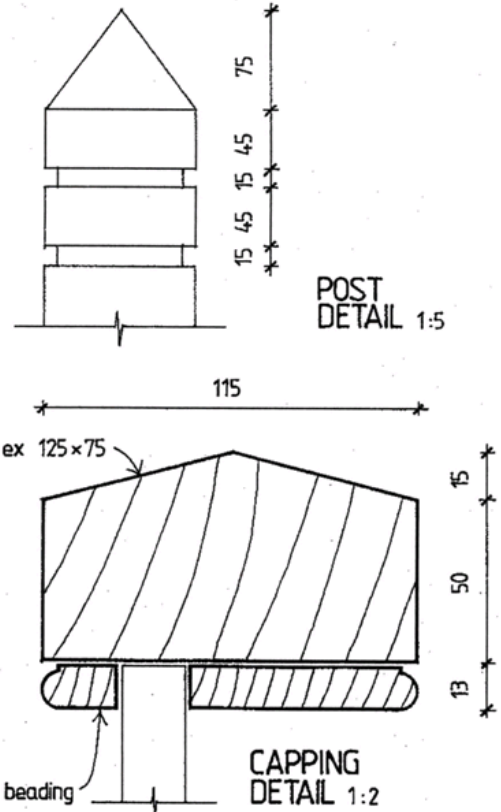
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				2		DA1.12	
						3	
Issue	Date	Comment	By	Site Address	Drawing Title	Scale	Rev #
1	24/6/18	DEVELOPMENT APPLICATION REVISIONS		17 COVENTRY ROAD, STRATHFIELD	FRONT FENCE ELEVATION	1:25	
				Client	Project No.	Drawn By	Checked By
				KEN & MARGARET CHOW	1417	at	EG
				Drawn Date	Proj Date		
				24/6/18	24/6/18		



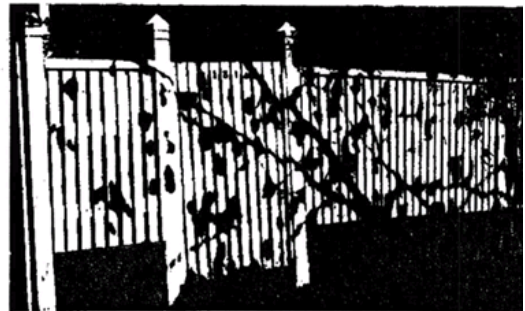
TYPICAL BAY ELEVATION

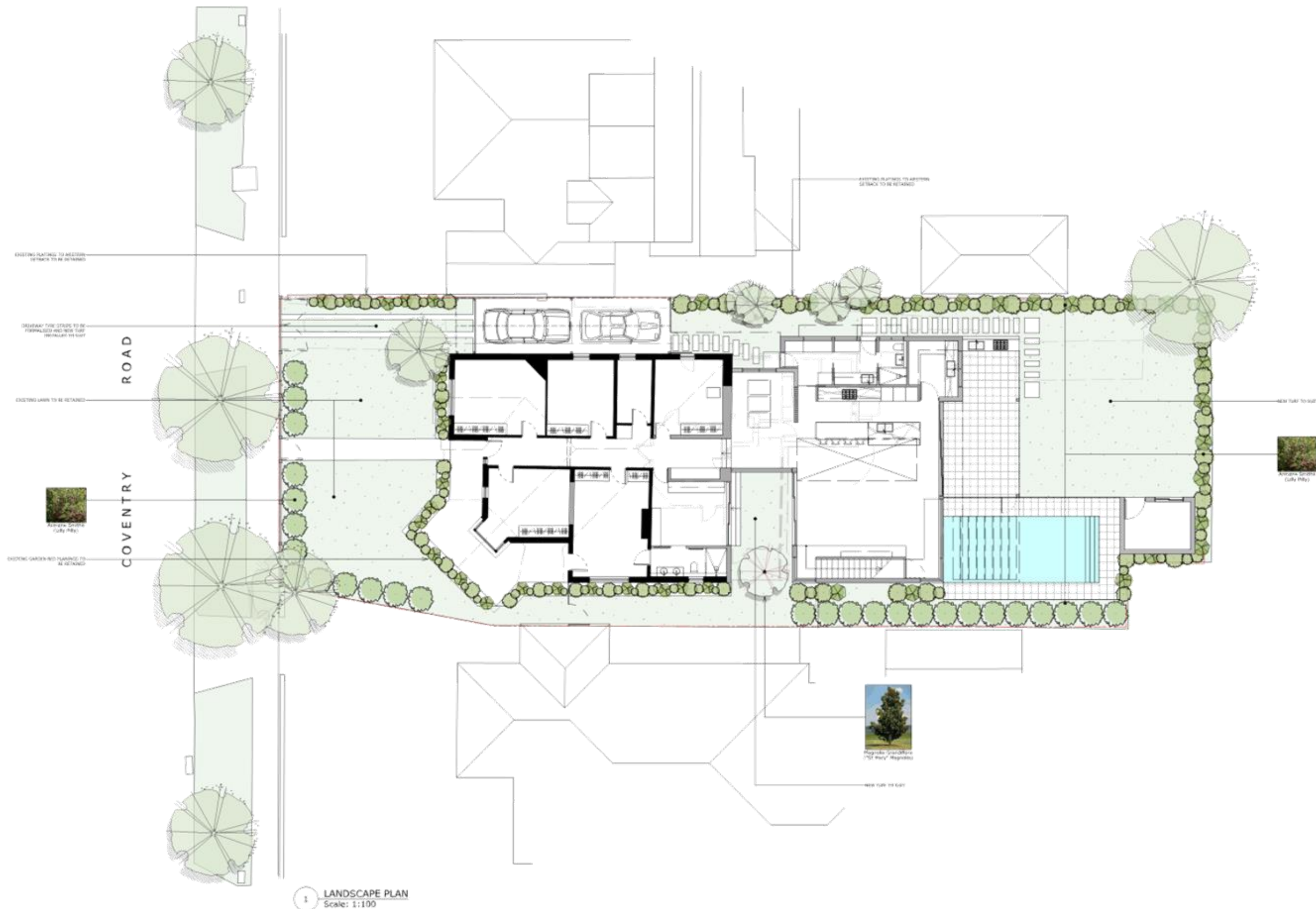


GATE ELEVATION



FEDERATION ARCHITECTURE GUIDELINES
 Fences/Gates Scale 1:20
 Drawing No. 18





1 LANDSCAPE PLAN
Scale: 1:100

Development Application Only

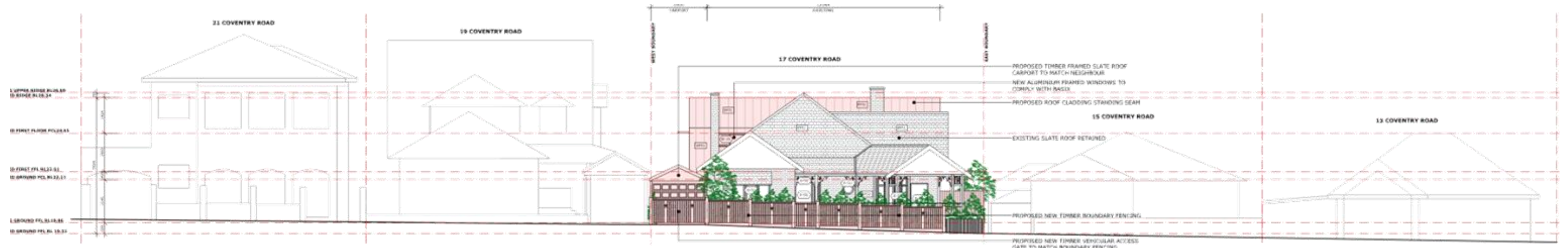


Rev	Date	Comment	By
1	25/04	DEVELOPMENT APPLICATION SUBMISSION	DL
2	26/4/18	DEVELOPMENT APPLICATION REVISION	LC

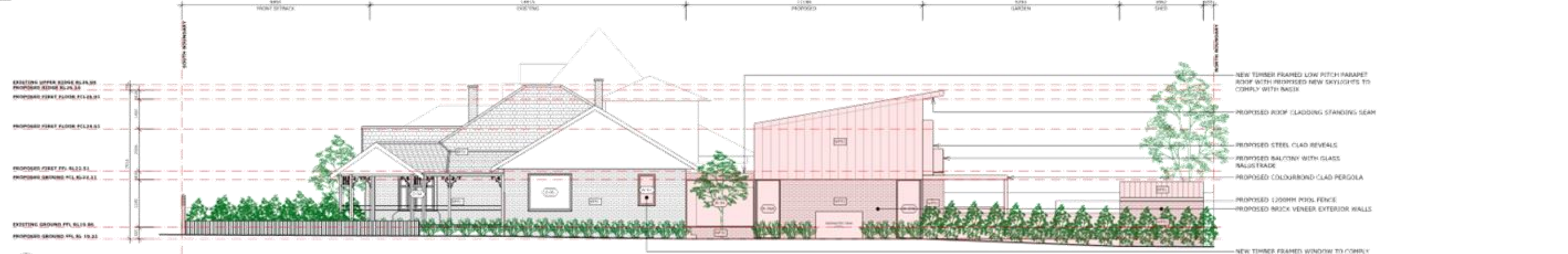
Stage	DEVELOPMENT APPLICATION
Site Address	17 COVENTRY ROAD STRATHFIELD
Client	

Project No.	1417
Drawing No.	DA1.06
Scale	1:100@A1
Rev	4

Drawn By	Check
----------	-------



STREETSCAPE ELEVATION
Scale: 1:100



2 EAST ELEVATION
Scale: 1:100



3 WEST ELEVATION
Scale: 1:100

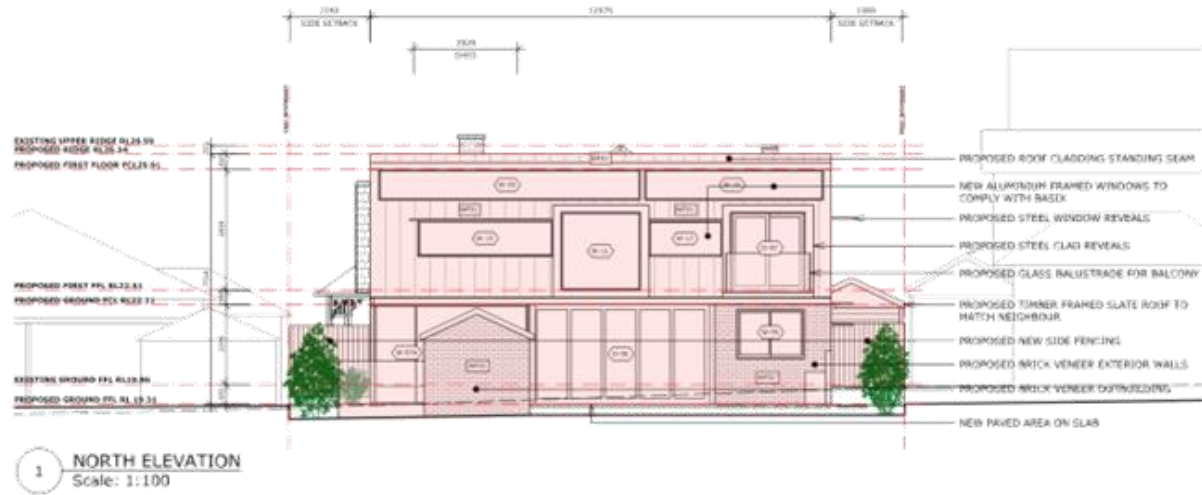
Item No.	Description	Proposed	Existing	Demolished	Notes
1	Proposed timber framed slate roof	Yes	No	No	Match neighbour
2	Proposed aluminium framed windows	Yes	No	No	Match neighbour
3	Proposed roof cladding standing seam	Yes	No	No	Match neighbour
4	Existing slate roof	No	Yes	No	Retained
5	Proposed new timber boundary fencing	Yes	No	No	Match neighbour
6	Proposed new timber vehicular access gate	Yes	No	No	Match neighbour
7	New timber framed low pitch parapet roof	Yes	No	No	Match neighbour
8	Proposed steel clad reveals	Yes	No	No	
9	Proposed balcony with glass balustrade	Yes	No	No	
10	Proposed colourbond clad pergola	Yes	No	No	
11	Proposed 1.20m pool fence	Yes	No	No	
12	Proposed brick veneer exterior walls	Yes	No	No	
13	New timber framed window	Yes	No	No	Match neighbour
14	Proposed colourbond clad pergola	Yes	No	No	
15	Proposed balcony with glass balustrade	Yes	No	No	
16	Proposed steel clad reveals	Yes	No	No	
17	New timber framed low pitch parapet roof	Yes	No	No	Match neighbour
18	Proposed wall cladding standing seam	Yes	No	No	
19	Proposed timber framed slate roof	Yes	No	No	Match neighbour
20	Proposed new side fencing	Yes	No	No	
21	New aluminium framed windows	Yes	No	No	Match neighbour
22	Proposed brick veneer exterior walls	Yes	No	No	
23	Proposed 1.20m pool fence	Yes	No	No	

Development Application Only

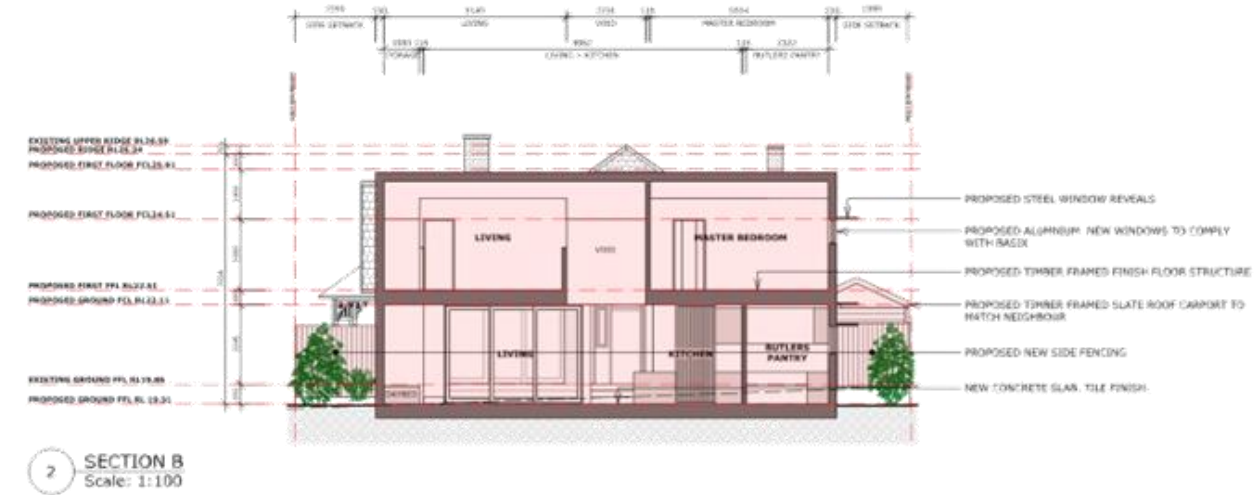


KEY	PROPOSED WORKS	EXISTING WALLS TO BE RETAINED	PROPOSED NEW WALLS	WALLS TO BE DEMOLISHED	EXTERIOR WALL FINISH - STANDING SEAM	EXTERIOR WALL FINISH - BRICK	ROOF FINISH - STANDING SEAM	EXISTING ROOF FINISH - SLATE	EXISTING WALL FINISH - BRICK
	[Red outline]	[Black outline]	[Grey outline]	[Dashed outline]	[Red box]	[Black box]	[Red box]	[Grey box]	[Black box]

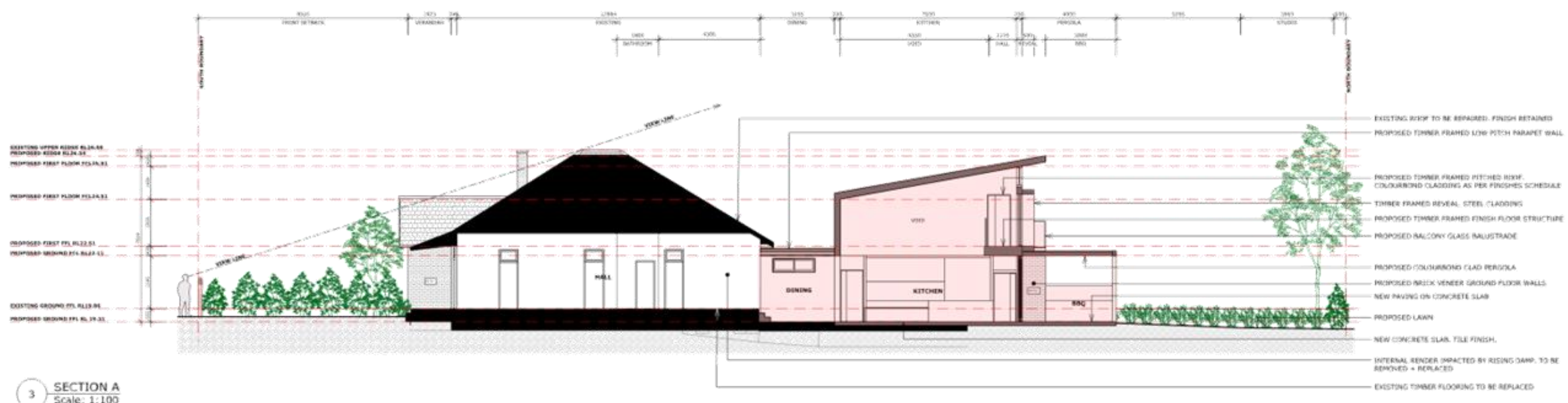
Rev	Date	Comment	By	Stage	17 COVENTRY ROAD STRATHFIELD	Drawing No.
1	10/01/17	PRE DEVELOPMENT APPLICATION	HS	DEVELOPMENT APPLICATION	0A1.05	1
2	02/04/18	DEVELOPMENT APPLICATION SUBMISSION	HS			
3	04/06/18	DEVELOPMENT APPLICATION REVISION	HS			



1 NORTH ELEVATION
Scale: 1:100



2 SECTION B
Scale: 1:100



3 SECTION A
Scale: 1:100

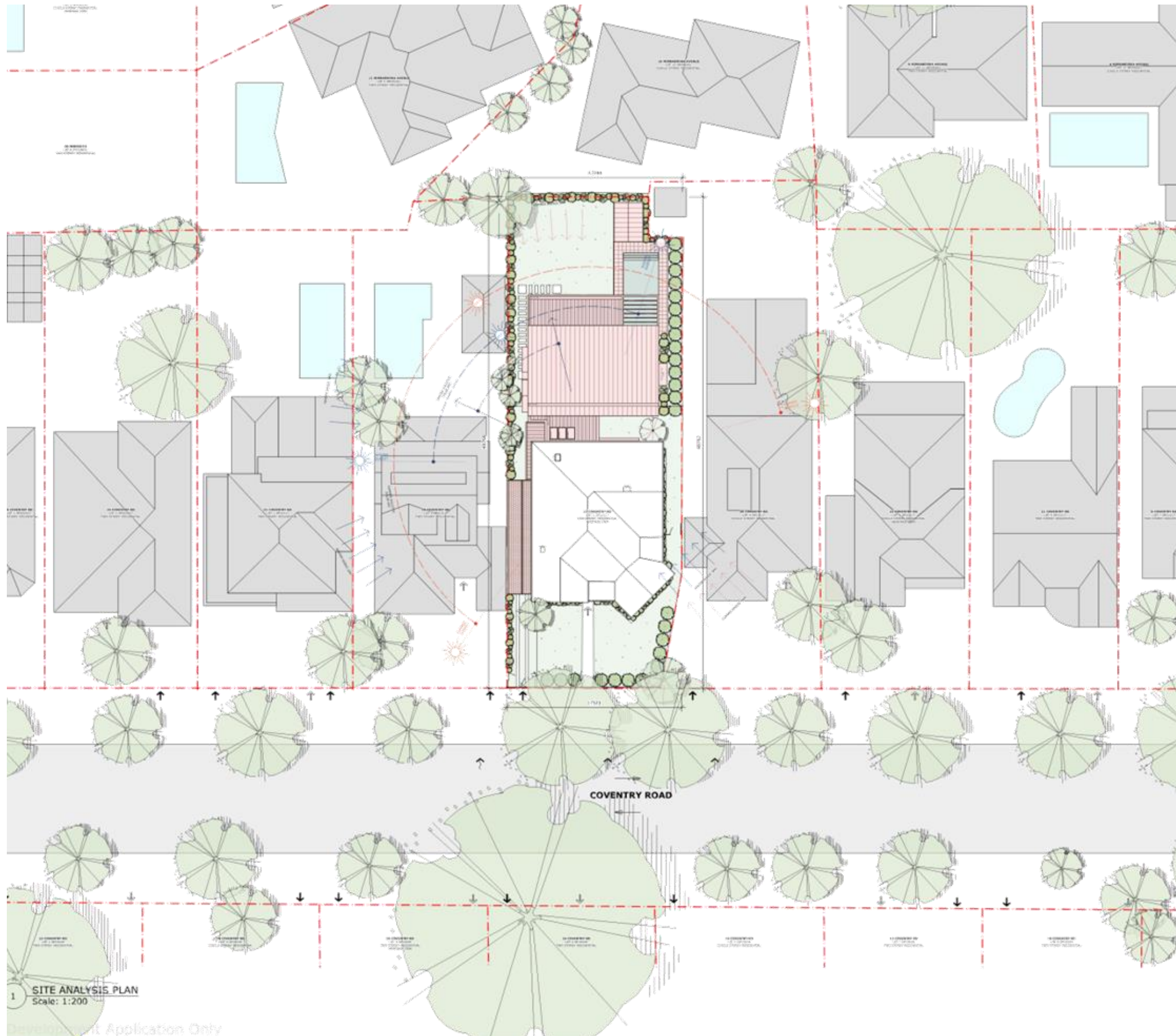
Item No.	Description	Material	Quantity	Unit	Value	Notes
1	Timber cladding	Timber cladding	100	m ²	1000	
2	Aluminium windows	Aluminium windows	10	nos	1000	
3	Brick veneer	Brick veneer	50	m ²	5000	
4	Concrete slab	Concrete slab	10	m ²	1000	
5	Tile finish	Tile finish	10	m ²	1000	



KEY

PROPOSED WORKS	EXISTING WALLS TO BE RETAINED	PROPOSED NEW WALLS	WALLS TO BE DEMOLISHED	EXTERIOR WALL FINISH - STANDING SEAM	EXTERIOR WALL FINISH - BRICK	ROOF FINISH - STANDING SEAM	EXISTING ROOF FINISH - SLATE	EXISTING WALL FINISH - BRICK
----------------	-------------------------------	--------------------	------------------------	--------------------------------------	------------------------------	-----------------------------	------------------------------	------------------------------

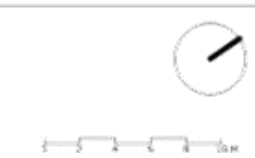
Rev	Date	Comment	By	Stage	17 COVENTRY ROAD STRATHFIELD	Drawing No.
1	20/07/17	RE DEVELOPMENT APPLICATION	ES	DEVELOPMENT APPLICATION	Site Address	DA1.04
2	22/07/17	RE DEVELOPMENT APPLICATION SUBMISSION	ES		17 COVENTRY ROAD STRATHFIELD	1
3	26/08/17	RE DEVELOPMENT APPLICATION REDRAWN	ES	Client	Drawing Title	Scale 1:100&A1
					Proposed Sections	Rev #
					Project No. 1417	Drawn By
						Checked



CONTROL	REQUIRED	PROPOSED	COMPLIANCE
FSR (LEP)	0.55:1 = 493.04m ²	0.49:1 = 324.74m ²	✓
HEIGHT (LEP)	9.5m ABOVE NGL	7.00m	✓
L/S DEEP SOIL	45% 347.74m ²	45% 340m ²	✓
REAR SETBACK	4M / 500mm MIN OUTBUILDING	12.7m / SHED 500mm	✓
SIDE SETBACK	25% SITE WIDTH (APPROX 4.3m)	3.90m = 2.30m + 4.3m	✓
OUTBUILDING AREA	40m ²	4.85m ²	✓
OUTBUILDING SETBACK	500mm	500mm	✓
OUTBUILDING HEIGHT	3.5m ABOVE NGL	2.7m	✓

2 COMPLIANCE TABLE

1 SITE ANALYSIS PLAN
Scale: 1:200



Rev	Date	Comment	By	Stage
1	12/01/17	PRE DEVELOPMENT APPLICATION	HS	DEVELOPMENT APPLICATION
2	22/04/18	DEVELOPMENT APPLICATION SUBMISSION	HS	DEVELOPMENT APPLICATION SUBMISSION
3	26/04/18	DEVELOPMENT APPLICATION REVISION	HS	DEVELOPMENT APPLICATION REVISION

17 COVENTRY ROAD STRATHFIELD	Drawing No. DA1.00
17 COVENTRY ROAD STRATHFIELD	Drawing Title SITE ANALYSIS
Client	Scale 1:200@A1
Project No. 3417	Rev #
	Drawn By Charled B



ARCHITECTURE THAT INSPIRES

DATE: 27 APRIL 2018

RE: DA2018/004 HERITAGE IMPACT STATEMENT ADENDUM

ATTN: LAURA MORABITO & KRISTY WELLFARE

Please see responses to the points identified in the Statement of Heritage Impact Guide provided by Kristy Wellfare on 3/4/2018.

Demolition of a building or structure

Not Applicable

Minor partial demolition (including internal elements)

Refer to major partial demolition

Major partial demolition (including internal elements)

Major demolition will include the removal of the enclosed rear verandah and the existing garage as well as some internal reconfiguration towards the rear of the heritage item. These areas are feature significant detracting alterations to the existing fabric. No demolition work will be done towards the front of the existing dwelling.

The proposed demolition does not prevent the heritage item from functioning.

Significant original features will not be impacted by the proposed demolition, with the significant original fabric being retained.

The proposed demolition will is sympathetic to the significance of the item, removing detracting fabric, repairing dilapidated fabric, and reinstallation removed detailing.

Fabric to be demolished is not as a result of it being in need of repair.

Change of use

Not Applicable

Minor additions

Not Applicable

Major additions

The two-storey addition to the rear of the property sits below the existing ridge line of the heritage item and is barely visually impacting. The first storey of the addition sympathises with the heritage using a similar tone of brick finish to match.

The reduced scale of the addition, and the change to its form will ensure it is visually recessive from the public domain and does not dominate the existing dwelling. The proposed materiality of the addition is also sympathetic to the existing dwelling.

It is not possible to accommodate the proposed additional floor area within the envelope of the existing building.

There are no know significant archaeological deposits on the site.

Studio: Apt 2/206T Alison Road, Randwick NSW 2031 PH: 02 9399 6673

Email: info@stubbsdesigntribe.com.au Web: www.stubbsdesigntribe.com.au

ABN 65 771 230 353 Nominated Architect: Mathew Stubbs NSW Registered Architect No. 7212 AIA Membership No. 28118

New development adjacent to a heritage item

Not Applicable

Subdivision

Not Applicable

Repainting

A traditional colour scheme has been proposed for the existing building, which has been informed by "Colour Schemes for Old Australian Houses". To be approved by Council.

Re-roofing/re-cladding

Not Applicable

New services

The heritage item will be assessed by a structural engineer and deemed safe before the installation of new services. No existing services will be affected.

Fire upgrading

Not Applicable

New landscape works and features (including carparks and fences)

A proposed carport to replace the existing and match neighbours existing carport been supported. The replacement and redesign of the existing brick street facing fence to a federation style fence according to the Federation Architecture Guidelines – Fences and Gates has also been supported.

There is no discernible evidence of any deliberate landscaping design on the site.

A landscape architect has not been engaged for the project as it is deemed unnecessary for a domestic residential scenario.

The proposed landscaping does not interrupt views to or from the Heritage Item.

Tree removal or replacement

The trees located in the rear of the property are going to be removed in order for the addition of the ground floor as well as the swimming pool. These trees are of low retention value and hold no particular ecological, landscape or heritage significance according the Arboricultural Impact Assessment Report.

New signage

Not Applicable



Studio contact: Apt2/206T Allison Rd, Randwick NSW 2031 PH: 02 9399 6673

WEB: Info@stubbsdesigntribe.com.au www.stubbsdesigntribe.com.au

ABN 65 771 230 353 Nominated Architect: Mathew Stubbs NSW Registered Architect No. 7212 AIA Membership No. 28118

TO: Strathfield Local Planning Panel Meeting - 5 July 2018
REPORT: SLPP – Report No. 2
SUBJECT: DA2017/033/03- 37-39 LOFTUS CRESCENT, HOMEBUSH
LOT 33 & 34 IN DP 9154 & LOT Y IN DP 446141
DA NO. 2017/033/03

SUMMARY

Proposal: Section 4.55(2) application to construct an additional floor to Building B, an additional one (1) unit to Building A and two (2) units to Building B, minor internal re-configuration of unit layouts and lifts and an amended schedule of colours and external finishes.

Applicant: Urban Link Pty Ltd

Owner: N. Hayek & T. Taouk

Date of lodgement: 24 April 2018

Notification period: 15 May 2018 to 16 June 2018

Submissions received: One (1) written submission received.

Assessment officer: ND

Zoning: R4 High Density Residential - SLEP 2012

Heritage: No

Flood affected: Yes

Is a Clause 4.6 variation proposed? Yes – Floor Space Ratio

Extent of the variation proposed? 11% - (478.14m²)

RECOMMENDATION OF OFFICER: **APPROVAL**

EXECUTIVE SUMMARY

- 1.0 On 1 June 2017, SIHAP granted Deferred Commencement consent to Development Application No. 2017/033 for the demolition of existing structures and construction of a part 7 storey and part 5 storey residential flat building containing (62) units above two (2) levels of basement car parking.
- 2.0 Two (2) subsequent modification applications have been approved involving a minor error in the development description on the Notice of Determination and amendments to the design of the stormwater culvert to accommodate for the flood prone nature of the site.
- 3.0 The subject application was lodged under Section 4.55 (2) of the *Environmental Planning and Assessment Act 1979*, seeking amendments to the internal and external configuration of the units and private open space, alterations to the colour schedule and external finishes.
- 4.0 In addition to minor internal and external alterations the subject application seeks to construct an additional three (3) units across Building A and B including an additional storey to Building B.

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- 5.0 A Clause 4.6 variation to the maximum floor space ratio permissible under the *SLEP 2012* accompanied the application. The proposed variation is considered to be well founded and supported.
- 6.0 The application and plans were put on notification from 15 May 2018 to 16 June 2018 with one (1) written submission received raising concerns regarding reduced loss of views and privacy and streetscape compatibility.
- 7.0 Overall, the development as proposed to be modified will result in a residential flat building presenting an overall bulk, height and scale which is compatible with the envisage future of the surrounding locality and wider Parramatta Road Corridor and is consistent with the reasons for the granting of the original development consent.

DESCRIPTION OF THE PROPOSED MODIFICATION(S)

The proposed modification application seeks Council approval to construct an additional three (3) units within the building, minor internal re-configurations of the unit layouts, modified lift arrangement and an amended schedule of colours and finishes.

The specific elements of the modification(s) sought are as follows:

- Additional level to Building B;
- External and internal re-configurations of units on levels 4 -7;
- Increase floor space ratio;
- Amendments to lift core to reflect the documentation accompanying the Construction Certificate;
- Alterations to the schedule of colours and external finishes; and
- Minor re-configuration of basement parking to provide an additional one (1) space.

Approved development:

Part (8) storey and part (5) storey residential flat building over two (2) levels of basement comprising of:

- 18 x 1 bedroom units
- 40 x 2 bedroom units
- 4 x 3 bedroom units:

Total Units: 62

Proposed development:

Part (8) storey and part (6) storey residential flat building over two (2) levels of basement comprising of:

- 16 x 1 bedroom units
- 42 x 2 bedroom units
- 7 x 3 bedroom units

Total Units: 65

BACKGROUND

1 June 2017: SIHAP granted Deferred Commencement consent to Development Application No. 2017/033 for the demolition of existing structures and construction of a part 7 storey and part 5 storey residential flat building containing (62) units above two (2) levels of basement car parking.

5 October 2017: Council issued a letter notifying the applicant that the Deferred Commencement matters had been satisfied and the consent is active.

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27 October 2017: Section 96(1) application was approved to correct the development description on the Notice of Determination to reflect the approved development.

10 November 2017: Section 96(1A) application was approved involving alterations to the design and capacity of the stormwater culvert.

SECTION 4.55(2) OF THE EP&A ACT 1979

Section 4.55(2) of the Environmental Planning and Assessment states as follows:

4.55 Modifications of consents - generally

(2) Other modifications

A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:

- (a) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and*

Comment: In answering this threshold question, a comparative analysis of the approved development as modified has been undertaken. The intent of the development of the site for a residential flat building has not changed. The main physical components of the building remain, being two structures with a stepped design when viewed from the public domain. The visual articulated elements and colour composition remains, only the colour palette and external finish is substituted. Roof shade features for the communal open space have been simplified and reduced.

Overall it is satisfied that the development to which the consent as modified is substantially the same development for which consent was originally granted.

- (b) it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 5) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and*

Comment: The original development application was defined as Integrated Development requiring the concurrence of Sydney Trains in accordance with Clause 86(1) of the *Infrastructure SEPP 2007*. Accordingly a request for comments by Sydney Trains was sought as part of the application, with no comments received. Due to the expiration of time which comments should be received, concurrence was assumed

- (c) it has notified the application in accordance with:*

- (i) the regulations, if the regulations so require, or
(ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*

Comment: In accordance with Part L of the SCDP 2005 the application was notified from 15 May 2018 to 16 June 2018.

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(d) it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.

Comment: One (1) submission was received as a result of the notification period.

(3) *In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in Section 4.15(1) as are of relevance to the development the subject of the application.*

Comment: An assessment of the modification application against the matters referred in Section 4.15(1) of the *Environmental Planning and Assessment Act 1979* is included in this report.

(3) *The consent authority must also take into consideration the reason given by the consent authority for the grant of the consent that is sought to be modified.*

Comment: The original development application was granted deferred commencement consent on 1 June 2017 by the Strathfield Independent Hearing and Assessment Panel. In accordance with Clause 4.55(3), the recommendation report presented at the SIHAP meeting has been taken into consideration.

Section 79(1)(c) suitability of the site for the development of the report comments,

“the proposed development presents an overall bulk, height and scale which is commensurate with the relevant statutory controls. The overall layout of the two (2) buildings maximizes the northerly orientation of the site, providing residents with good solar access to units, balconies and common areas”

with the conclusion stating,

“the proposal presents a development of good architectural merit which will positively contribute to the vibrant mixed use character of the Parramatta Road precinct.”

The development as modified presents an overall height and scale to both Loftus Lane and Loftus Crescent frontages that achieve the objectives of the relevant statutory controls, contributing positively to the locality and providing good residential amenity. Specifically:

- The proposed additional level to Building B has adopted a building envelope that aligns with its existing building form.
- The proposed amendments to the roof forms of Buildings A and B soften the built form by creating an integrated building and roof form which reduces the perceived scale of the development.
- The proposed internal and external reconfigurations of the apartment layouts through levels 4-7 of the development achieve compliance with the minimum requirements of the ADG, with non-compliances recommended to be conditioned.

REFERRALS

INTERNAL REFERRALS

Engineering Comments

Council's Engineer has commented on the proposal and has no objections from an engineering perspective as the proposed building footprint does not change and the impervious area does not increase.

Waste Comments

Council's Waste Officer provided no objection to the proposal, subject to the imposition of conditions to ensure the development provides sufficient facilities to cater for the ongoing waste needs of the future residents.

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Traffic Comments

Council's Traffic Engineer has commented on the proposal as follows:

"As per RMS guide to Traffic Generating Development, the development only requires 70 car parking spaces in total, so they are compliant under all circumstances."

EXTERNAL REFERRALS

Sydney Trains Comments

A referral letter was sent to Sydney Trains on 8 May 2018 requesting comments as the original development application was defined as Integrated Development requiring the concurrence of Sydney Trains under Clause 86 of the *Infrastructure SEPP* 2007. No comments were received and concurrence is assumed as more than 21 days has passed without correspondence.

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within section 4.15C of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

4.15(1)(a) the provisions of:

(i) any environmental planning instrument

STATE ENVIRONMENTAL PLANNING POLICY (SEPP) – BASIX 2004

In accordance with the BASIX SEPP, all new housing in NSW is required to meet a designated target for energy and water reduction.

The subject application was accompanied by an amended BASIX Certificate. The Certificate indicates that the proposed development meets the targets for water, thermal comfort and energy. Conditions of consent have been recommended to ensure future compliance with the Certificate

STATE ENVIRONMENTAL PLANNING POLICY NO 55 – REMEDIATION OF LAND

State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55) requires Council to consider whether the site is suitable in its current state, contaminated state or following the completion of remediation works for the purposes for which development consent is being sought.

The proposed development as modified is contained entirely within the footprint of the approved residential flat building and involves no additional excavation works. Accordingly, the subject development application is considered unlikely to alter the suitability of the site for the purposes of the proposed development.

STATE ENVIRONMENTAL PLANNING POLICY (INFRASTRUCTURE) 2007

The original development application was referred to Sydney Trains in accordance with the requirements of Clause 86(1) of the Infrastructure SEPP as the subject site is within 25m of a railway corridor and the development includes excavation for two (2) levels of basement car parking. However, 21 days have passed since notice was given to Sydney Trains and correspondence has not been received, concurrence is assumed as consent may be given under Clause 84(5) of the SEPP.

STATE ENVIRONMENTAL PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017

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The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

In this instance the proposed development does not seek to remove any vegetation other than what was approved under the original consent.

STATE ENVIRONMENTAL PLANNING POLICY NO. 65 – DESIGN QUALITY OF RESIDENTIAL APARTMENT DEVELOPMENT (SEPP 65)

State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development (SEPP 65) aims to improve the design quality of residential apartment development in New South Wales. SEPP 65 recognises that the design of residential apartments is of significance due to the economic, environmental, cultural and social benefits of high quality design.

The design principles of the SEPP have been taken into consideration in regards to the proposed modification application. The proposed amendments will result in good design achieving a scale, bulk and scale that will contribute to the desire future character of the Homebush Precinct within the Parramatta Road corridor.

Apartment Design Guide Quality Design of Residential flat buildings

Design Criteria	Required	Proposed	Compliance
2F – Building Separation	Five to eight storeys: 18m between habitable rooms/balconies 12m between habitable and non-habitable rooms 9m between non-habitable rooms	The proposed level 5 to Building B achieves compliance with the minimum building separation requirements except for the bedroom and study of B5.01. Additionally, the reconfiguration of Unit B4.01 results in the study and bedroom not meeting the minimum building separation requirements between habitable rooms. Accordingly, a condition of consent has been recommended for the non-compliant windows to be replaced with highlight windows.	Condition of consent recommended.
3B – Orientation	Responsive to streetscape and site Designed to optimise solar access and minimise overlooking Shall not further reduce solar access by more than 20%	The additional units are orientated to the northern aspect of the site to optimise solar access. Amended shadow diagrams accompanied the subject application. The overshadowing created by the proposed modifications will only impact the western adjoining properties	Yes.

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		between 12pm to 3pm. Sufficient solar access is provided to the adjoining properties between 9am to 3pm.	
3C – Public Domain Interface	Balconies/windows orientated to overlook the public domain	The balconies of the proposed new units overlook onto the public domain (Loftus Lane).	Yes.
3D – Communal Open Space	Min. 25% (542.25m ²) Min 2h to 50% communal open space at mid-winter Consolidated area Min dimension of 3m Equitable access	The modification seeks to delete the communal open space located on Level 4 of Building B to accommodate the conversion of two x 1 bedroom to two x 2 bedroom units on level 4. Notwithstanding, the reduction of communal open space 28.26% (613m ²) of the site is dedicated as communal open space, exceeding the 25% minimum requirement. The proposed modifications will not alter the solar access of the communal open space as approved under the original consent.	Yes.
3F – Visual Privacy	Up to 4 storeys: 0-12m <ul style="list-style-type: none"> • 9m between habitable rooms/balconies and the boundary • 6m between habitable and non-habitable rooms and the boundary. Up to 25m (5-8 storeys) <ul style="list-style-type: none"> • 12m between habitable rooms/balconies; and • 7.5m between habitable and non-habitable rooms and the boundary. 	The proposed internal and external modifications to the development meet the minimum visual privacy requirements or propose fixed louvres to achieve visual privacy with the exception of two (2) additional units proposed to level 5 on Building B with no visual privacy measures incorporated. A condition of consent has been recommended for privacy louvres/screens to be installed to the outer balcony walls facing the side property boundaries and solid walls of the internal elevation.	Conditions recommended.
3J – Bicycle and Car Parking	The car parking needs for the development must be provided off street. Parking facilities for motorbikes and bicycles As per RMS rates: 0.6 spaces x 1 bedroom unit: 0.6 x 16 = 9.6 spaces 0.9 spaces x 2 bedroom unit:	The proposal seeks a minor re-configuration of the on-site parking arrangements. A total of 76 spaces are proposed, exceeding the 70.2 spaces required. DACC012 of the parent consent is to be modified to ensure sufficient visitor and residential car parking spaces are provided.	Condition DACC012 to be modified.

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	<p>0.9 x 42 = 37.8 spaces</p> <p>1.4 spaces x 3 bedroom unit: 1.4 x 7 = 9.8 spaces</p> <p>1 space x 5 units (visitor parking) = 13 spaces</p> <p>TOTAL REQUIRED: 70.2 spaces</p>		
4A – Solar and Daylight Access	<p>Min. 70% (45.5 units) receives 2 hours solar access.</p> <p>Max. 15% units have no solar access Light wells, skylights and highlight windows are only to be a secondary source where sunlight is limited Design incorporates shading and glare control.</p>	<p>72.3% (47) of the total number of units in the development receive a minimum of 2 hours of solar access.</p> <p>Only one (1) out of the additional three (3) units proposed will not receive any solar access.</p>	Yes.
4B – Natural Ventilation	<p>Min. 60% units are cross ventilated</p>	<p>80% (52) of the units are cross ventilated.</p>	Yes
4C – Ceiling Heights	<p>Habitable: 2.7m Non-habitable: 2.4m 2 storey apartments: 2.7m main living area, 2.4m mezzanine Mixed Use: 3.3m ground floor.</p>	<p>All units are provided with a minimum of 2.7m ceiling heights to habitable rooms.</p>	Yes.
4D – Apartment Size and Layout	<p>1 bed: 50m² 2 bed: 70m² 3 bed: 90m² Additional bathrooms +5m² Each habitable room must have a window > 10% floor area of the room. If open plan layout =max 8m from a window Master bed: min 10m² Other bedroom: min 9m²</p> <p>Living room min. width: 1 bed: 3.6m 2 and 3 bed: 4m</p>	<p>All (65) units meet the minimum unit size requirements.</p> <p>All habitable rooms are provided with at least one (1) window.</p>	Yes
4E – Private Open Space and Balconies	<p>Studio: 4m² 1 bed: 8m², min depth 2m 2 bed: 10m², min depth 2m 3 bed: 12m², min depth 2.4m</p>	<p>All units are provided with a private open space area meeting the area and depth size requirements, except the balcony of unit A6.03 with a balcony depth of 2m contrary to the 2.4m depth required for a 3 bedroom unit.</p> <p>Accordingly a condition of consent has been recommended to ensure the balcony achieves the minimum</p>	To be conditioned.

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		depth requirement.	
4F – Common Circulation and Spaces	Max 8 apartments off a single core	No more than seven (7) apartments are accessed off a single core.	Yes.
4G – Storage	Studio: 4m ³ 1 bed: 6m ³ 2 bed: 8m ³ 3 bed: 10m ³ At least 50% within the basement	In accordance with the modified apartment mix, a total of 502m ³ residential storage space is to be provided, with at least 50% (251m ³) located in the basement. The proposed development is substantially short of this requirement, providing only 32m ² of residential storage space in the basement. To ensure adequate residential storage is provided a condition of consent has been recommended pertaining to the minimum requirements.	No. A condition of consent has been recommended to ensure the ADG requirements are achieved.
4H – Acoustic Privacy	Orientate building away from noise sources Party walls limited or insulated, like rooms together Noise sources (e.g. garage doors, driveways) located at least 3m from bedrooms	Condition DAOU026 of the original consent requires all of the recommendations contained in the approved Acoustic Assessment Report to be adopted and implemented.	Yes.
4K – Apartment Mix	Variety of apartment types Appropriate apartment mix Different apartments distributed throughout the building.	The proposal seeks to modify the apartment mix to the following: <ul style="list-style-type: none"> • (16) x 1 bedroom units; • (42) x 2 bedroom units; and • (7) x 3 bedroom units. The mix and its distribution are considered appropriate.	Yes.
4M – Facades	Composition of building elements. Defined base, middle and top Building services integrated into the façade	The proposal seeks to amend the approved schedule of colours and finishes. Specifically, the replacement of the aluminium composite panel, fibre cement and sandstone cladding with rendered masonry and stone cladding in a earth-like colour palette. The proposed amended colour palette is compatible with the surrounding streetscape. However, the replacement of the external finishes solely with rendered masonry will result in a monotone textual appearance and create a 'dated'	Yes. To be conditioned.

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		appearance. In keeping with the modern appearance of the approved and recently constructed development within the streetscape, a condition of consent has been recommended for the 'acrylic paint finish dulux tea house' and 'acrylic paint finish dulux lexicon half' is to be substituted with a cladding-like material.	
4N – Roof Design	Roof design integrated into the building	The fixed roof structure over the communal open spaces on the uppermost level of Building A and the roof form of Building B have been simplified. The proposed modification to the roof form will create an integrated and cohesive building form. Visual interest is achieved through the articulation of the building elements.	Yes.
4Q – Universal Design	Variety of adaptable apartments (20%) achieving Livable Housing Guideline's silver level universal design features	Under the original consent Condition DASP003 required a minimum of ten (10) units be designed to achieve compliance with the Livable Housing Guidelines. The Condition shall be amended from ten (10) to (13) to reflect the new apartment mix.	Yes, Condition DASP003 is to be amended.

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Strathfield Local Environmental Plan (SLEP) 2012

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl. 1.2(2)	Aims	Complies
(a)	To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield	Yes
(b)	To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development	Yes
(c)	To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community	Yes
(d)	To provide opportunities for economic growth that will enhance the local community	Yes
(e)	To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use	Yes
(f)	To identify and protect environmental and cultural heritage	Yes
(g)	To promote opportunities for social, cultural and community activities	Yes
(h)	To minimise risk to the community by identifying land subject to flooding and restricting incompatible development	Yes

Comments:

The proposed sixth storey to Building B is appropriately designed so as to align with the building envelope of the floor below thereby creating a cohesive building form. The proposed development as modified is considered appropriate for the site and will result in a built form that integrates well with the surrounding approved and recently constructed residential flat buildings in the streetscape. Overall the proposed modification application will result in a design that achieves the general aims of the SLEP 2012.

Permissibility

The site is zoned R4 High Density Residential, pursuant to SLEP 2012 residential flat building are permissible with consent. No change is proposed to the approved use of the site for the purpose of a residential flat building.

Zone Objectives

The proposed modifications to the internal and external layout of the residential units, apartment mix and an additional level to Building B are consistent with the objectives of the R4 High Density Residential zone, providing for the housing needs of the community.

Part 4: Principal development standards

The modification application seeks to amend the approved height and floor space ratio of the residential flat building as follows:

Height of building

Cl.	Standard	Controls	Approved	Proposed	Complies
4.3A	Exception to height of building (Parramatta Road Corridor)	29m	28.67m	Unchanged	Yes

	Objectives	Complies
(a)	To ensure that development is of a height that is generally compatible with or	Yes

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	<i>which improves the appearance of the existing area</i>	
(b)	<i>To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area</i>	Yes
(c)	<i>To achieve a diversity of small and large development options.</i>	Yes

Comments:

The modification application does not seek any change to the compliant maximum building height of the development, rather the construction additional level (sixth storey) to Building B fronting Loftus Lane. The additional level has adopted the recessed side setbacks and main building line of the floor below (fifth storey). Doing so results in an additional storey that will integrate well with the approved building form, both in regards to Building B and the development overall. Whilst the additional level will be visible from Loftus Lane, the compatibility of the building height of the development is unchanged from the original consent.

Floor space ratio

Cl.	Standard	Controls	Proposed	Complies
4.4A	<i>Exception to floor space ratio (Parramatta Road Corridor)</i>	2:1 (4,338.2m ²)	2.22:1 (4,816.34m ²)	No

	Objectives	Complies
(a)	<i>To ensure that dwellings are in keeping with the built form character of the local area</i>	Yes
(b)	<i>To provide consistency in the bulk and scale of new dwellings in residential areas</i>	Yes
(c)	<i>To minimise the impact of new development on the amenity of adjoining properties</i>	Yes
(d)	<i>To minimise the impact of development on heritage conservation areas and heritage items</i>	N/A
(f)	<i>In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor</i>	Yes

Comments:

The proposal seeks to amend the internal and external configuration of the approved residential flat building including an additional one (1) level to Building B comprising of two (2) two units and an additional one (1) unit to Building A. The proposed modifications increase the gross floor area by 478.14m² and FSR of the development to 2.22:1 resulting in an 11% variation to the 2:1 FSR standard under Clause 4.3A Exception to Floor Space Ratio (Parramatta Road Corridor).

The FSR under the Clause 4.3A and not Clause 4.3 are applicable to developments that have achieved the consolidation of lots as per the Key Site Map (Map #68, 37-39 Loftus Crescent).

As the application seeks a variation to a development standard, Clause 4.6 of the SLEP 2012 applies, however the application has been made under Section 4.55 of the EP&A Act 1979, which is a free standing provision which in itself authorises the development to be approved notwithstanding any breach of development standards. Nonetheless, the applicant submitted a Clause 4.6 variation statement and the merits of the departure have been assessed in regards to the objectives of the FSR development standard below:

- The proposed increase in floor area is primarily through the additional storey to Building B fronting Loftus Lane. Whilst the additional storey will be visible from the public domain, it replicates the footprint of the storey below resulting in a combined side setback of 8.87m, 30.63% of the Loftus Lane street frontage creating an integrated and appropriately massed building form.
- Visually the bulk and scale of the development from the public domain is softened by the

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proposed amendments. The schedule of colours and external finishes and the simplification of the roof forms of both Buildings (see Figures 1 and 2) alleviate the appearance of the additional floor area.

- The replacement of aluminium cladding and fibre cement with painted rendered masonry creates a more natural appearance. Notwithstanding, a condition has been recommended for the Tea House painted component of the development to substituted with a cladding-like material to achieve a modern but subtle architectural form.
- The proposed FSR of 2.22:1 is considered minor variation to the maximum permissible FSR of 2.2:1 for the subject site under the Parramatta Road Corridor Urban Transformation Strategy.

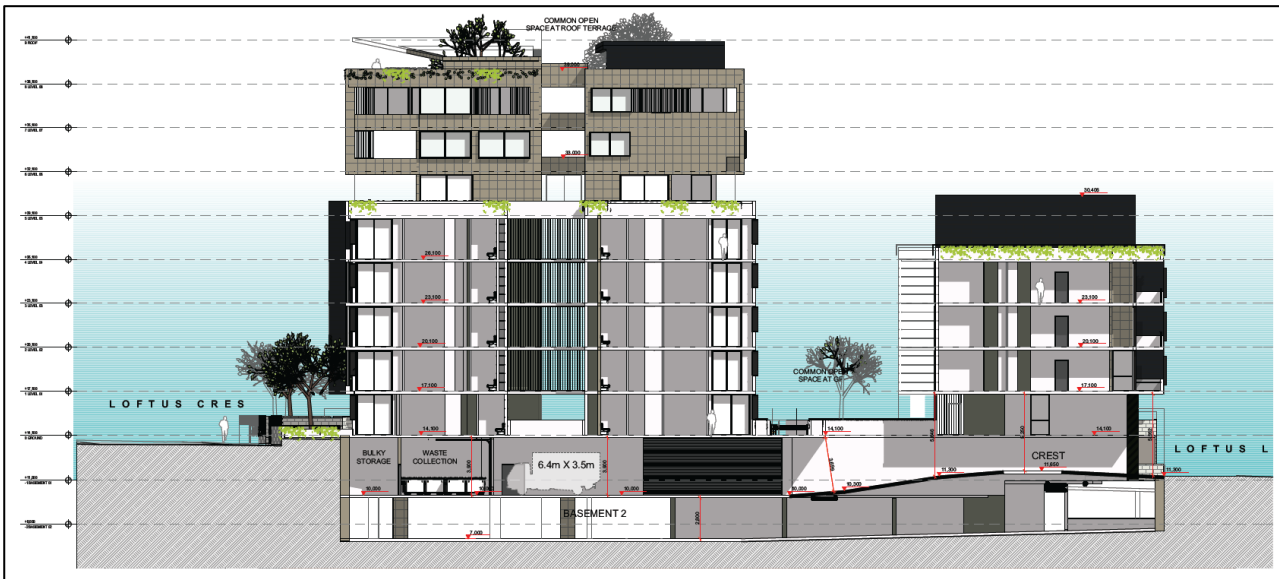


Figure 1: Section plan of the development as approved.

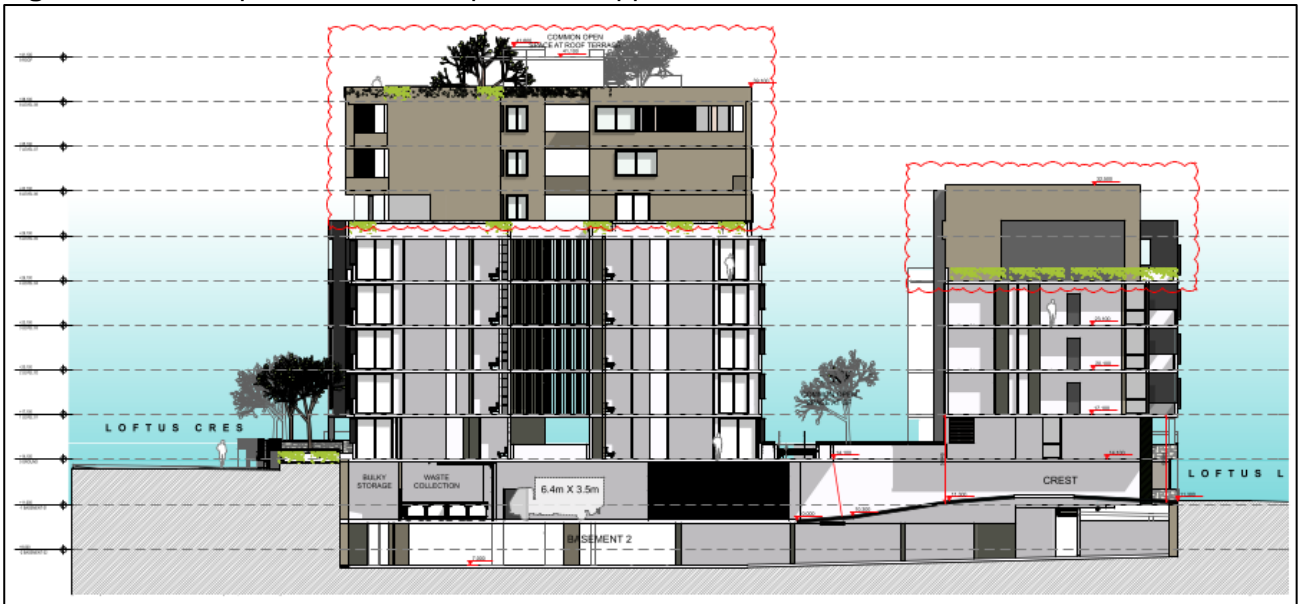


Figure 2: Section of the development as proposed under the subject modification application.

Part 5: Miscellaneous Provisions

The proposed modifications have been considered in accordance with the development standards contained in Part 5 of the *SLEP 2012* and are considered to satisfy the provisions of the Part.

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Part 6: Local Provisions

6.9 Additional provisions for development in Parramatta Road Corridor

The subject site forms a Key Site within the Parramatta Road Corridor with the subject modification application achieving an appropriate development outcome that aligns with the future character of the locality. The development provides for the housing needs of the community in the location within close proximity to Homebush Railway Station, Parramatta Road, the Sydney Markets, schools and local services.

4.15(1)(a)(ii) any draft environmental planning instruments

The Draft Strathfield Development Control Plan – Parramatta Road Precinct was on public exhibition from 8 May 2018 to 15 June 2018. The proposed Draft DCP states that the document is to be read in conjunction with the Strathfield Local Environmental Plan 2012 and the Parramatta Road Urban Transformation Strategy.

Section 8: Key Urban Design Principles for the Homebush Central Precinct

Principle	Objective	Proposed
Design Excellence	<p>Create a sustainable and liveable precinct for people through the integration of design excellence.</p> <p>Development is distinctive, visually interesting and appealing.</p> <p>Designs of buildings encompass context and built form, landscaping and connection with the public domain.</p> <p>Universal design and accessibility is championed within the Precinct.</p> <p>Buildings achieve a high standard of design excellence and public domain.</p>	<p>The proposal seeks to modify the external finishes of the approved development from aluminium composite panel and fibre cement to rendered masonry. The proposed modification is not in keeping with the modern finishes and architectural features incorporated in the approved adjoining residential flat buildings. The proposed simplification of the roof forms of Buildings A and B in conjunction with the external finishes amendments will create a textually monotone and dated building appearance. Accordingly a condition of consent has been recommended for the acrylic paint finish Dulux tea house and lexicon half components of the development are finished in a cladding-like material.</p> <p>The proposed additional units are appropriately orientated to the public domain whilst achieving adequate solar access.</p> <p>In accordance with Objective 4Q-1 of the ADG, Condition No. DASP003 is to be amended to ensure a minimum of 20% (13) of the units are designed to achieve compliance with the Universal Design standards.</p>
Land Use	<p>Provide for a diverse mix of residential accommodation to suit the needs of the future population.</p>	<p>The application proposes the following apartment mix:</p> <ul style="list-style-type: none"> • 16 x 1 bedroom units; • 42 x 2 bedroom units; and • 7 x 3 bedroom units. <p>The mix is considered appropriate and is consistent with the R4 High Density Residential zoning of the site.</p>

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Principle	Objective	Proposed
Street Frontage	<p>Address the street with a six storey podium to ensure a comfortable human scale.</p> <p>Design the public domain in accordance with Council's specification to provide an attractive destination to residents and visitors to the Precinct.</p>	<p>The development as approved presents to the Loftus Lane public domain as a five (5) storey podium with a modulated sixth storey.</p> <p>The proposal seeks to add an additional storey to Building B replicating the recessed building envelope of the level below achieving a comfortable human scale.</p>
Built Form	<p>Provide quality built form outcomes.</p> <p>Provide good residential amenity in terms of privacy and built form by complying with the SEPP 65 Apartment Design Guide.</p> <p>Introduce breaks in the building massing at upper levels to reduce the building's apparent scale.</p> <p>Buildings should incorporate interesting roof forms and the visual intrusiveness of service elements such as service plant, electrical substations, lift over-runs and the like shall be minimised by integrating them into the</p> <p>Facades must be articulated and employ materials and finishes to enhance and complement the character of the streetscape.</p>	<p>The proposed modifications achieve compliance with the solar access, natural cross ventilation and visual privacy minimum requirements of the ADG.</p> <p>As previously stated, the proposed additional level to Building B has reduced side setback and an articulated Loftus Lane building form to reduce the visual massing of the building when viewed from the public domain.</p> <p>The proposal seeks to simplify the roof structures of both Buildings as approved under the original consent, thereby softening the overall built form. The building façade has incorporated articulated elements and a mixture of colours to maintain the visual interest of the development.</p>
Public Domain	<p>Public space is formed primarily by consistent building alignment.</p> <p>Buildings are consistently aligned and address the public domain with major facades creating good spatial definition of streets and parks.</p> <p>Well defined streets and parks assist in creating a sense of place, and in helping pedestrians in orientating themselves around the precinct.</p> <p>Increase the quantum of public space in the precinct, to cater for the needs of an increased population.</p> <p>Provide better connections of facilities and between streets, to make a walkable Precinct.</p> <p>Reduce the effects of urban heat island through increase canopy cover.</p>	<p>The proposal does not seek to alter the front setbacks of either of the Building structures as approved under the original consent.</p>

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Specific Setback Controls

12.1 Loftus Crescent

Objectives	Complies
(a) <i>Built form is to create a strong edge to the urban core.</i>	Yes
(b) <i>Taller built form should be setback from the street with generous side setbacks to retain views of the sky between higher buildings.</i>	Yes

Setbacks to Loftus Crescent:

Element	Required	Proposed	Compliance
Setbacks: Levels 2-6	4m setback from the property boundary.	No amendments to the front setback to Loftus Crescent are proposed under the subject application.	N/A
Setbacks: Levels 7 and above	12m setback from the property boundary.	No amendments to the front setback to Loftus Crescent are proposed under the subject application.	N/A
Setbacks: Other	The maximum street wall height from the ground floor (Level 1) is 20m. The balcony zone is to be within the setback zone. No encroachment is permitted within the building setback.	No amendments to the front setback to Loftus Crescent are proposed under the subject application.	N/A

12.2 Loftus Lane

Objectives	Complies
(a) <i>Retain Loftus Lane's primary role as a service access lane to provide access to the rear of properties fronting Parramatta Road.</i>	Yes
(b) <i>Developments on the southern side of Loftus Lane are to be setback to allow for the widening of the laneway.</i>	Yes
(c) <i>Loftus Lane is to provide for the secondary east/west movement of vehicles, bicycles and pedestrians.</i>	Yes

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Setbacks to Loftus Lane (Southern side of the Lane)

Element	Required	Proposed	Compliance
Setbacks: Levels 2-5	Nil setback taken from the 4.9m laneway dedication.	No changes to the front setbacks (nil) as approved under the original consent are proposed.	N/A
Setbacks: Levels 6 and above	8m setback taken from the laneway dedication.	The proposed additional level to Building B is to provide a nil front setback (including the balcony zone). However, the building opposite the site with direct frontage to Loftus Lane is only five storeys with a communal open space on the sixth floor. The adjoining property at 154-158 Parramatta Road remains undeveloped. Therefore, the proposed nil setback is considered appropriate.	Acceptable on merit.
Setbacks: Other	The maximum street wall height from the ground floor (Level 1) is 16. The balcony zone is to be within the setback zone. No encroachment is permitted within the building setback.	The wall height is 21.35m at its maximum as the site slopes towards the Lane. It is noted that the wall height also form the uppermost storey of Building B. The presentation of the development as two separate structures with the taller Building A setback 27.5m from the front setback (road widening setback) creates an appropriate building form from the Loftus Lane public domain.	No.

4.15(1)(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

Strathfield Development Control Plan No 20 – Parramatta Road Corridor Area

DCP – 20 is of relevance to the assessment of an application for a residential flat building within the Parramatta Road Corridor Area and as such applies to the subject modification application.

Clause 6A of SEPP 65 confirms that in the event of any inconsistency between the controls of the ADG and Council's Development Control Plan, the objectives, design criteria and design guidance set out in the ADG prevail.

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Section	Development Control	Required	Proposed	Compliance
2.3	Building Height	Proposal to conform to building height identified in figure 12, which requires max. 3 storeys.	Refer to previous discussion of building height under SLEP 2012	N/A
2.4	Minimum Unit Sizes	Proposal to comply to the following min. unit sizes: 1 bed – 70m ² 2 bed - 85m ² 3 bed - 100m ²	The unit sizes of the ADG prevail.	N/A
2.5	Roof Form	Provide an interesting skyline and enhance views from adjoining developments.	The proposed simplification of the roof forms of Buildings A and B visually softens the scale and bulk of the building from the streetscape.	Yes.
2.6	Façade Composition	To ensure that new development have well-articulated and harmonious built edges defining the public domain. To encourage materials used in new developments to be compatible with adjoining developments and the streetscape in terms of type, form and colour.	The additional level proposed to Building B is appropriately articulated and aligns with the side setbacks of the level below so as to integrate with the approved built form. The proposed amended colour palette is compatible with the surrounding streetscape. However, the replacement of the external finishes solely with rendered masonry will result in a monotone textual appearance and create a 'dated' appearance. In keeping with the modern appearance of the approved and recently constructed development within the streetscape, the proposed 'acrylic paint finish Dulux tea house' and 'acrylic paint finish Dulux lexicon half' is to be substituted with a cladding-like material.	Condition of consent has been recommended.
2.8	Visual and acoustic privacy	Visual privacy to be provided by separation or screening.	ADG prevails	N/A
		Main living areas oriented to the street or rear garden to prevent overlooking.	ADG prevails	N/A
		Casual surveillance maintained of public streets and spaces with at least one habitable room window facing that area.	Passive surveillance of the public domain is achieved primarily through balcony orientation to both Loftus Crescent and Loftus Lane.	Yes
2.9	Private Open Space	Common open space:	ADG prevails	N/A

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Section	Development Control	Required	Proposed	Compliance
		10% of site or 100m ² (whichever is greater); Min dimensions of 7m;		
	Balconies	Min requirements: <ul style="list-style-type: none"> • 12m² up to 2 bed; and • 15m² for 3 or more bed; Min. depth 2.0m; Located off living areas and with good solar access; and Balcony designed to provide visual privacy.	ADG prevails.	N/A
	Energy Efficiency	Achieve required BASIX rating.	BASIX satisfied.	Yes.
2.10	Solar Access	Main living and 50% of POS receive min. 3 hours solar access.	ADG prevails	N/A
		Min. 3 hours solar access maintained to habitable rooms and POS of adjoining development.	ADG prevails	N/A
2.12	Access for people with mobility disabilities	Car parking rates: 1 and 2 bed – 1 space 3 bed – 1.5 spaces required Visitor – 1 space per 5 units 15% of units designed to allow occupation by older people and people with disabilities.	ADG prevails	Yes.
			ADG prevails	Yes – subject to conditions.

PART H - WASTE MANAGEMENT (SCDCP 2005)

The proposed modification application does not seek any alterations to the on-site waste storage and collection arrangements as approved under the original consent.

4.15(1)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

(i) matters prescribed by the regulations

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Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Appropriate conditions are included on the original consent to ensure compliance with any relevant regulations.

(ii) any coastal zone management plan

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

The proposed development is located on a site that is affected by the existing 1 in 100 year flood event or is likely to be as a result of the planning benchmarks for sea level rise mentioned above. This modification application does not alter assessment of the original application against the relevant provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Floor Space Ratio and Streetscape Compatibility

The modification application seeks alterations and additions to an approved residential flat building including an additional storey to Building B, essentially changing the composition of the development from an eight (8) and five (5) storey residential flat building containing (62) units over two (2) levels of basement parking to an eight (8) storey and six (6) storey containing (65) units.

The proposal seeks to amend the internal and external configuration of the approved residential flat building including an additional one (1) level to Building B with a total of three (3) additional residential units across the development. The proposed modifications increase the FSR of the development to 2.22:1 resulting in an 11% variation to the development standard. The proposed additional gross floor area is primarily the result of an additional level to Building B fronting Loftus Lane. As discussed throughout this report, the level has replicated the floor below including the adequate side setbacks to integrate with the approved building form. The simplification of the roof form on both building structures softens the built form and perception of scale when viewed from the streetscape (as shown in Figures 3 and 4).

As the application was lodged under Section 4.55 of the *EP&A Act 1979*, Clause 4.6 of the *SLEP 2012* does not apply. Notwithstanding Clause 4.55(3) requires the consent authority in determining a modification application to take into consideration the matters under Section 4.15(1) and the reasons given by the consent authority for the grant of the consent that is sought to be modified.

The subject site is located within the Homebush Precinct of the Parramatta Road Corridor with a 2.2:1 FSR under the Parramatta Road Urban Transformation Strategy. It is noted that the Draft Parramatta Road Precinct Strathfield Development Control Plan states the following:

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“Consideration is to be given to the Parramatta Road Urban Transformation Strategy specifically in relation to the calculation of the maximum height and floor space ratio. In this regard, the provisions of Clause 4.3, 4.3A and 4.4A and 4.4A of the Strathfield LEP 2012 do not apply.”

The surrounding streetscape, including Loftus Lane and Loftus Crescent comprises of properties in various stages of transition with few dwelling houses remaining, existing medium density buildings (3-4 storeys), recently constructed and approved high density residential flat buildings reflecting differing building height and FSR standards permissible as sites located within Parramatta Road Corridor. A development consent for the construction of a part eight (8) and part five (5) residential flat building of the immediately eastern adjoining site at 33-36 Loftus Crescent had Deferred Commencement consent granted in 2016 but has now lapsed as the deferred commencement matters were not satisfied within the legislated timeframe. As no development approval currently exists on the site, development potential exists on the site and density to be increased under the Parramatta Road Urban Transformation Strategy.

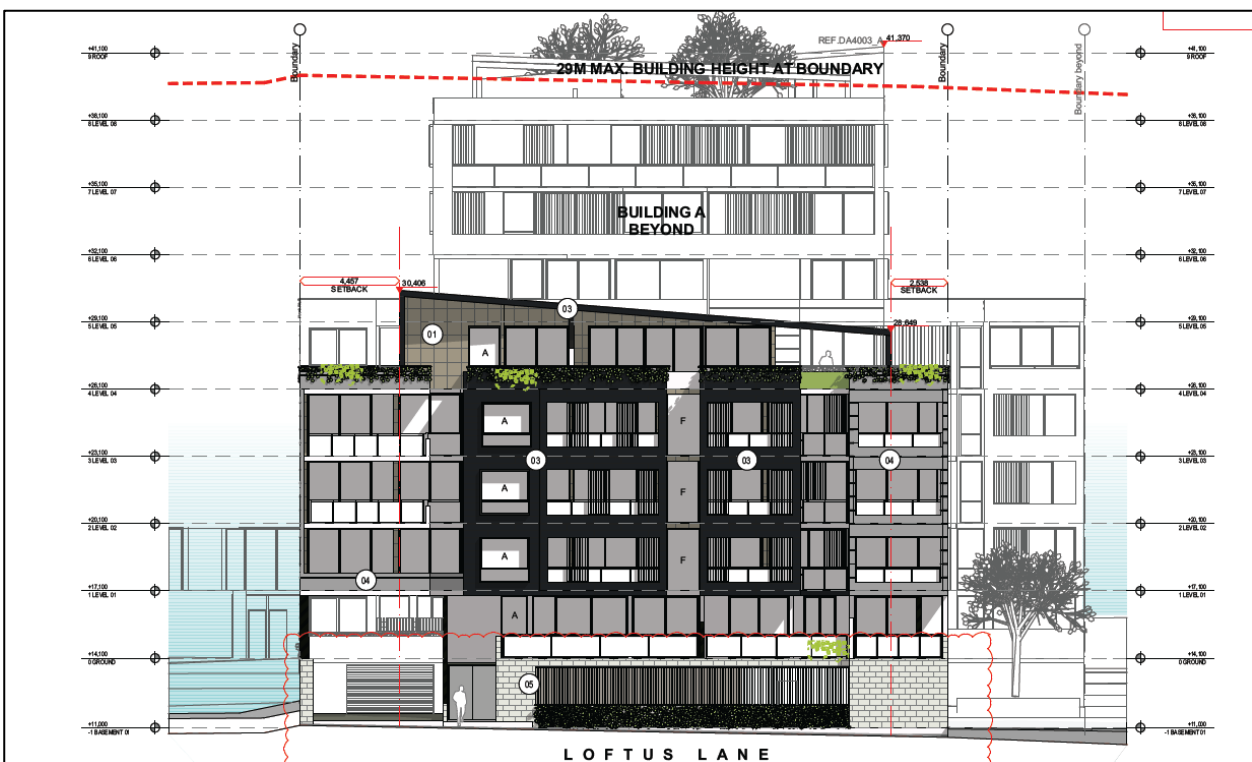


Figure 3: View of the development from Loftus Lane as approved under the original consent.

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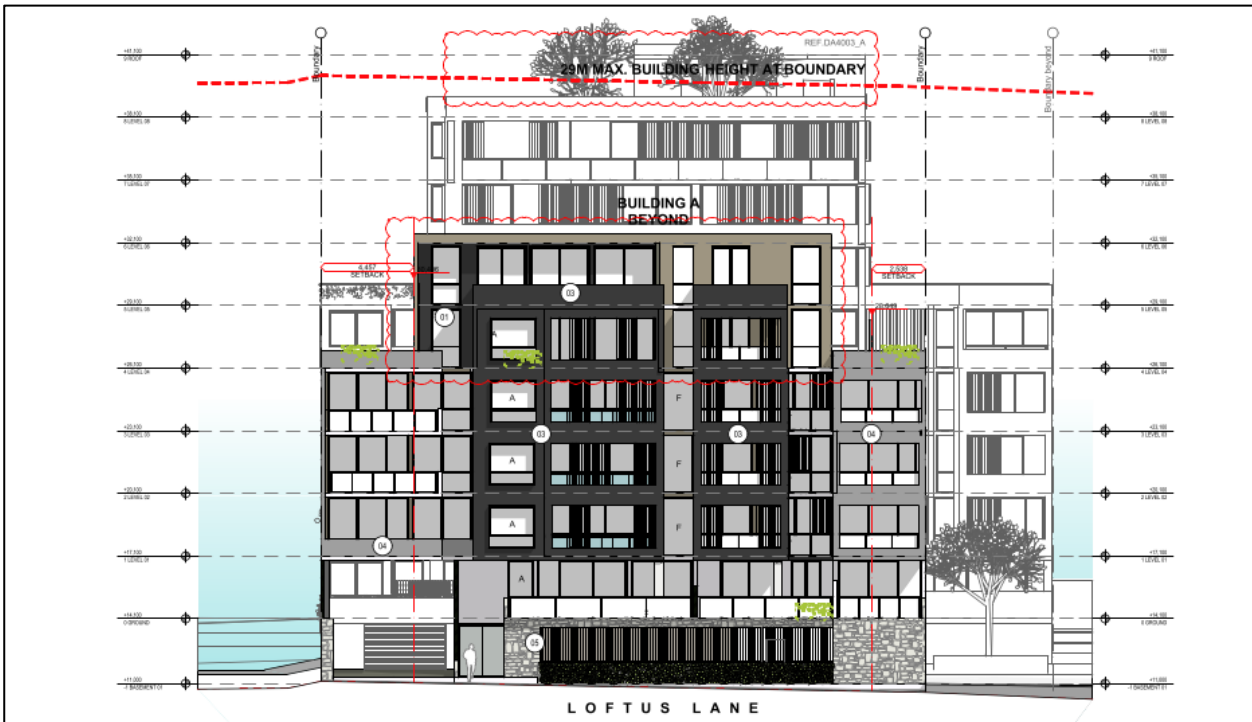


Figure 4: View of the development from Loftus Lane as proposed to be modified.

External Finishes

The application also seeks to amend the schedule of colours and external finishes approved under the original consent including the substitution of the aluminium composite panel and fibre cement with painted rendered masonry. As previously discussed, a rendered masonry external finish for the entire development is not consistent with the external finishes evident in existing and approved developments along Loftus Lane, being primarily cladding and exposed facebrick. Accordingly, a condition of consent has been recommended for the acrylic paint finish Dulux Tea House components of the development are finished in a cladding-like material.

Visual Privacy

To achieve visual privacy between residents, direct overlooking opportunities are to be minimised through appropriate building separation and the incorporation of screening devices. The balconies of the proposed additional units to level 5 Building B provide direct overlooking opportunities into each other’s balconies as well as the adjoining developments. As such a condition of consent is to be added for visual measures including solid walls and privacy louvres to be installed.

Storage

As previously discussed, the development is significantly short of the minimum residential storage requirements under 4G of the ADG. This non-compliance was commented on in the original SIHAP recommendation report stating,

“a condition of consent is required to ensure adequate storage space is provided according to the unit sizes”,

however no condition was imposed. Therefore a condition of consent has been recommended to be added as part of this application.

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4.15(1)(c) the suitability of the site for the development

The residential flat building as modified in the proposed application will result in a built form that is appropriate in form and scale achieving compatibility with the future character of the immediately surrounding streetscape and the wider Parramatta Road Corridor. The development is designed so as to provide good residential amenity in a location within close proximity to transport, employment, services and education establishments. Overall, the suitability of the development for the site as originally approved remains unchanged.

4.15(1)(d) any submissions made in accordance with this Act or the regulations

In accordance with Part L of the Strathfield Consolidated Development Control Plan 2005, the subject application was put on public notification from 15 May 2018 to 16 June 2018 with one (1) written submission received raising the following concerns:

1. Solar Access

Concern is raised that the proposed additional floor on the Loftus Lane frontage will further reduce the solar access of the neighbouring building.

Assessing Officer's Comment: The application was accompanied by amended shadow diagrams illustrating the shadows cast by the development as approved and proposed by the modification. Whilst the additional floor will slightly reduce the solar access of the adjoining eastern properties, the north-south orientation of the site enables adjoining properties to receive a minimum of 3 hours of solar access.

2. Wind Movement

Concern is raised that the additional height will influence the wind movement along Loftus Lane.

Assessing Officer's Comment: The application was accompanied by a site analysis plan demonstrating that winter and summer winds flow around the site with the side setbacks and adjoining properties dispersing large gusts of wind that may occur.

3. Loss of Views and Privacy

Concern is raised for the loss of privacy for the neighbouring building on the northern side of Loftus Lane.

Assessing Officer's Comment: The subject application has been assessed against the ADG, the Parramatta Road DCP and the Draft Parramatta Road DCP and is considered to be appropriately designed with conditions imposed to maintain the residential amenity of surrounding properties.

4. Loftus Lane Compatibility

The existing residential buildings on the north side of the Loftus Lane are all four storey buildings. The southern side of Loftus Lane should maintain the same approach so the building heights are appropriate for the street width.

Assessing Officer's Comment: The subject site and adjoining properties are located within the Parramatta Road Corridor, subsequently over the years the planning provisions pertaining to the zoning, building heights and FSR of the locality have transitioned from low to high density to cater for the growing housing needs of the Sydney population. A difference between building heights and scale is a reflection of the planning provisions at the time the development was approved.

5. Proposed Modification

Concern is raised as to the timing of the proposed modifications as the adjoining building 40-42 Loftus Crescent is also seeking additional floors.

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Assessing Officer's Comment:

The timing of when applications are lodged is not a matter considered under Section 4.15 of the EP&A Act 1979.

4.15(1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation. The approved development as modified by the current modification application is not contrary to the public interest.

SECTION 7.11 CONTRIBUTIONS

Section 7.11 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Act reads as follows:

- “(1) If a consent authority is satisfied that development for which development consent is sought will or is likely to require the provision of or increase the demand for public amenities and public services within the area, the consent authority may grant the development consent subject to a condition requiring:*
- (a) the dedication of land free of cost, or*
 - (b) the payment of a monetary contribution, or both.*
- (2) A condition referred to in subsection (1) may be imposed only to require a reasonable dedication or contribution for the provision, extension or augmentation of the public amenities and public services concerned.”*

Provision of Community Facilities	\$130,686.90
Provision of Major Open Space	\$594,586.28
Provision of Local Open Space	\$387,678.39
Provision Roads and Traffic Management	\$39,800.48
Administration	\$11,268.81
TOTAL	\$1,104,020.86

CONCLUSION

The application has been assessed having regard to the provisions of Section 4.15 and 4.55 of the Environmental Planning and Assessment Act 1979, SEPP 65, Strathfield Local Environmental Plan 2012, Strathfield Development Control Plan 2005, Draft Parramatta Road Precinct DCP and is considered to be satisfactory. Pursuant to Section 4.55 of the EP&A Act 1979, the development as proposed to be modified by the subject application meets the 'substantially the same' test and is considered to be consistent with the reasons given for the granting of the original development consent.

Overall, the development as proposed to be modified will result in a residential flat building presenting an overall bulk, height and scale which is compatible with the envisage future of the surrounding locality and wider Parramatta Road Corridor.

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RECOMMENDATION

Pursuant to Section 4.55(2) of the Environmental Planning and Assessment Act 1979, the proposed modification(s) to Development Consent No. 2017/033 involving the construction of an additional storey to Building B, an additional three (3) residential units, minor reconfigurations of unit layouts and lift an amended schedule of colours and external finishes at 37-39 Loftus Crescent, Homebush be **APPROVED**, subject to:

1. The original conditions of consent of Development Application No. 2017/033 as granted deferred commencement by SIHAP on 1 June 2017 for the demolition of existing structures and construction of a part (7) storey and part (5) storey residential flat building containing (62) units above two (2) levels of basement car parking.
2. As modified by the satisfaction of deferred commencement matters under delegated authority on 5 October 2017.
3. As modified by the Section 96(1) application (DA2017/033/01) approved under delegated authority on 27 October 2017 to correct a misdescription on the Notice of Determination of the approved development.
4. As modified by the Section 96(1A) application (DA2017/033/02) approved by IDAP on 8 November 2017 involving modifications to the stormwater design and correct a misdescription on the Notice of Determination of the approved development.
5. As modified by the Section 4.55(2) application (DA2017/033/03) to construct an additional storey to Building B, an additional three (3) residential units, minor reconfigurations of unit layouts and lift an amended schedule of colours and external finishes involving:
 - Amendment to DAGC001 Approved Plans and Refer Documentation;
 - Amendment to Special Condition DASP003 Adaptable Units;
 - Amendment to DACC012 Car Parking;
 - Amendment to DAGC023 Materials (Schedule of External Materials, Finishes and Colours
 - Amendment to DACC019 Section 7.11 Contributions
 - Addition of Special Condition DASP007 Residential Storage;
 - Addition of Special Condition DASP008 Visual Privacy Measures; and

The conditions that have been modified as part of this application are highlighted in red.

Accordingly, Development Consent No. 2017/033 is approved as follows:

Development Description:

Demolition of existing structures and construction of a (8) storey and (6) storey residential flat building containing (65) units above two (2) levels of basement car parking.

Accordingly DA2017/033 shall read as follows:

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Special Conditions (DASC)

DASP001 CLOTHES-DRYING FACILITY

Prior to the issue of a Construction Certificate, amended plans shall be prepared which provide a communal clothes-drying facility in a suitable location behind the front building line.

(Improve residential amenity)

DASP002 BULKY WASTE STORAGE ROOM

Prior to the issue of any Occupation Certificate a bulky waste storage room of 32m² needs to be incorporated into the plans in accordance with the requirements PART H 'Waste Minimisation and Management' of the Strathfield Consolidated Development Control Plan 2005.

(Ensure compliance with Council's waste management requirements)

DASP003 ADAPTABLE UNITS

A minimum of (13) units shall be designed to achieve compliance with the Livable Housing Guideline's silver level universal design features. Details demonstrating this shall be submitted to the Principal Certifying Authority for approval **prior to the issue of a Construction Certificate**.

(Ensure compliance with the Apartment Design Guide – Objective 4Q1)

DASP004 APARTMENT SIZE AND LAYOUT

The bedroom pertaining to unit AG.01 shall be installed with a northern-orientated window providing either with fixed privacy screening or obscure glazing to minimise opportunities for overlooking from the common walkway adjoining the bedroom.

(Ensure compliance with the Apartment Design Guide – Objective 4D-1)

DASP005 TREE PROTECTION

To protect existing trees, masonry fence piers must be setback a minimum 3 metre radius from the *Tristanopsis laurina* within Council's nature strip on Loftus Crescent and all masonry walling between the piers within this zone must be supported on concrete beams (not strip footings).

(Tree protection)

DASP006 SYDNEY TRAINS CONCURRENCE CONDITIONS

- If required by Sydney Trains, prior to the commencement of works, prior to the issue of the Occupation Certificate, or at any time during the excavation and construction period deemed necessary by Sydney Trains, a joint inspection of the rail infrastructure and property in the vicinity of the project is to be carried out by representatives from Sydney Trains and the Applicant. The dilapidation surveys will establish the extent of any existing damage and enable any deterioration during construction to be observed. The submission of a detailed dilapidation report will be required unless otherwise notified by Sydney Trains.
- An acoustic assessment is to be submitted to Council prior to the issue of a construction certificate demonstrating how the proposed development will comply with the Department of Planning's document titled "Development Near Rail Corridor and Busy Roads – Interim

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Guidelines”.

- Prior to the issue of a Construction Certificate the Applicant is to engage an Electrolysis Expert to prepare a report on the Electrolysis Risk to the development from stray currents. The Applicant must incorporate in the development all the measures recommended in the report to control that risk. A copy of the report is to be provided to the Principal Certifying Authority with the application for a Construction Certificate.
- The design, installation and use of lights, signs and reflective materials, whether permanent or temporary, which are (or from which reflected light might be) visible from the rail corridor must limit glare and reflectivity to the satisfaction of Sydney Trains. The Principal Certifying Authority is not to issue the Construction Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.
- If required by Sydney Trains, prior to the issue of a Construction Certificate a Risk Assessment/Management Plan and detailed Safe Work Method Statements (SWMS) for the proposed works are to be submitted to Sydney Trains for review and comment on the impacts on rail corridor. The Principal Certifying Authority is not to issue the Construction Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.
- If required by Sydney Trains, a track monitoring plan (including instrumentation and the monitoring regime during excavation and construction phase) is to be submitted to Sydney Trains for review and endorsement prior to the issuing of a Construction Certificate. The Principal Certifying Authority is not to issue a Construction Certificate until written confirmation has been received from Sydney Trains advising of the need to undertake the track monitoring plan, and is required, that it has been endorsed.
- Unless advised by Sydney Trains in writing, all excavation, shoring and piling works within 25m of the rail corridor are to be supervised by a geotechnical engineer experienced with such excavation projects.
- No rock anchors/bolts are to be installed into Sydney Trains property or easements.
- Prior to the issuing of an Occupation Certificate the Applicant is to submit as-built drawings to Sydney Trains and Council. The as-built drawings are to be endorsed by a Registered Surveyor confirming that there has been no encroachment into Sydney Trains property or easements, unless agreed to be these authorities. The Principal Certifying Authority is not to issue the final Occupation Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.
- If required by Sydney Trains, prior to the issue of a Construction Certificate the Applicant is to contact Sydney Trains Rail Corridor Management group to determine the need for public liability insurance cover. If insurance cover is deemed necessary this insurance be for sum as determined by Sydney Trains and shall not contain any exclusion in relation to works on or near the rail corridor, rail infrastructure. The Applicant is to contact Sydney Trains Rail Corridor Management Group to obtain the level of insurance required for this particular proposal. Prior to issuing the Construction Certificate the Principal Certifying Authority must witness written proof of this insurance in conjunction with Sydney Trains written advice to the Applicant on the level of insurance required.
- If required by Sydney Trains, prior to the issue of a Construction Certificate the Applicant is to contact Sydney Trains Rail Corridor Management Group to determine the need for the lodgement of a Bond or Bank Guarantee for the duration of the works. The Bond/Bank Guarantee shall be for the sum determined by Sydney Trains. Prior to the issuing of the

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Construction Certificate the Principal Certifying Authority must witness written advice from Sydney Trains confirming the lodgement of this Bond/Bank Guarantee.

- Sydney Trains or Transport for NSW (TNSW), and persons authorised by those entities for the purpose of this condition, are entitled to inspect the site of the development and all structures to enable it to consider whether those structures have been or are being constructed and maintained in accordance with the approved plans and these conditions of consent, on giving reasonable notice to the principal contractor for the development or the owner or occupier of the part of the site to which access is sought.
- Prior to the issuing of a Construction Certificate the Applicant is to submit to Sydney Trains a plan showing all craneage and other aerial operations for the development and must comply with all Sydney Trains requirements. If required by Sydney Trains, the Applicant must amend the plan showing all craneage and other aerial operations to comply with all Sydney Trains requirements. The Principal Certifying Authority is not to issue the Construction Certificate until written confirmation has been received from the Sydney Trains confirming that this condition has been satisfied.
- Sydney Trains advises they have a 33kV H/V aerial transmission line near to this site and any works, scaffolding and crane movements within 6 metres of the nearest transmission line conductor must be discussed and approved by Sydney Trains beforehand.
- In addition, all works within 6m of the nearest transmission line conductor must comply with:
 - ISSC 20 – Guidelines for the Management of Activities within Electricity Easements and Close to Electricity Infrastructure
 - The Safe Approach Distances (SADs) in the Sydney Trains Document titled “SMS-06-GD-0268 – Working Around Electrical Equipment”.
- Copies of any certificates, drawings, approvals/certification or documents endorsed by, given to or issued by Sydney Trains must be submitted to Council for its records prior to the issuing of a Construction Certificate.
- Any conditions issued as part of Sydney Trains approval/certification of any documentation for compliance with the Sydney Trains conditions of consent, those approval/certification conditions will also form part of the consent conditions that the Applicant is required to comply with.

(Achieve compliance with Clause 86(1) of the Infrastructure SEPP 2007)

DASP007 RESIDENTIAL STORAGE

Purpose built storage compartment(s) shall be provided within each of the resident car parking bays and/or associated dwellings at the following rates:

- 6m³ for each one (1) bedroom unit
- 8m³ for each two (2) bedroom unit, and
- 10m³ for each unit with three (3) bedrooms or more.

In order to deter theft, the security compartments shall be designed in a manner to conceal from view and secure their contents i.e. through the use of dense, solid material and a shroud covered padlock (or similar).

Amended plans showing the location and configuration of each of storage compartments shall be submitted to an approved by the Principal Certifying Authority **prior to the issue of the Construction Certificate.**

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DASP008 VISUAL PRIVACY MEASURES

The eastern and western elevations of balconies B5.01 and B5.02 are to be installed with fixed privacy louvres to minimise direct overlooking opportunities.

Amended plans demonstrating compliance with the above shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of the Construction Certificate.**

(Reason: Visual Privacy)

General Conditions (DAGC)

DAGC001 APPROVED PLANS AND REFERENCE DOCUMENTATION

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Drawings affixed with Council's 'Development Consent' stamp relating to Development Consent No. 2017/033:

Drawing No.	Title/Description	Prepared By	Issue/ Revision & Date	Date Received by Council
DA1002	Site/Roof Plan	Urbanlink	H	24 April 2018
DA2001	Floor Plans – Basement 01	Urbanlink	H	24 April 2018
DA2001	Floor Plans – Basement 02	Urbanlink	H	24 April 2018
DA2002	Ground Floor Plans	Urbanlink	H	24 April 2018
DA2004	Level 1-3 Floor Plans	Urbanlink	H	24 April 2018
DA2005	Level 4 Floor Plans	Urbanlink	H	24 April 2018
DA2006	Level 5 Floor Plans	Urbanlink	H	24 April 2018
DA2007	Level 6 Floor Plans	Urbanlink	H	24 April 2018
DA2008	Level 7 Floor Plans	Urbanlink	H	24 April 2018
DA2009	Level 8 Rooftop Floor Plans	Urbanlink	H	24 April 2018
DA3001	Elevation Plans	Urbanlink	H	24 April 2018
DA3002	Elevation Plans	Urbanlink	H	24 April 2018
DA3003	Elevation Plans East/West	Urbanlink	H	24 April 2018
DA3101	Streetscape Loftus Lane & Crescent	Urbanlink	H	24 April 2018
DA4001_B	Section AA Plans	Urbanlink	H	24 April 2018
DA4002_B	Section BB Plans	Urbanlink	H	24 April 2018
DA4003_B	Section CC Plans	Urbanlink	H	24 April 2018
DA4004_B	Section DD Plans	Urbanlink	H	24 April 2018
URBL001 Page 1 to 5	Landscape Plans	DenisChan Landscape Architect	B	3 April 2017
16MB7311/D01 Sheet 1 of 5	Site and Roof Drainage Plan	United Consulting Engineers	B	4 May 2017
16MB7311/D02 Sheet 2 of 5	Ground Floor Drainage Plan	United Consulting Engineers	B	4 May 2017
16MB7311/D03	Basement 1 Drainage Plan	United	B	4 May 2017

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Sheet 3 of 5		Consulting Engineers		
16MB7311/D04 Sheet 4 of 5	Basement 2 Drainage Plan	United Consulting Engineers	B	4 May 2017
16MB7311/D05 Sheet 5 of 5	Drainage Details	United Consulting Engineers	B	4 May 2017
17SYT0017-SK1D	Swept Path Analysis	TTM Consulting Pty Ltd	A	3 April 2017

Development Consent No. 2017/033:

Title / Description	Prepared By	Issue/ Revision & Date	Date Received by Council
Access Compliance Report	Vista Access Architects	A	3 March 2017
Acoustic Report	Acoustic Logic	1	3 March 2017
BASIX Certificate	-	Number:799802M_2 issued 17 April 2018	24 April 2018
Preliminary Site Investigation Report	Benviron Group	0	3 March 2017
Geotechnical Report	Benviron Group	0	3 March 2017
Survey Plan	Sydney Registered Architects	B	3 March 2017
Overland Flow Impact Report	Alpha Engineering	A	24 April 2017
Traffic Assessment Report	TTM	0	3 March 2017
Waste Management Plan	Urbanlink	B	4 May 2017
Quantity Surveyor Report	MMD Construction Consultants	1	3 March 2017

In the event of any inconsistency between the approved plans and supplementary documentation, the plans will prevail. However, the conditions of this consent shall prevail to the extent of any inconsistency.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council)

DAGC005 BUILDING HEIGHT (MAXIMUM RL TO BE COMPLIED WITH)

The height of the building measured to Australian Height Datum (AHD) must not exceed Relative Level (RL) 41.800m AHD to the roof ridge of Building A.

(Reason: To ensure the approved building height is complied with)

DAGC007 CONSTRUCTION HOURS

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

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No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/ rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners)

DAGC008 CONSTRUCTION WITHIN BOUNDARIES

The development including but not limited to footings, walls, roof barges and guttering must be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

(Reason: Approved works are to be contained wholly within the subject site).

DAGC009 DEMOLITION (GENERALLY)

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development)

DAGC011 DEMOLITION (SITE SAFETY FENCING)

Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding along the street frontage(s) complying with WorkCover requirements must be obtained including:

- payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges before the commencement of work; and
- provision of a Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council.

(Reasons: Statutory requirement and health and safety)

DAGC017 LANDSCAPING (IRRIGATION OF COMMON AND PRIVATE LANDSCAPE AREAS)

All common and private landscape areas including all planters of new multi-unit, commercial, mixed-use and industrial development are to have full coverage by a fully automatic irrigation system. The design, materials and installation are to be in accordance with Sydney Water Codes and satisfy all relevant Australian Standards. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior occupation of the premises.

(Reason: To ensure appropriate landscape maintenance)

DAGC018A LANDSCAPING (TREES TO BE RETAINED)

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The trees listed below shall be retained at all times:

<u>Tree</u>	<u>Height/ Spread (m)</u>	<u>Location</u>	<u>Protection Zone (m)</u>	<u>Structural Root Zone (m)</u>
1) Tristaniopsis laurina (Water Gum)	5m x 3m	Nature strip	4.2m	2.37m
2) Tristaniopsis laurina (Water Gum)	5m x 3m	Nature strip	4.2m	2.37m
3) Tristaniopsis laurina (Water Gum)	5m x 3m	Nature strip	4.2m	2.37m

and protected by the establishment of a **protection zone** (in accordance with Australian Standard AS4970-*Protection of trees on development sites*) before any site works begin (including any demolition/excavation). The protection zone shall be maintained for the duration of works and implemented as follows:

- (a) A minimum 1.8m high barrier (Chain wire mesh panels, plywood or wooden paling fence panels: refer to AS4687-*Temporary fencing and hoardings* for fencing requirements) shall be erected around the perimeter of the stated Protection Zone as measured from the base of the tree (or where practical). Shade cloth or similar should be attached to reduce the transport of dust, other particulate matter and liquids into the protected area. Fence posts and supports should have a diameter greater than 20mm and be located clear of roots. The barrier shall be constructed so as to prevent pedestrian and vehicular entry into the protection zone. The barrier shall not project beyond the kerb onto the roadway or any adjacent footpath.
- (b) Signs identifying the Protection Zone should be installed on the fencing and be visible from within the development site. Lettering should comply with AS4970-2009: *Protection of Trees on Development Sites*.
- (c) No concrete slurry or wash, building materials, builders' rubble, excavation soil or similar shall be placed or stored within the tree protection zone.
- (d) The whole of the tree protection zone shall be mulched to a minimum depth of 75mm.
- (e) The tree protection zone shall be regularly watered.
- (f) Any major structural roots which are encountered shall be pruned by a qualified Arborist.
- (g) **No excavation or construction shall be carried out** within the stated *Structural Root Zone* distances from the base of the trunk surface.
- (h) Only permeable surfaces (e.g. decomposed granite, gravel, turfpave, permeable paving systems or soft landscaping) are permitted within the canopy spread of the trees to be protected.

(Reason: To ensure appropriate planting back onto the site)

DAGC019 LANDSCAPING (TREE PRESERVATION)

All street trees and trees on private property that are protected under Council's controls, shall be retained except where Council's prior written consent has been obtained. The felling, lopping, topping, ringbarking, wilful destruction or removal of any tree/s unless in conformity with this approval or subsequent approval is prohibited.

General maintenance of Council's nature strip adjoining the development site, including regular lawn mowing, edging, irrigation of the lawn and street trees and restricting the storage of materials, rubbish and parking or driving of vehicles on the nature strip, must be carried out during the full period of all approved works (including any demolition and excavation). All noxious weeds on the

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site shall be removed and destroyed as per their classification under the Noxious Weeds Act.

All healthy trees and shrubs identified for retention on the approved drawings are to be suitably protected in accordance with Australian Standard AS4970 – Protection of Trees on Development Sites, prior to the commencement of any works (including any demolition and excavation) and maintained for the duration of the works.

DAGC022 MATERIALS (EXTERNAL MATERIALS AND REFLECTIVITY)

All external materials and finishes including windows and doors and roofing materials must be of low glare and reflectivity. Details of finished external surface materials, including colours and texture must be provided to the Principal Certifying Authority.

(To minimise excessive glare and reflectivity)

DAGC023 MATERIALS (SCHEDULE OF EXTERNAL MATERIALS, FINISHES AND COLOURS)

The submitted schedule of colours and finishes is to be amended as follows:

- i) The paint finish dulux Tea House (3) and paint finish dulux Lexicon Half (2) is to be replaced with a cladding-like material in a matching colour.

The amended plans are to be submitted and approved by the Principal Certifying Authority **prior to the issue of the Construction Certificate.**

(Reason: To ensure the external finishes are consistent with the streetscape.

DAGC024 PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN

Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

- (a) The Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;
- (b) The Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person.
- (c) The sign must state that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement)

DAGC027 SITE MANAGEMENT (DURING DEMOLITION AND CONSTRUCTION WORKS)

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- (a) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.
- (b) Demolition must be carried out by a registered demolition contractor.
- (c) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out.
- (d) No blasting is to be carried out at any time during construction of the building.
- (e) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- (f) Adjoining owner property rights and the need for owner's permission must be observed at

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- all times, including the entering onto land for the purpose of undertaking works.
- (g) Any demolition and excess construction materials are to be recycled wherever practicable.
 - (h) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
 - (i) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.
 - (j) All waste must be contained entirely within the site.
 - (k) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
 - (l) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
 - (m) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling.
 - (n) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
 - (o) Public footways and roadways adjacent to the site must be maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.
 - (p) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
 - (q) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
 - (r) Any work must not prohibit or divert any natural overland flow of water.
 - (s) Toilet facilities for employees must be provided in accordance with WorkCover NSW.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area)

DAGC028 STORMWATER MANAGEMENT PLAN (CERTIFICATION REQUIREMENT)

A detailed Stormwater Management Plan (SWMP) in line with Council's Stormwater Management Code is to be prepared and certified by a practicing Chartered Professional Engineer on the National Professional Engineer's Register (NPER) at Engineers Australia and submitted to the Principal Certifying Authority and Council, prior to the issue of a Construction Certificate. The SWMP is to be based on the approved development as modified by any conditions of consent.

(Reason: To ensure appropriate provision is made for the disposal and management of stormwater generated by the development, and to ensure public infrastructure in Council's care and control is not overloaded)

DAGC029 SYDNEY WATER (STAMPED PLANS PRIOR TO COMMENCEMENT)

The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. Plans will be

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appropriately stamped.

For Quick Check agent details please refer to the web site www.sydneywater.com.au (see Building Developing and Plumbing then Quick Check) or telephone 13 20 92. The consent authority or a Certifying Authority must ensure that a Quick Check agent/Sydney Water has stamped the plans before the commencement of work.

(Reason: Compliance with Sydney Water requirements)

DAGC030 UTILITIES AND SERVICES (PROTECTION OF)

- (a) Any footings or excavation to be located or undertaken adjacent to Council's stormwater must be designed to address the following requirements:
- (i) all footings and excavation must be located wholly within the site and clear of any easement boundaries,
 - (ii) all footings and excavation must be located a minimum of 1000mm from the centreline of the pipeline or 500mm from the outside of the pipeline, whichever is the greater distance from the centreline, and
 - (iii) footings must extend to at least the depth of the invert of the pipeline unless the footings are to be placed on competent bedrock.
- (b) If permanent excavation is proposed beneath the obvert of the pipeline, suitable means to protect the excavation and proposed retaining structures from seepage or other water flow from the pipeline and surrounding subsoil, must be provided. The design must be prepared by a qualified practicing Structural/Civil Engineer.
- (c) Construction plans must be approved by the appropriate utility's office (e.g. council, Sydney Water Corporation) to demonstrate that the development complies with the utility's requirements.
- (d) The applicant must provide written evidence (e.g. compliance certificate, formal advice) of compliance with the requirements of all relevant utility providers (e.g. Water, Energy, Telecommunications, Gas)

(Reason: To ensure protection of Council assets)

DAGC031 WASTE (NO BURNING AND BURYING OF MATERIALS OR RUBBISH)

No materials or rubbish resulting from the land clearing, demolition and building works must be burnt or buried on the site.

(Reason: Health and amenity)

DAGC032 WASTE (TRACKABLE)

Removal of trackable waste (as defined by the NSW Environment Protection Authority) from the site must comply with the Protection of the Environment Operations (Waste) Regulation 2005 for the transportation, treatment and disposal of waste materials. Waste materials must not be disposed on land without permission of the land owner and must with the provisions of the Protection of the Environment and Operations Act 1997.

Reason: To ensure compliance with legislation)

**Conditions to be satisfied prior to the issue of a Construction Certificate
(DACC)****DACC001 ACCESS (ACCESS FOR PEOPLE WITH DISABILITIES)**

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Access for people with disabilities must be provided in accordance with the requirements of the Building Code of Australia, relevant Australian Standards and with regard to the *Disability Discrimination Act 1992*. Prior to the issue of a Construction Certificate, plans shall be notated demonstrating compliance, and approved by the Principal Certifying Authority

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards)

DACC006 BASIX COMMITMENTS

The approved BASIX Certificate shall be submitted to the Principal Certifying Authority with the application for a Construction Certificate.

Where a change or changes are proposed in the BASIX commitments, the applicant must submit a new BASIX Certificate to the Principal Certifying Authority and Council. If any proposed change in the BASIX commitments is inconsistent with the development consent the applicant will be required to submit a modification to the development consent to Council under Section 96 of the Environmental Planning and Assessment Act 1979.

All commitments in the BASIX Certificate must be shown on the plans accompanying the Construction Certificate.

(Reason: Statutory compliance)

DACC009 BUILDING CODE OF AUSTRALIA (COMPLIANCE WITH)

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000)

DACC010 CAR PARKING (BASEMENT CAR PARKING REQUIREMENTS)

Details demonstrating compliance with the following is to be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate:

- 1) Minimal internal clearance of the basement is 2.2m in accordance with BCA requirements.
- 2) Driveways shall comply with Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking and achieve a maximum gradient of 1:4.
- 3) Basement entries and ramps/driveways within the property are to be no more than 3.5m wide.
- 4) Provision of pump-out systems and stormwater prevention shall be in accordance with Council's Stormwater Management Guide.

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(Reason: To ensure suitable development)

DACC012 CAR PARKING (REQUIREMENTS FOR MULTIPLE USE BUILDINGS)

The following car parking and service vehicle requirements apply:-

- (a) **66** car spaces shall be provided on the development site. This shall consist of:
- | | |
|---------------|-------------------------------------|
| (i) Residents | 63 (including 13 accessible spaces) |
| (ii) Visitors | 13 |
| TOTAL | (76) |
- (b) All car spaces shall be allocated and marked according to this requirement.
- (c) If the development is to be strata subdivided, the car park layout must reflect the above allocation and thereafter be regarded as part of the entitlement of that strata lot.
- (d) Under no circumstances shall parking spaces be sold, let or otherwise disposed of for use other than in accordance with this condition.
- (e) Each car parking space shall have minimum dimensions in accordance with the relevant Australian Standard and be provided on-site in accordance with the approved plans.
- (f) The parking bays shall be delineated by line marking.
- (g) Visitor spaces shall be clearly line marked and/or signposted and shall only be used by persons visiting residents of the property or commercial/business/retail premises located within the development. Visitor spaces shall not be allocated as permanent residential parking spaces. Access to visitor parking spaces shall not be restricted without development approval and a sign shall be erected at the vehicular entrance indicating the availability of visitor parking.
- (h) The following traffic control measures shall be implemented on site:-
- (i) Signage indicating 'Entry Only' shall be prominently displayed at the entrance to the development.
 - (ii) Signage indicating 'Exit Only' shall be prominently displayed at the exit to the development.
 - (iii) One-Way directional arrows shall be painted on the driveway pavement to indicate the required vehicular directional movement through the car parking area.

Details demonstrating compliance with this condition shall be submitted to and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure car parking provision in accordance with this consent)

DACC015 CAR PARKING (COMPLIANCE WITH AS/NZS 2890.1:2004)

Car parking dimensions must comply with the Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure compliance with Australian Standards relating to parking of vehicles)

DACC016 CAR PARKING (VEHICULAR CIRCULATION, AISLE AND RAMP WIDTHS)

The aisle widths, internal circulation, ramp widths and grades of the car park shall comply with the Roads and Traffic Authority Guidelines and AS/NZS 2890.1:2004 - Off-Street Car Parking Code.

Vehicular manoeuvring paths are to be prepared demonstrating that all vehicles can enter or depart the site in a forward direction without encroaching on required car parking spaces.

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(Reason: To ensure compliance with Australian Standards relating to manoeuvring, access and parking of vehicles)

DACC018 COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 81A(2) of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions)

DACC019 CONSTRUCTION AND ENVIRONMENTAL MANAGEMENT PLAN

The applicant must prepare and submit a Construction and Environmental Management Plan (CEMP) to the Principal Certifying Authority, including:

- 1) Detailed information on any approvals required from other authorities prior to or during construction.
- 2) Traffic management, including details of:
 - (a) ingress and egress of vehicles to the site;
 - (b) management of loading and unloading of materials;
 - (c) the location of heavy vehicle parking off-site; and
 - (d) designated routes for vehicles to the site.
- 3) The proposed areas within the site to be used for a builder's site office and amenities, the storage of excavated material, construction materials and waste containers during the construction period.
- 4) Erosion and sediment control, detailing measures and procedures consistent with the requirements of Council's guidelines for managing stormwater, including:
 - (a) the collection and treatment of stormwater and wastewater generated on site prior to discharge; and
 - (b) procedures to prevent run-off of solid material and waste from the site.
- 5) Waste management, including:
 - (a) details of the types and estimated volumes of waste materials that will be generated;
 - (b) procedures for maximising reuse and recycling of construction materials; and
 - (c) details of the off-site disposal or recycling facilities for construction waste.
- 6) Dust control, outlining measures to minimise the generation and off-site transmission of dust and fine particles, such as watering or damp cloth fences.
- 7) A soil and water management plan, which includes:
 - (a) measures to minimise the area of soils exposed at any one time and conserve top soil;
 - (b) identification and protection of proposed stockpile locations;
 - (c) preservation of existing vegetation and revegetation;
 - (d) measures to prevent soil, sand, sediments leaving the site in an uncontrolled manner;
 - (e) measures to control surface water flows through the site in a manner that diverts clean run-off around disturbed areas, minimises slope gradient and flow distance within disturbed areas, ensures surface run-off occurs at non-erodible velocities, and ensures disturbed areas are promptly rehabilitated;
 - (f) details of sediment and erosion control measures in place before work commences;
 - (g) measures to ensure materials are not tracked onto the road by vehicles entering or leaving the site; and
 - (h) details of drainage to protect and drain the site during works.
- 8) Asbestos management procedures:

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- (a) Anyone who removes, repairs or disturbs bonded or a friable asbestos material must hold a current removal licence from Workcover NSW holding either a Friable (Class A) or a Non- Friable (Class B) Asbestos Removal License which ever applies and a current WorkCover Demolition License where works involve demolition. To find a licensed asbestos removalist please see www.workcover.nsw.gov.au
- (b) Removal of asbestos by a person who does not hold a Class A or Class B asbestos removal license is permitted if the asbestos being removed is 10m² or less of non-friable asbestos (approximately the size of a small bathroom). Friable asbestos materials must only be removed by a person who holds a current Class A asbestos license.
- (c) Before starting work, a work site-specific permit approving each asbestos project must be obtained from Workcover NSW. A permit will not be granted without a current Workcover licence. All removal, repair or disturbance of or to asbestos material must comply with the following:
 - (i) The Work Health and Safety Act 2011;
 - (ii) The Work Health and Safety Regulation 2011;
 - (iii) How to Safety Remove Asbestos Code of Practice – WorkCover 2011; and
 - (iv) Safe Work Australia Code of Practice for the Management and Control of Asbestos in the Workplace.
- (d) Following completion of asbestos removal works undertaken by a licensed asbestos removalist re-occupation of a workplace must not occur until an independent and suitably licensed asbestos removalist undertakes a clearance inspection and issues a clearance certificate.
- (e) The developer or demolition contractor must notify adjoining residents at least two (2) working days (i.e. Monday to Friday exclusive of public holidays) prior to the commencement of asbestos removal works. Notification is to include, at a minimum:
 - (i) the date and time when asbestos removal works will commence;
 - (ii) the name, address and business hours contact telephone number of the demolisher, contractor and/or developer;
 - (iii) the full name and license number of the asbestos removalist/s; and
 - (iv) the telephone number of WorkCover's Hotline 13 10 50
 - (v) warning signs informing all people nearby that asbestos removal work is taking place in the area. Signs should be placed at all of the main entry points to the asbestos removal work area where asbestos is present. These signs should be weatherproof, constructed of light-weight material and adequately secured so they remain in prominent locations. The signs should be in accordance with AS 1319-1994 Safety signs for the occupational environment for size, illumination, location and maintenance; and
 - (vi) appropriate barricades installed as appropriate to prevent public access and prevent the escape of asbestos fibres. Barricades must be installed prior to the commencement of asbestos removal works and remain in place until works are completed.

(Reason: Safety, amenity and protection of public infrastructure and the environment)

DACC020 DILAPIDATION REPORT (PRE-COMMENCEMENT)

Subject to access being granted, a pre-commencement Dilapidation Report is to be undertaken on all properties, which in the opinion of a suitably qualified engineer, could be potentially affected by the construction of the project. The Dilapidation Report shall be carried out prior to the issue of a Construction Certificate.

The Dilapidation Report is to be prepared by a suitably Qualified Engineer with current Corporate Membership with the Institution of Engineers, Australia or Geotechnical Practitioner. The

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report shall include a photographic survey of adjoining properties detailing the physical condition of those properties, both internally and externally, including walls, ceilings, roof, structural members and other such items.

If access for undertaking the dilapidation survey is denied by an adjoining owner, the applicant must demonstrate, in writing, to Council's satisfaction attempts have been made to obtain access and/or advise the affected property owner of the reason for the survey and these attempts have been unsuccessful. Written concurrence must be obtained from Council in such circumstances.

The Report shall cover structural and geotechnical factors likely to arise from the development. A copy of this Report shall be submitted to Council as a record. The person having the benefit of the development consent must, at their own cost, rectify any damage caused to other properties during the construction of the project.

(Reason: To ensure no damage to adjoining properties occurs)

DACC021 DRIVEWAY WIDTH (MULTI-UNIT DEVELOPMENT)

The internal driveway must be a minimum 5.50m wide (clear width) for the first 6 metres inside the property so as to allow entering & exiting vehicles to pass within the site. Should the driveway narrow after this point it is then to be designed with a minimum 1.5m x 1.5m splay to allow the passing to work. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior the issue of a Construction Certificate.

(Reason: Safety and traffic management)

DACC024 EXCAVATION (AFFECTING ADJOINING LAND)

If an excavation associated with the approved development extends below the level of the base of the footings of a building on an adjoining allotment of land, the person having the benefit of the development consent must, at the person's own expense, comply with the requirements of clause 98E of the Environmental Planning and Assessment Regulation 2000, including:

- 1) protect and support the adjoining premises from possible damage from the excavation, and
- 2) where necessary, underpin the adjoining premises to prevent any such damage.

The condition referred to in subclause (1) does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying. Details shall be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Structural safety)

DACC025 EXCAVATION (DEWATERING)

Any de-watering from the excavation or construction site must comply with the Protection of the Environment Operations Act 1997 and the following:

- 1) Ground water or other water to be pumped from the site into Council's stormwater system must be sampled and analysed by a NATA accredited laboratory or Manly Council for compliance with ANZECC Water Quality Guidelines.
- 2) If tested by NATA accredited laboratory, the certificate of analysis issued by the laboratory must be forwarded to Manly Council as the appropriate regulatory authority under the Protection of the Environment Operations Act 1997, prior to the commencement of de-watering activities.
- 3) Council will grant approval to commence site de-watering to the stormwater based on the water quality results received.

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- 4) It is the responsibility of the applicant to ensure during de-watering activities, the capacity of the stormwater system is not exceeded, there are no issues associated with erosion or scouring due to the volume of water pumped; and turbidity readings must not at any time exceed the ANZECC recommended 50ppm (parts per million) for receiving waters.

(Reason: To ensure compliance with legislation and to protect the surrounding natural environment)

DACC029 FIRE SAFETY SCHEDULE

A Fire Safety Schedule specifying the fire safety measures (both current and proposed) which should be implemented in the building premises must be submitted with the Construction Certificate application, in accordance with Part 9 of Clause 168 of the Environmental Planning and Assessment Regulation 2000.

Note: A Construction Certificate cannot be issued until a Fire Safety Schedule is received.

(Reason: Compliance with the Environmental Planning and Assessment Act 1979)

DACC030 FLOODING (COMPLY WITH FLOOD IMPACT REPORT)

The applicant shall comply with the flood recommendations provided in the Flood Impact Report prepared by Lindsay Dynan project no. 00012950 dated 16 October 2017 and 9 October 2017. A certificate from a suitably qualified Engineer shall be submitted to the Certifying Authority stating compliance with these recommendations, prior to the issue of a Construction Certificate.

(Reason: To mitigate flood risk and associated damage)

DACC032 HAZARDOUS GOODS AND WASTE

- (a) Dangerous and hazardous goods shall be stored in accordance with NSW WorkCover requirements and AS1940-2004 - The Storage and Handling of Flammable and Combustible Liquids.
- (b) Hazardous waste must be contained, managed and disposed of in a responsible manner in accordance with the Protection of Environment and Operations Act 1997, NSW Environment Protection Authority (EPA) and the New South Wales WorkCover Authority.
- (c) Material Safety Data Sheets of all hazardous substances used, such as bleaches and nail products must be kept on site and readily available to all staff. Staff must be trained how to safely use and store these chemicals prior to the commencement of work.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

(Reason: Health and safety)

DACC035 HOARDINGS

A Hoarding Application for the erection of a Class A (fence type) or Class B (overhead type) hoarding along the street frontage(s) complying with WorkCover requirements must be obtained.

The relevant application form shall be submitted to Council with a footpath occupancy fee based on the area of footpath to be occupied according to Council's Schedule of Fees and Charges, and the application shall be approved before the commencement of work.

A Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the

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occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy also provided to Council.

The Policy is to note Council as an interested party. The copy is to be provided to Council, prior to the issue of a Construction Certificate.

(Reason: Public safety)

DACC037 LANDSCAPING (MAINTENANCE STRATEGY)

To ensure the survival of landscaping following works, a landscape maintenance strategy for the owner/occupier to administer over a 12 month establishment period following the issue of the Occupation Certificate shall be prepared and provided to the satisfaction of the Principal Certifying Authority with the Construction Certificate application. The strategy is to address maintenance issues such as, but not limited to plant survival, irrigation, soil testing, weeding, staking, fertilizing, remedial pruning and plant replacement.

(Reason: Ensure landscape survival)

DACC038 LANDSCAPING (ON SLAB)

To ensure the site landscaping thrives, the on slab landscaping shown on the approved landscaping plan is to be designed to include a minimum soil depth of 650mm for shrubs and trees; and 300mm for grass and ground covers. Adequate drainage provision and a permanent, automatic irrigation system conforming to Sydney Water requirements shall be included. Details demonstrating compliance shall be submitted to the Principal Certifying Authority with the Construction Certificate application.

(Reason: Ensure landscape survival)

DACC042 PLANNING AGREEMENT (SECTION 93F OF THE EP&A ACT)

In accordance with Section 93F(3) of the Environmental Planning and Assessment Act 1979, the Voluntary Planning Agreement offered by the developer in respect of the Development Application, the subject of this consent, for the dedication of 215m² of land with a minimum width of 4.9m for the purpose of an extension of Loftus Laneway adjacent to the northern boundary of the site. must be entered into prior to the issue of a Construction Certificate. The terms of the Voluntary Planning Agreement must, thereafter, be adhered to.

(Reason: To ensure compliance with the terms of the S93F Agreement)

DACC049 SECTION 94 CONTRIBUTIONS (DIRECT CONTRIBUTIONS PLAN)

In accordance with the provisions of Section 94(1)(b) of the Environmental Planning and Assessment Act 1979 and the Strathfield Direct Development Contributions Plan 2010-2030, a contribution in the form of cash, cheque or credit card (financial transaction fee applies) shall be paid to Council for the following purposes:

Provision of Community Facilities	\$130,686.90
Provision of Major Open Space	\$594,586.28
Provision of Local Open Space	\$387,678.39
Provision Roads and Traffic Management	\$39,800.48
Administration	\$11,268.81
TOTAL	\$1,104,020.86

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The total amount of the contribution is valid as at the date of determination and is subject to quarterly indexation. Contributions shall be indexed at the time of payment in accordance with clause 2.14 of the Strathfield Direct Development Contributions Plan 2010-2030.

Contributions must be received by Council and submitted to the Accredited Certifier, prior to the issue of any Construction Certificate.

Please present a copy of this condition when paying the contribution at the Customer Service Centre so that it can be recalculated.

Note: A copy of Strathfield Council's Section 94 Direct Development Contributions Plan may be downloaded from Council's website.

(Reason: To enable the provision of public amenities and services required/anticipated as a consequence of increased demand resulting from the development)

DACC051 SECURITY PAYMENT (DAMAGE DEPOSIT FOR COUNCIL INFRASTRUCTURE)

A security payment of **\$6,254.00** in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply) shall be paid to Council prior to the issue of a Construction Certificate. The security payment is GST inclusive and comprises the following:

Refundable tree protection bond	\$2,000.00
Refundable works bond	\$4,000.00
Non-refundable administration fee (\$127/bond)	\$254.00
TOTAL	\$6,254.00

The security payment covers the following matters and will be released upon satisfactory completion of these items:

- (a) road and stormwater drainage works in roadways and public areas;
- (b) connection to Council's stormwater drainage system;
- (c) installation and maintenance of sediment control measures for the duration of construction activities;
- (d) tree final inspection to ensure that Council's street trees have been retained, protected or replanted in accordance with conditions of consent and/or Arborists' report for the post final inspection twelve (12) month period; and
- (e) Ensuring no damage occurs to or building debris/materials are left on Council land including footpath, nature strip, kerb and gutter. The security bond may be used to recover the costs incurred by Council in cleaning and restoring the land to its original condition.

(Reason: Protection of Council infrastructure)

DACC061 WORKS PERMIT

A Works Permit shall be obtained from Strathfield Council at least five (5) working days prior any work (including demolition, excavation and the erection of site fencing/hording). The approved Works Permit and any approved Construction Traffic Management Plan must be complied with at all times until all demolition, building, engineering and construction work associated with the development has been completed. The permit must be retained on site at all times.

(Reason: Council requirement)

DACC062 WORKS (WITHIN THE ROAD RESERVE)

- (a) Detailed drawings including long and short sections and specifications of all works within

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- existing roads (including but not limited to structures, road works, driveway crossings, footpaths and stormwater drainage) shall be submitted to and approved by Council under Section 138 of the Roads Act 1993 and all fees and charges paid, prior to the issue of a Construction Certificate.
- (b) Detailed drawings and specifications are to be prepared and certified by an appropriately qualified Civil Engineer.
 - (c) Upon completion of the works, the Applicant is to provide to Council with electronic copies of 'Work as Executed Plans'. The plans are to show relevant dimensions and finished levels and are to be certified by a surveyor.
 - (d) The Applicant is to provide to Council, in an approved format, details of all public infrastructure created as part of the works.
 - (e) All civil engineering works adjacent/near/outside 36A Water St, Belfield are to be fully supervised by Council. A maintenance period of six (6) months shall apply to the work, after it has been completed and approved. In that period the Applicant shall be liable for any part of the work which fails to perform in the manner outlined in Council's specifications, or as would reasonably be expected under the design conditions.

(Reason: To ensure compliance of engineering works/Council assets are constructed to acceptable standards for engineering works)

DACC063 TRAFFIC (CONSTRUCTION TRAFFIC MANAGEMENT PLAN)

A Construction Traffic Management Plan (CTMP) is to be prepared by an appropriately qualified Traffic Management Consultant and submitted to and approved by Council's Engineering Section, prior to the commencement of any works including demolition.

The following matters should be addressed in the CTMP (where applicable):

- 1) A description of the demolition, excavation and construction works
- 2) A site plan/s showing the site, roads, footpaths, site access points and vehicular movements
- 3) Size, type and estimated number of vehicular movements (including removal of excavated materials, delivery of materials and concrete to the site)
- 4) Proposed route(s) from the arterial (state) road network to the site and the proposed route from the site back to the arterial road network
- 5) Impacts of the work and vehicular movements on the road network, traffic and pedestrians and proposed methods to safely manage pedestrians and construction related vehicles in the frontage roadways.
- 6) Any Traffic Control Plans (TCP's) proposed to regulate traffic and pedestrian movements for construction activities (such as concrete pours, crane installation/removal etc.)
- 7) Proposed hours of construction related activities and vehicular movements to and from the site
- 8) Current/proposed approvals from other Agencies and Authorities (including Roads and Maritime Services, Police and State Transit Authority)
- 9) Any activities proposed to be located or impact upon Council's road, footways or any public place
- 10) Measures to maintain public safety and convenience
- 11) Any proposed road and/or footpath closures
- 12) Turning areas within the site for construction and spoil removal vehicles, allowing a forward egress for all construction vehicles on the site.
- 13) The locations of work zones (where it is not possible for loading/unloading to occur on the site) in the frontage roadways accompanied by supporting documentation that such work zones have been approved by the Local Traffic Committee and Council.
- 14) Location of any proposed crane and concrete pump and truck standing areas on and off the site (and relevant approvals from Council for plant on road).
- 15) A dedicated unloading and loading point within the site for all construction vehicles, plant and deliveries.

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- 16) Material, plant and spoil bin storage areas within the site, where all materials are to be dropped off and collected.
- 17) An on-site parking area for employees, tradespersons and construction vehicles as far as possible.
- 18) The proposed areas within the site to be used for the storage of excavated material, construction materials and waste and recycling containers during the construction period.
- 19) How it is proposed to ensure that soil/excavated material is not transported onto surrounding footpaths and roadways.

(Reason: To mitigate traffic impacts on the surrounding area during the construction period)

DACC064 UTILITIES AND TELECOMMUNICATIONS (ELECTRICITY CONNECTION)

Provision must be made for connection to future underground distributions mains. This must be achieved by installing:

- 1) an underground service line to a suitable existing street pole; or
- 2) sheathed underground consumers mains to a customer pole erected near the front property boundary (within 1 metre)

Note: A limit of one (1) pole per site will apply.

Any costs associated with the relocation of the above are at the requestor's expense. Any disturbance to public land as a result of the undergrounding of services shall be restored at no cost to Council.

Details are to be submitted to the Principal Certifying Authority with the Construction Certificate Application.

(Reason: Environmental amenity)

DACC066 UTILITIES AND TELECOMMUNICATIONS (TELECOMMUNICATIONS ASSETS)

Provision must be made for relocation of telecommunications network assets including underground placement of any existing aerial cables and infrastructure. Any costs associated with the relocation of the above are at the requestor's expense. Any disturbance to public land as a result of the undergrounding of services shall be restored at no cost to Council.

Details are to be submitted to the Principal Certifying Authority with the Construction Certificate application.

(Reason: To ensure suitable relocation of telecommunications infrastructure if required)

DACC068 WASTE MANAGEMENT PLAN

A Waste Management Plan (WMP) is to be provided in accordance with Part H of Strathfield Consolidated Development Control Plan 2005. All requirements of the approved Waste Management Plan must be implemented during demolition, construction and on-going use of the premises.

The WMP must identify the types of waste that will be generated and all proposals to re-use, recycle or dispose of the waste. The WMP is to be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate.

(Reason: To ensure appropriate management of waste)

DACC070 WASTE (GARBAGE ROOMS OR GREASE ARRESTOR ROOMS)

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Garbage rooms or grease arrester rooms must be constructed of solid material: cement rendered and steel trowelled to a smooth even surface. The door to the garbage room is to be designed and constructed to ensure the room is vermin proof and can be opened from the inside at all times. The garbage room is to be ventilated to the external air by natural ventilation or an approved air handling exhaust system.

(Reason: To keep garbage rooms in a clean and sanitary condition to protect public health)

DACC073 WATER HEATING SYSTEMS (LOCATION OF)

Water heating systems shall be located so as not to be visible from public places and the ground level of adjoining properties. Details (type and location) of the water heaters shall be submitted to and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To maintain streetscape character)

DACC074 WORKS ZONE (APPROVAL BY COUNCIL'S TRAFFIC COMMITTEE)

An application for a 'Works Zone' must be submitted to and approved by the Strathfield Council Traffic Committee prior to the commencement of any site work (including demolition).

The suitability of the proposed length and duration of the Works Zone is to be demonstrated in the application for the Works Zone. The application for the Works Zone must be submitted to Council at least six (6) weeks prior to the commencement of work on the site to allow for assessment and tabling of agenda for the Strathfield Council Traffic Committee.

The requirement for a Works Zone may be varied or waived only if it can be demonstrated in the Construction Traffic Management Plan (to the satisfaction of Council) that all construction related activities (including all loading and unloading operations) can and will be undertaken wholly within the site. The written approval of Council must be obtained to provide a Works Zone or to waive the requirement to provide a Works Zone prior to the commencement of any site work.

DACC075 LANE EXTENSION

The laneway extension design to Loftus Lane with proposed kerb inlet pit location connecting to Council's drainage infrastructure shall be amended to reflect the final laneway design.

(Reason: To ensure consistency with finalised laneway design).

Conditions to be satisfied prior to the commencement of works (DAPC)**DAPC001 APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY**

No work shall commence in connection with this Development Consent until:

- 1) A construction certificate for the building work has been issued by:
 - (a) the consent authority; or
 - (b) a Principal Certifying Authority; and
- 2) the person having the benefit of the development consent has:
 - (a) appointed a principal certifying authority for the building work, and
 - (b) notified the principal certifying authority that the person will carry out the building work as an owner-builder, if that is the case, and
- 3) the principal certifying authority has, no later than 2 days before the building work commences:
 - (a) notified the Council of his or her appointment, and
 - (b) notified the person having the benefit of the development consent of any critical

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- stage inspections and other inspections that are to be carried out in respect of the building work, and
- 4) the person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:
 - (a) appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved, and
 - (b) notified the principal certifying authority of such appointment, and
 - (c) unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work, and
 - 5) the person having the benefit of the development consent has given at least 2 days notice to the Council of the person's intention to commence the erection of the building.

Note: If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement)

DAPC003 NOTICE OF COMMENCEMENT

No work shall commence until the following details are submitted to Council:

- 1) A Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- 2) Details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- 3) Details of the name, address and licence details of the Builder.

(Reason: Statutory requirement)

Conditions to be satisfied during demolition and building works (DADW)**DADW001 CONTAMINATED LAND UNEXPECTED FINDS**

In the instance works cause the generation of odours or uncovering of unexpected contaminants works are to immediately cease, Council is to be notified and a suitably qualified environmental scientist appointed to further assess the site.

The contaminated land situation is to be evaluated by the supervising environmental consultant and an appropriate response determined in consultation with the applicant, which is agreed to by Strathfield Council's Environmental Services Manager.

Note: Council may also request that a NSW EPA accredited site auditor is involved to assist with the assessment of the contaminated land situation and review any new contamination information. The applicant must also adhere to any additional conditions which may be imposed by the accredited site auditor.

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(Reason: To ensure compliance with statutory requirements)

DADW002 FILL MATERIAL

The only waste derived material which may be received at the development site is:

- (i) Virgin excavated material (within the meaning of the Protection of the Environment Operations Act 1997), and
- (ii) Any other waste-derived material the subject of a resource recovery exemption under cl.51A of the Protection of the Environment Operations (Waste) Regulation 2005 that is permitted to be used as fill material.

Any (b)-type material received at the development site must be accompanied by documentation certifying by an appropriately qualified environmental consultant the materials compliance with the exemption conditions; and this documentation must be provided to the Principal Certifying Authority on request.

(Reason: To ensure imported fill is of an acceptable standard for environmental protection purposes)

DADW006 OBSTRUCTION OF PUBLIC WAY (NOT PERMITTED DURING WORKS)

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances, without the prior approval of Council.

(Reason: To maintain public access and safety)

DADW007 PUBLIC INFRASTRUCTURE AND SERVICES

The applicant must comply with the requirements (including financial costs) of any relevant utility provider (e.g. Energy Australia, Sydney Water, Telstra, RMS, Council etc.) in relation to any connections, works, repairs, relocation, replacements and/or adjustments to public infrastructure or services affected by the development.

(Reason: To maintain public infrastructure and/or services)

DADW010 SITE REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- 1) All demolition is to be carried out in accordance with Australian Standards AS 2601-2001.
- 2) Demolition must be carried out by a registered demolition contractor.
- 3) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out with close boarded, hardwood timber footpath protection pads. The pad shall cover the entire width of the footpath opening for the full width of the fence.
- 4) No blasting is to be carried out at any time during construction of the building.
- 5) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- 6) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- 7) Any demolition and excess construction materials are to be recycled wherever practicable.
- 8) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- 9) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.

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- 10) All excavated material should be removed from the site in the approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- 11) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- 12) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- 13) Details as to the method and location of disposal of demolition materials (weight dockets, receipts etc.) should be kept on site as evidence of approved methods of disposal and recycling.
- 14) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- 15) Public footways and roadways adjacent to the site must be fully maintained and cleared of obstructions during construction unless prior separate approval from Council is obtained including payment of relevant fees.
- 16) Building operations such as brick cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- 17) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.

Stamped plans, specifications, documentation and the consent shall be available on site at all times during construction.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area)

DADW011 SURVEY REPORT OF APPROVED LEVELS (DURING AND POST CONSTRUCTION)

A Survey Certificate to Australian Height Datum shall be prepared by a Registered Surveyor as follows:-

- 1) At the completion of the first structural floor level indicating the level of that floor and the relationship of the building to the boundaries.
- 2) At the completed height of the building, prior to the placement of concrete in form work, or the laying of roofing materials.
- 3) At the completion of the development.

Progress certificates in response to points (1) through to (3) shall be provided to the Principal Certifying Authority at the time of carrying out relevant progress inspections. Under no circumstances is work allowed to proceed until such survey information is submitted to and approved by the Principal Certifying Authority.

(Reason: To ensure compliance with the approved plans)

Conditions to be satisfied prior to the issue of an Occupation Certificate (DAOC)

DAOC004 CAR PARKING (VISITOR CAR PARKING SIGNAGE)

A sign shall be erected in a suitable location on the property near the driveway entrance indicating where visitor parking is available on the site. Signage shall also be erected above the visitor parking itself. Details demonstrating compliance shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

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(Reason: Adequate access and egress)

DAOC006 DRAINAGE SYSTEM (MAINTENANCE OF EXISTING SYSTEM)

Where elements of the existing drainage system are to be utilised, the existing drainage system shall be overhauled and maintained clear of silt and accumulated debris. Silt and the like shall be *removed*, not flushed from the system.

A certificate shall be provided by a suitably qualified person (a registered plumber or a person of equivalent or greater experience or qualification) to the satisfaction of the Principal Certifying Authority, prior to the issue of any Occupation Certificate to confirm that the system is in good working order and adequate to accept additional flows having regard to any relevant standards and/or Sydney Water requirements.

(Reason: Maintenance and environment)

DAOC007 ENGINEERING WORKS (CERTIFICATION OF)

Prior to occupation of the premises, a Work As Executed (WAE) Plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate Membership standing in the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that:

- 1) the stormwater drainage system; and/or
- 2) the car parking arrangement and area; and/or
- 3) any related footpath crossing works; and/or
- 4) the proposed basement pump and well system; and/or
- 5) the proposed driveway and layback; and/or
- 6) any other civil works

have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

For major works, such as subdivisions, works within the road reserve (requiring separate S138 approval) and as where specified by Council, a Part 4A Certificate will be required. It is strongly recommended that an Engineer supervise all engineering related works.

Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council, prior to the issue of any Occupation Certificate.

(Reason: Asset management)

DAOC008 FIRE SAFETY (CERTIFICATION)

A fire safety certificate shall be obtained in accordance with Part 9, Division 4 of the Environmental Planning and Assessment Regulation 2000, prior to the issue of any Occupation Certificate.

An fire safety certificate is a certificate issued by the owner of a building to the effect that each essential fire safety measure specified in the current fire safety schedule for the part of the building to which the certificate relates:

- a) has been assessed by a properly qualified person, and
- b) was found, when it was assessed, to be capable of performing to at least the standard required by the current fire safety schedule for the building for which the certificate is

**DA2017/033/03- 37-39 Loftus Crescent, Homebush
Lot 33 & 34 in DP 9154 & Lot Y in DP 446141 (Cont'd)**

issued.

An interim fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(2) of the *Environmental Planning & Assessment Regulation 2000*.

A final fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(1) of the *Environmental Planning & Assessment Regulation 2000*.

A copy of the fire safety certificate and fire safety schedule shall be:-

- 1) submitted to Strathfield Council;
- 2) submitted to the Commissioner of the New South Wales Fire Brigade; and
- 3) prominently displayed in the building.

(Reason: Fire safety and statutory requirement)

DAOC012 LANDSCAPING (ARBORIST'S FOLLOW UP REPORT OF TREE/S TO BE RETAINED)

As part of the on-going assessment of the tree/s to be retained, the consulting arborist engaged by the applicant is to assess their health and any impacts suffered by them as a result of the proposed approved development. Findings are to be compiled in a detailed report and submitted to the Principle Certifying Authority

to be provided to the satisfaction of the Principle Certifying Authority at the completion of construction and prior to issue of any Occupation Certificate which documents the following:

- 1) methods of excavation or construction used to carry out the works;
- 2) any damage sustained by the tree/s as a result of the works;
- 3) any subsequent remedial works required to be carried out by the consulting arborist as a result of the damage and
- 4) any future or on-going remedial work required to be carried out to ensure the long term retention of the tree/s

(Reason: Ensure survival of trees to be retained)

DAOC014 OCCUPATION OF BUILDING

A person must not commence occupation or use (*or change of use where an existing building*) of the whole or any part of a new building (within the meaning of section 109H (4) of the *Act*) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

The Principal Certifying Authority is required to be satisfied, amongst other things, that:

- 1) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- 2) any preconditions to the issue of the certificate required by a development consent have been met.

Note: New building includes an altered portion of, or an extension to, an existing building.

(Reason: Statutory requirement)

DAOC018 STORMWATER (CERTIFICATION OF THE CONSTRUCTED STORMWATER DRAINAGE SYSTEM)

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Lot 33 & 34 in DP 9154 & Lot Y in DP 446141 (Cont'd)**

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

(Reason: Adequate stormwater management)

DAOC020 STORMWATER (ON SITE DETENTION IDENTIFICATION PLATE)

Prior to issue of a Final Occupation Certificate, the applicant shall install an identification plate near or onto the control structure of the OSD system, this is to advise the registered proprietor of their responsibility to maintain the OSD facility and not to tamper with it in any manner without written consent.

The applicant can obtain the OSD identification plate from the Council at a cost.

(Reason: To ensure that the OSD system is installed and identified in accordance with this approval)

DAOC021 SUBDIVISION (EVIDENCE OF CONSOLIDATION)

The existing allotments shall be consolidated into a single lot. Evidence that the plan of consolidation has been registered as a deposited plan with the Land and Property Information Office must be submitted to Council, prior to occupation of the site.

(Reason: Proper management of land)

DAOC024 VENTILATION SYSTEMS (NATURAL)

The natural ventilation system shall be designed, constructed and installed in accordance with the provisions of:

- (a) The Building Code of Australia; and
- (b) Protection of the Environment Operations Act 1997.

Details demonstrating compliance with this condition shall be submitted to the Principal Certifying Authority, prior to issue of the Occupation Certificate.

(Reason: To ensure any natural ventilation systems comply with the relevant regulations/standards)

Conditions to be satisfied prior to the issue of a Subdivision Certificate (DASC)

DASC002 ENGINEERING WORKS (CERTIFICATION OF WORK AS EXECUTED)

Prior to the issue of the Subdivision Certificate, a Work As Executed (WAE) plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate Membership standing in the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that all engineering works including the provision of services, drainage, driveways and earthworks have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council.

(Reason: To ensure adequate access and services have been provided for the new lots)

DA2017/033/03- 37-39 Loftus Crescent, Homebush
Lot 33 & 34 in DP 9154 & Lot Y in DP 446141 (Cont'd)

05 SEPARATE APPLICATION (FOR STRATA SUBDIVISION)

This consent does not imply approval to create a separate title, by subdivision or otherwise. Should it be intended to subdivide the approved development into strata title allotments, Council will require the lodgement of a separate development application for consideration.

(Reason: To ensure compliance with the consent)

DASC006 SUBDIVISION CERTIFICATE (REQUIREMENTS PRIOR TO THE ISSUE OF)

A Subdivision Certificate allows a person to lodge a plan of subdivision with NSW Land and Property Information (LPI). The plan of subdivision identifies each of the allotments approved under the original consent (if required) or each allotment subject to an exempt boundary adjustment. The plan of subdivision is required to be prepared by a registered surveyor.

All types of subdivision (Torrens, Strata and Community Title) are required to be registered with NSW LPI before a new 'allotment' of a subdivision of land can be created.

The release of a Subdivision Certificate confirms that the Principal Certifying Authority (Council or Accredited Certifier) is satisfied that works are completed in accordance with the applicable Development Consent and that the land is suitable to occupy.

Prior to the issuing of any Subdivision Certificate under section 37A of *the Strata Schemes (Freehold Development) Act 1973*, and section 66A of *the Strata Schemes (Leasehold Development) Act 1986*, and in accordance with section 29A of *the Strata Schemes (Freehold Development) Regulation 2007* and section 30A of *the Strata Schemes (Leasehold Development) Regulation 2007*, the PCA is required to be satisfied that:

- 1) the floors, external walls and ceilings depicted in the proposed strata plan for the building correspond to those of the building as constructed;
- 2) the floors, external walls and ceilings of the building as constructed correspond to those depicted in the building plans that accompanied the construction certificate for the building; and
- 3) any facilities required by the relevant development consent (such as parking spaces, terraces and courtyards) have been provided in accordance with those requirements.

As construction of the building nears completion, or after it has been completed, the Principal Certifying Authority must inspect the building and the common property areas around the building, so as to be satisfied, as required by section 66AA of the Act, that the above requirements have been met.

The Principal Certifying Authority shall also be satisfied that:

- (a) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- (b) any preconditions to the issue of the certificate required by a development consent or complying development certificate have been met.

The Subdivision Certificate must not be issued until the Principal Certifying Authority has issued the Final Occupation Certificate in relation to the approved development.

(Reason: Statutory requirements)

DASC007 SUBDIVISION (LODGEMENT OF FINAL PLAN OF SUBDIVISION)

Once a Subdivision Certificate is issued by the Principal Certifying Authority, the Final Plan of Subdivision must be registered with Land and Property Information. Documentary evidence that the linen plan has been registered with Land and Property Information must be submitted to

**DA2017/033/03- 37-39 Loftus Crescent, Homebush
Lot 33 & 34 in DP 9154 & Lot Y in DP 446141 (Cont'd)**

Strathfield Council as soon as practicable.

(Reason: Statutory requirement)

DASC008 SYDNEY WATER (SECTION 73 CERTIFICATE)

A Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained before the issue of the Subdivision Certificate. An application must be made through an authorised Water Servicing Coordinator (refer www.sydneywater.com.au).

Following receipt of the application a 'Notice of Requirements' will be issued detailing water and sewer extensions to be built and charges to be paid. Please make early contact with the Water Servicing Coordinator, as building of water/sewer extensions can be time consuming and may impact on other services and building, driveway or landscape design.

Sydney Water written advice that you have obtained the Notice of Requirements must be submitted to the Principal Certifying Authority

The Section 73 Compliance Certificate must be submitted to the Principal Certifying Authority prior to release of the Subdivision Certificate /any occupation of the premises.

(Reason: To comply with the statutory requirements of Sydney Water)

Conditions to be satisfied during ongoing use of the premises (DAOU)

DAOU008 FIRE SAFETY (ANNUAL STATEMENT)

Pursuant to Part 9, Division 5 of the Environmental Planning and Assessment Regulation (as amended) the owner of the building shall provide to Council an Annual Fire Safety Statement from an appropriately qualified person certifying the essential fire safety measures in the building. The Annual Fire Safety Statement shall be submitted within 12 months of the issue of the fire safety certificate, and then on an annual basis.

A copy of the Fire Safety Statement obtained and Fire Safety Schedule shall also be:-

1. Forwarded to the Commissioner of the New South Wales Fire Brigade; and
2. Prominently displayed in the building

(Reason: Fire safety)

DAOU026 NOISE (COMPLIANCE WITH ACOUSTIC ASSESSMENT REPORT)

All recommendations contained in the approved Acoustic Assessment Report prepared by Acoustic Logic shall be adopted, implemented, and adhered to.

The Principal Certifying Authority (PCA) shall obtain a statement from an appropriately qualified acoustic consultant, certifying that the acoustic mitigation measures outlined in the above stated report have been suitably incorporated into the development and that relevant noise criteria have been satisfied prior to the issue of any Occupation Certificate.

Any changes made to the proposal that would alter the acoustic assessment will require a further acoustic assessment and a copy of this further report shall be provided to Council for approval prior to the commencement of works and any recommendations adopted, implemented, and adhered to.

(Reason: Noise control and amenity)

DA2017/033/03- 37-39 Loftus Crescent, Homebush
Lot 33 & 34 in DP 9154 & Lot Y in DP 446141 (Cont'd)

ATTACHMENTS

1. [↓](#) DA2017.033.03- Amended Architecturals - 37-39 Loftus Crescent, Homebush

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37-39 Loftus Cres Homebush

Site Area	2,189 m ²
Proposed Gross Floor Area (GFA)	4,773 m ²
FSR	2.20 : 1
Unit Mix	
3bed + Study	9
2bed	40
3bed + Study	4
3bed	5
Total Units	65
Total Car Parking	87

SECTION 4.55 (S96) SCHEDULE OF CHANGES: REVISION H

- ADDITIONAL FLOOR ADD TO BUILDING B.
- AMENDED INTERNAL LAYOUTS TO BUILDING A & B (LEVEL 4-7).
- INCREASED FSR FROM 2 : 1 (APPROVED) TO 2.2:1 (PROPOSED).
- UPDATED GFA CALCULATIONS & UNIT MIX.
- AMENDED LIFT CORE AS PER CC DOCUMENTATION.
- AMENDED MATERIAL SCHEDULE.
- UPDATED ELEVATIONS AS PER ABOVE CHANGES.
- UPDATED SHADOW DIAGRAMS.
- AMENDED UNIT LAYOUT TO U5.04, U6.04, U7.03 TO AVOID TRANSFER SLAB & REDUCTION OF FL TO CL ON LEVEL 4.

Compliance Summary

Control	Requirement	Proposed	Complies
10m Open Space (OS1)	2.20 : 1 min	2.20	-
Gross Floor Area (GFA)	≤ 4,772 m ² max	4,773 m ²	-
Building Height	25 max	25.00 m	-
Car Parking	83 min	87	-
Motorcycle Parking (1/15units)	4 min	3	-
Bicycle Parking (1/10units)	26 min	26	-
Solar Access	70% min	47	72%
Cross Ventilation	100% min	92	92%
Adaptable Units	10% min	7	11%
Single orientated south facing units	10% min	6	9%
Communal Open Space (ADG)	25% min	1,009 m ²	40%
Deep Soil	152 min	212 m ²	10%
Unit Storage (typical)	Min 6 m ³ max 8 m ³	8 m ³	-
Min 8 m ³ max 10 m ³	10 m ³	10 m ³	-

BASIX COMMITMENTS NOTES
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT *

WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
Fixtures	3 star (> 6 but <= 7.5 l/min)	4 star	5 star	5 star
Fire Sprinkler	Must be configured so that fire sprinkler test water is contained within the fire sprinkler system for re-use, rather than disposed.			
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY	Hot water system: Central Gas instantaneous - Refer to approved BASIX			
	Bathroom ventilation system: individual fan, ducted to façade or roof; manual switch on/off			
	Kitchen ventilation system: individual fan, ducted to façade or roof; manual switch on/off			
	Laundry ventilation system: individual fan, ducted to façade or roof; manual switch on/off			
REFER TO APPROVED BASIX	Cooling system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living area			
	Heating system: 1 Phase air-conditioning EER 3.0 - 3.5 in at least 1 living area			
	Artificial lighting: As per BASIX			
	Natural lighting: As per BASIX			
	Appliances: Must install a gas cooktop and electric oven.			
	Dishwashers: 3.5 star energy rating			
COMMON AREAS	Refer to approved BASIX cert			

Drawing No	Description	Issue / Revision
DA001	COVER	Current 04.05.18 (02/04/18)
DA001 A	DATE LOCATION & ANALYSIS	No Amendments
DA002	DATE / ROOF PLAN	No Amendments
DA003	BASIX REPORT	No Amendments
DA004	BASIX REPORT	No Amendments
DA005	GROUND FLOOR PLAN	Current 04.05.18 (02/04/18)
DA006	LEVEL 01-02	Current 04.05.18 (02/04/18)
DA007	LEVEL 03	Current 04.05.18 (02/04/18)
DA008	LEVEL 04	Current 04.05.18 (02/04/18)
DA009	LEVEL 05	Current 04.05.18 (02/04/18)
DA010	LEVEL 06	Current 04.05.18 (02/04/18)
DA011	LEVEL 07	Current 04.05.18 (02/04/18)
DA012	LEVEL 08 ROOF TOP	Current 04.05.18 (02/04/18)
DA013	TYPICAL SECTION	Current 04.05.18 (02/04/18)
DA014	SHADING DIAGRAM	Current 04.05.18 (02/04/18)
DA015	LOFTS ELEVATION	Current 04.05.18 (02/04/18)
DA016	EAST/ELEV	Current 04.05.18 (02/04/18)
DA017	LOFTS LAYOUT	Current 04.05.18 (02/04/18)
DA018	AP	Current 04.05.18 (02/04/18)
DA019	BB	Current 04.05.18 (02/04/18)
DA020	DC	Current 04.05.18 (02/04/18)
DA021	DD	Current 04.05.18 (02/04/18)
DA022	FINISHED SCHEDULE	Current 04.05.18 (02/04/18)

Detailed Calculations

Gross Floor Area	UNIT SCHEDULE					ADG COMPLIANCE				
	3bed + Study	2bed	3bed + Study	3bed	Other	Solar Access	Cross Ventilation	Single Orientated South Facing Units	Communal Open Space	Unit Storage
Ground Level	700 m ²	0	0	0	0	7	0	0	212	0
Level 1	775 m ²	3	0	0	0	3	0	0	0	0
Level 2	775 m ²	3	0	0	0	3	0	0	0	0
Level 3	775 m ²	3	0	0	0	3	0	0	0	0
Level 4	600 m ²	0	1	0	0	0	0	0	0	0
Level 5	700 m ²	2	0	0	0	2	0	0	0	0
Level 6	700 m ²	1	0	0	0	1	0	0	0	0
Level 7	273 m ²	1	0	0	0	1	0	0	0	0
Total GFA	4,773 m²	25	1	40	4	27	0	0	212	0
Total ADG Compliance		25%	100%	100%	100%	72%	100%	0%	9%	0%
Total Units		7	1	40	4	52	0	0	0	212
Car Parking		16	44	10	12	82	0	7	10%	10%

Building Elements	Material	Detail
External walls	Wetfix + Framing Channel + Plasterboard	R2.0 bulk insulation
Internal walls within units	Wetfix + Framing Channel + Plasterboard	-
Common walls between Units	Wetfix + Framing Channel + Plasterboard	-
Common walls between Units & Open Lobby	Wetfix + Framing Channel + Plasterboard	R2.0 bulk insulation
Common walls between Units & Fire Stair/Lift Shaft	Wetfix + Concrete + Framing Channel + Insulation + Plasterboard	R1.5 bulk insulation
Roof	Concrete + Insulation to concrete exposed to external environment	R1.5 bulk insulation to Units A001, A002, A003, A004, A005, A006, A007, B001, B002, B003 & B004
Top Floor Roof	Concrete	R2.0 bulk insulation
Floors	Concrete	-
Windows (to Units A001, A002, A003, A004, A005, A006, A007, B001, B002, B003 & B004)	Aluminium framed, double glazed clear or similar	U value ≤ 0.80 or less and a SHGC of 0.50 or less
Windows (to Units B001 & B002)	Aluminium framed, double glazed high solar gain low e or similar	U value ≤ 0.80 or less and a SHGC of 0.50 or less
Windows (to rest of units)	Aluminium framed, single glazed clear	U value ≤ 0.70 or less and a SHGC of 0.50 or less

URBAN LINK
37-39 LOFTUS CRES RESIDENTIAL FLAT BUILDING HOME BUSH
COVER SHEET COVER
DA001 H

SECTION 4.55 APPLICATION
17/015
DA001 H

DEVELOPMENT APPLICATION

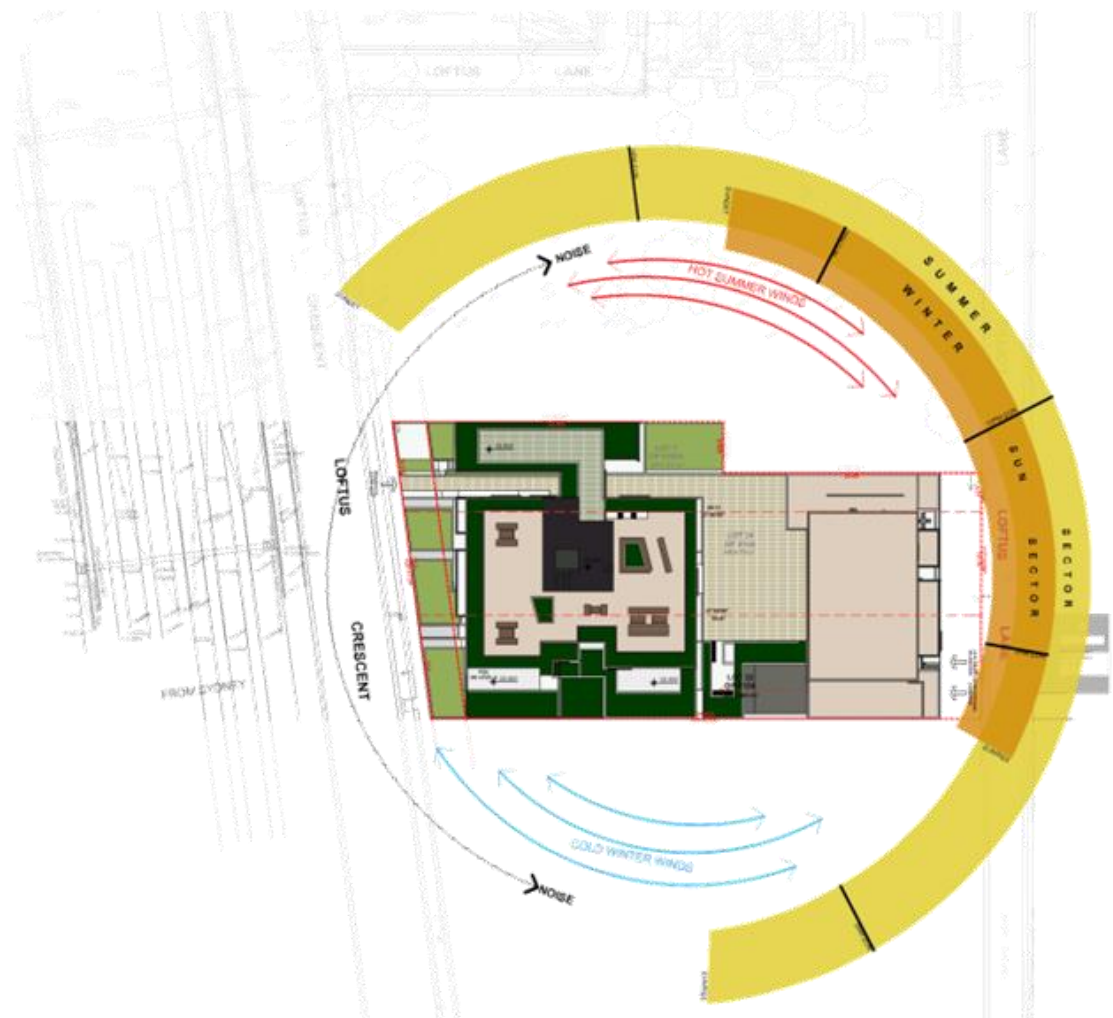


LOCALITY



Note: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. IF PREPARING SHOP DRAWINGS, DO NOT SCALE DRAWING.

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Land Zoning Map - Sheet LZN_004

- Zone**
- B1 Neighbourhood Centre
 - E-1 Local Centre
 - E-3 Commercial Core
 - B4 Mixed Use
 - EB Enterprise Corridor
 - B7 Business Park
 - E-2 Environmental Conservation
 - IN1 General Industrial
 - IN2 Light Industrial
 - R2 Low Density Residential
 - R3 Medium Density Residential
 - R4 High Density Residential
 - RE1 Public Recreation
 - RE2 Private Recreation
 - SP1 Special Activities
 - SP2 Infrastructure
- Cadastre**
20/07/08 © Land and Property Information (LPI)



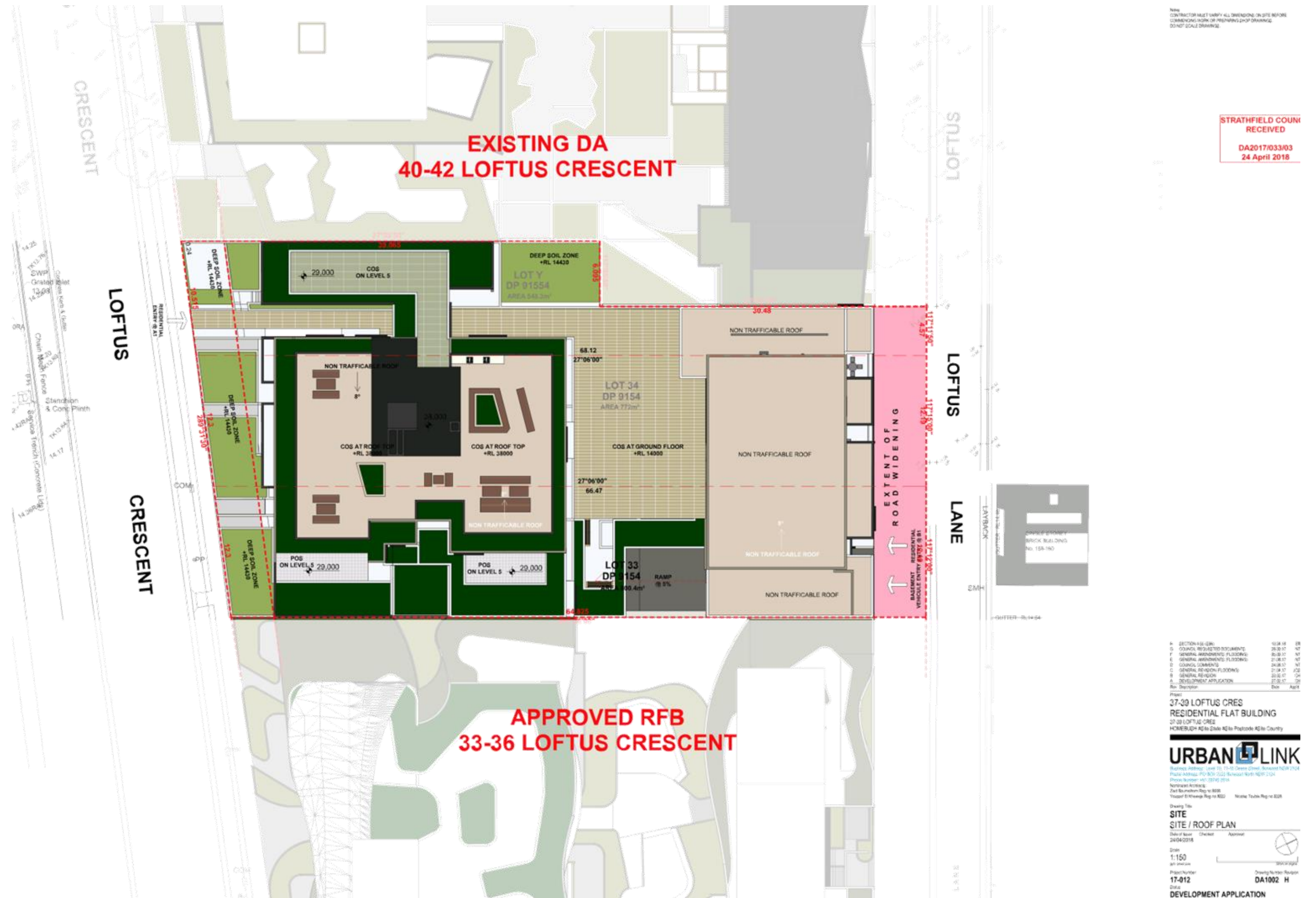
Land Zoning Map - R4 - High Density Residential

A	SECTION 94 (SR)	10/08/17	SR
G	COUNCIL REQUESTED DOCUMENT	20/03/17	NT
F	GENERAL AMENDMENTS FLOODING	30/03/17	NT
E	GENERAL AMENDMENTS FLOODING	21/08/17	NT
D	COUNCIL COMMENTS	24/08/17	NT
C	GENERAL REGION FLOODING	21/08/17	NT
B	GENERAL REGION	20/08/17	CH
A	DEVELOPMENT APPLICATION	17/08/17	CH
Rev	Description	Date	Appr

Project:
**37-39 LOFTUS CRES
RESIDENTIAL FLAT BUILDING**
37-39 LOFTUS CRES
HOMERUSH 4516 State 4516 Postcode 4516 County

URBANLINK
Business Address: Unit 10, 11-15 Green Street, Strathfield NSW 2159
Public Address: PO Box 1222 Strathfield NSW 2159
Phone Number: +61 (0)2 942 2014
Nonprofit Address:
2nd Strathfield Bldg 14/1500
Yusupf @ Kneep Reg 14/1500 Nicole Tuckey Reg 14/1500

Drawing Title:
SITE
SITE LOCATION & ANALYSIS
Date of Issue: 24/04/2018
Date of Issue: 24/04/2018
Scale: 1:400
Project Number: 17-012
Drawing Number: A
Drawing Title: DEVELOPMENT APPLICATION



Note:
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE
COMMENCING WORK OR PREPARING SHOP DRAWINGS.
DO NOT SCALE DRAWING.

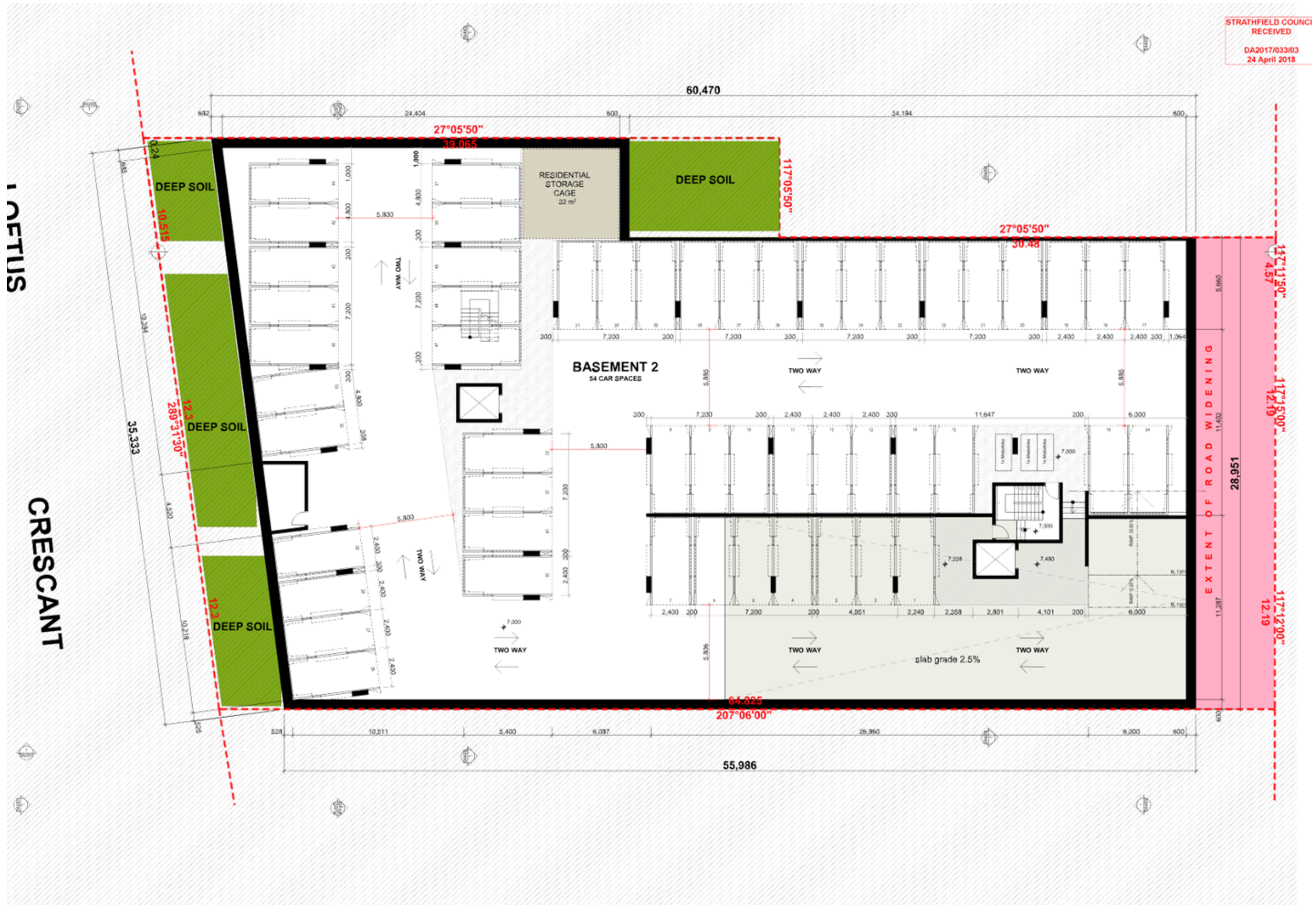
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24 April 2018

A - SECTION 94 (SR)	10/04/18	SR
B - COUNCIL REQUESTED DOCUMENT	28/03/17	NT
F - GENERAL AMENDMENTS FLOODING	30/03/17	NT
E - GENERAL AMENDMENTS FLOODING	27/03/17	NT
D - COUNCIL COMMENTS	24/03/17	NT
C - GENERAL AMENDMENTS FLOODING	27/03/17	NT
B - GENERAL AMENDMENTS FLOODING	23/03/17	NT
A - DEVELOPMENT APPLICATION	27/03/17	SR
Prep: Developer	Doc: April	

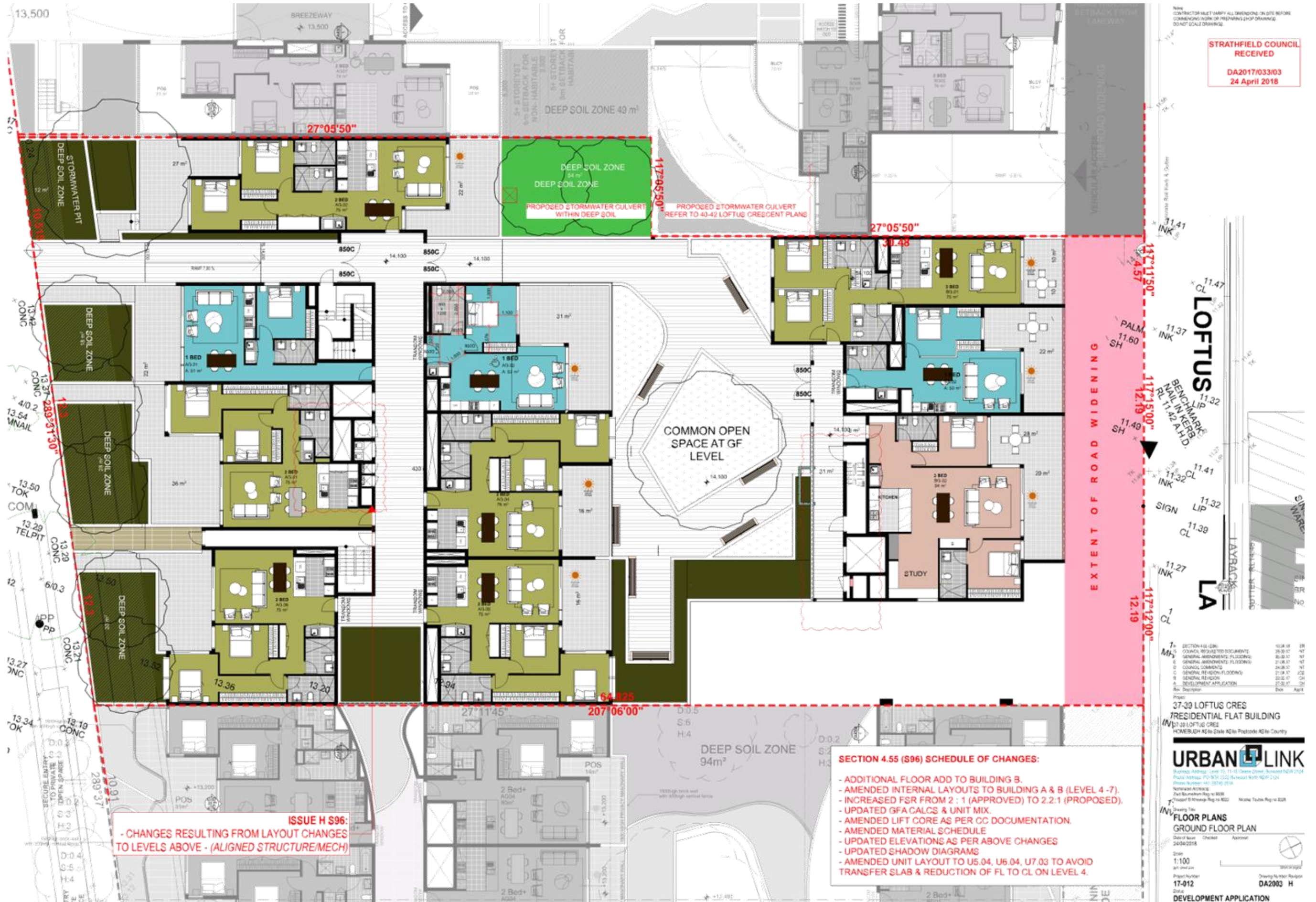
Project:
**37-39 LOFTUS CRES
RESIDENTIAL FLAT BUILDING**
37-39 LOFTUS CRES
HOMERLEIGH 4516 State 4516 Postcode 4516 Country

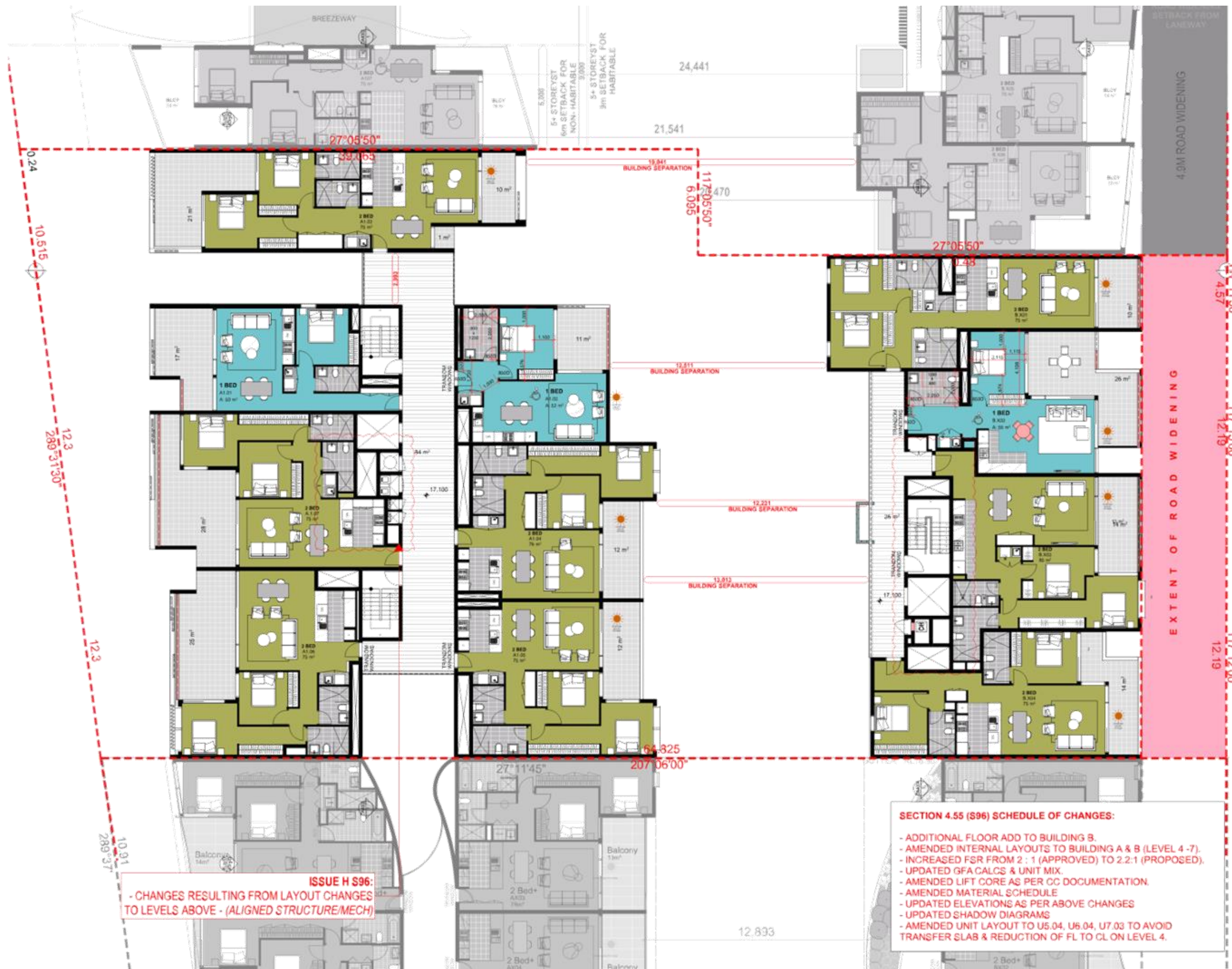
URBANLINK
Business Address: Level 10, 11-15 Green Street, Brisbane QLD 4000
Postal Address: PO Box 2222, Brisbane QLD 4000
Phone Number: +61 7 3242 2014
Nonprofit Accounting:
Zed Foundation Reg No 8558
Trustee: Zed Foundation Reg No 8558 Website: Urbanlink.org.au

Drawing Title:
SITE / ROOF PLAN
Date of Issue: 24/04/2018
Scale: 1:150
Project Number: 17-012
Drawing Number: DA1002 H
Date: []
Development Application









Note
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

BASIC COMMITMENTS NOTES

NO.	DESCRIPTION	DATE
1	Issue for Council approval	24 April 2018
2	Issue for Council approval	24 April 2018
3	Issue for Council approval	24 April 2018
4	Issue for Council approval	24 April 2018
5	Issue for Council approval	24 April 2018
6	Issue for Council approval	24 April 2018
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49	Issue for Council approval	24 April 2018
50	Issue for Council approval	24 April 2018

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24 April 2018

ISSUE H S96:
- CHANGES RESULTING FROM LAYOUT CHANGES TO LEVELS ABOVE - (ALIGNED STRUCTURE/MECH)

SECTION 4.55 (S96) SCHEDULE OF CHANGES:

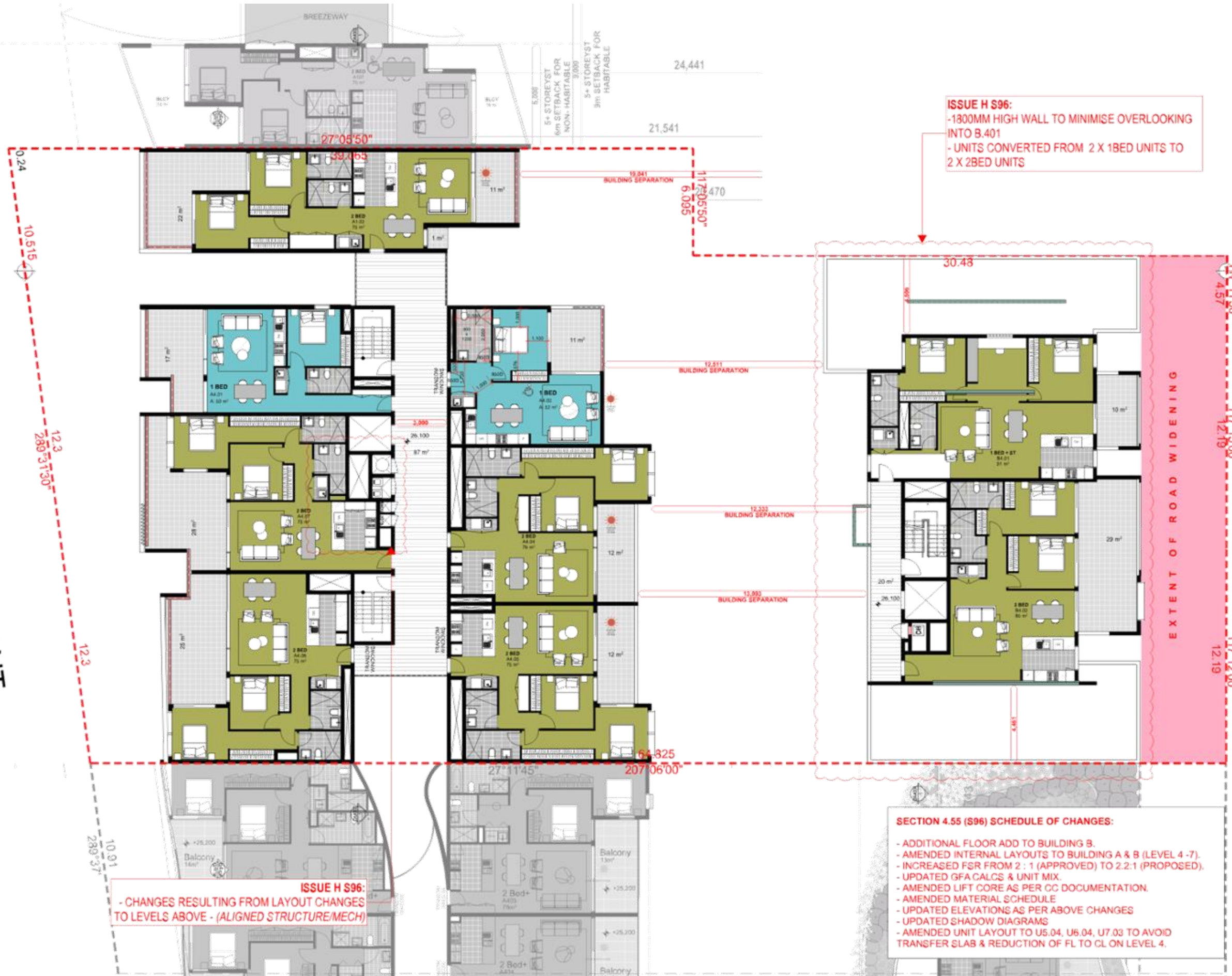
- ADDITIONAL FLOOR ADD TO BUILDING B.
- AMENDED INTERNAL LAYOUTS TO BUILDING A & B (LEVEL 4 - 7).
- INCREASED FSR FROM 2 : 1 (APPROVED) TO 2.2:1 (PROPOSED).
- UPDATED GFA CALCS & UNIT MIX.
- AMENDED LIFT CORE AS PER CC DOCUMENTATION.
- AMENDED MATERIAL SCHEDULE
- UPDATED ELEVATIONS AS PER ABOVE CHANGES
- UPDATED SHADOW DIAGRAMS
- AMENDED UNIT LAYOUT TO U5.04, U6.04, U7.03 TO AVOID TRANSFER SLAB & REDUCTION OF FL TO CL ON LEVEL 4.

NO.	DESCRIPTION	DATE	BY
1	SECTION 4.55 (S96)	10/04/18	DR
2	COUNCIL REQUESTED DOCUMENTS	20/04/18	DR
3	GENERAL AMENDMENTS FLOORING	20/04/18	DR
4	GENERAL AMENDMENTS FLOORING	21/04/18	DR
5	COUNCIL COMMENTS	24/04/18	DR
6	GENERAL AMENDMENTS FLOORING	27/04/18	DR
7	GENERAL AMENDMENTS FLOORING	27/04/18	DR
8	GENERAL AMENDMENTS FLOORING	27/04/18	DR
9	DEVELOPMENT APPLICATION	27/04/18	DR
10	DEVELOPMENT APPLICATION	27/04/18	DR

Project:
37-39 LOFTUS CRES
RESIDENTIAL FLAT BUILDING
37-39 LOFTUS CRES
HOMERLEIGH NSW 2148 NSW State of New South Wales

URBANLINK
Business Address: Unit 10, 11 & 12 Green Street, Strathfield NSW 2159
Postal Address: PO BOX 1022 Strathfield NSW 2159
Phone Number: 02 9549 2014
Fax Number: 02 9549 2014
Company Name: Urban Link Pty Ltd
ABN: 61 629 480 000
VATP: 61 629 480 000
Website: www.urbanlink.com.au

Drawing Title:
FLOOR PLANS
LEVEL 01-03
Date of Issue: 24/04/2018
Checked: [Signature]
Approved: [Signature]
Scale: 1:100
Project Number: 17-012
Drawing Number: DA2004 H
Date: [Signature]
DEVELOPMENT APPLICATION



ISSUE H S96:
 - 1800MM HIGH WALL TO MINIMISE OVERLOOKING INTO B.401
 - UNITS CONVERTED FROM 2 X 1BED UNITS TO 2 X 2BED UNITS

ISSUE H S96:
 - CHANGES RESULTING FROM LAYOUT CHANGES TO LEVELS ABOVE - (ALIGNED STRUCTURE/MECH)

SECTION 4.55 (S96) SCHEDULE OF CHANGES:

- ADDITIONAL FLOOR ADD TO BUILDING B.
- AMENDED INTERNAL LAYOUTS TO BUILDING A & B (LEVEL 4-7).
- INCREASED FSR FROM 2 : 1 (APPROVED) TO 2.2:1 (PROPOSED).
- UPDATED GFA CALCS & UNIT MIX.
- AMENDED LIFT CORE AS PER CC DOCUMENTATION.
- AMENDED MATERIAL SCHEDULE
- UPDATED ELEVATIONS AS PER ABOVE CHANGES
- UPDATED SHADOW DIAGRAMS
- AMENDED UNIT LAYOUT TO U5.04, U6.04, U7.03 TO AVOID TRANSFER SLAB & REDUCTION OF FL TO CL ON LEVEL 4.

Note
 CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

BASIC COMMENTS NOTES

NO.	DESCRIPTION	DATE
1	ISSUE H S96	24/04/2018
2	ISSUE H S96	24/04/2018
3	ISSUE H S96	24/04/2018
4	ISSUE H S96	24/04/2018
5	ISSUE H S96	24/04/2018
6	ISSUE H S96	24/04/2018
7	ISSUE H S96	24/04/2018
8	ISSUE H S96	24/04/2018
9	ISSUE H S96	24/04/2018
10	ISSUE H S96	24/04/2018
11	ISSUE H S96	24/04/2018
12	ISSUE H S96	24/04/2018
13	ISSUE H S96	24/04/2018
14	ISSUE H S96	24/04/2018
15	ISSUE H S96	24/04/2018
16	ISSUE H S96	24/04/2018
17	ISSUE H S96	24/04/2018
18	ISSUE H S96	24/04/2018
19	ISSUE H S96	24/04/2018
20	ISSUE H S96	24/04/2018

NO.	DESCRIPTION	DATE
1	ISSUE H S96	24/04/2018
2	ISSUE H S96	24/04/2018
3	ISSUE H S96	24/04/2018
4	ISSUE H S96	24/04/2018
5	ISSUE H S96	24/04/2018
6	ISSUE H S96	24/04/2018
7	ISSUE H S96	24/04/2018
8	ISSUE H S96	24/04/2018
9	ISSUE H S96	24/04/2018
10	ISSUE H S96	24/04/2018
11	ISSUE H S96	24/04/2018
12	ISSUE H S96	24/04/2018
13	ISSUE H S96	24/04/2018
14	ISSUE H S96	24/04/2018
15	ISSUE H S96	24/04/2018
16	ISSUE H S96	24/04/2018
17	ISSUE H S96	24/04/2018
18	ISSUE H S96	24/04/2018
19	ISSUE H S96	24/04/2018
20	ISSUE H S96	24/04/2018

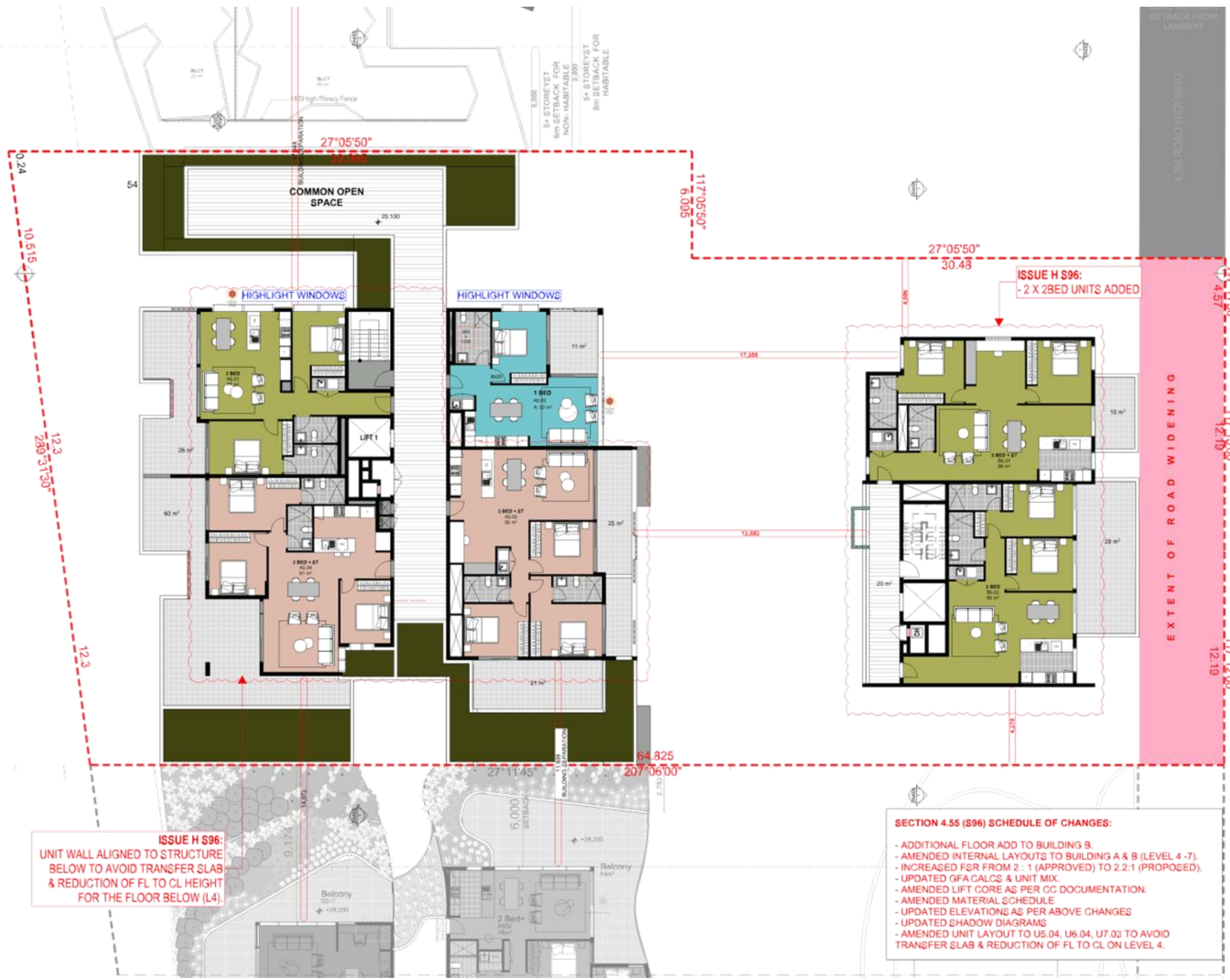
STRATHFIELD COUNCIL RECEIVED
 DA2017/033/03
 24 April 2018

NO.	DESCRIPTION	DATE	BY
1	SECTION 4.55 (S96)	10/04/18	DR
2	COUNCIL RESOLVED TO APPROVE	20/03/17	MT
3	GENERAL AMENDMENTS FLOODING	30/03/17	MT
4	GENERAL AMENDMENTS FLOODING	27/03/17	MT
5	COUNCIL COMMENTS	24/03/17	MT
6	GENERAL AMENDMENTS FLOODING	27/03/17	MT
7	GENERAL AMENDMENTS FLOODING	20/03/17	MT
8	GENERAL AMENDMENTS FLOODING	20/03/17	MT
9	GENERAL AMENDMENTS FLOODING	20/03/17	MT
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11	GENERAL AMENDMENTS FLOODING	20/03/17	MT
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17	GENERAL AMENDMENTS FLOODING	20/03/17	MT
18	GENERAL AMENDMENTS FLOODING	20/03/17	MT
19	GENERAL AMENDMENTS FLOODING	20/03/17	MT
20	GENERAL AMENDMENTS FLOODING	20/03/17	MT

37-39 LOFTUS CRES
RESIDENTIAL FLAT BUILDING
 37-39 LOFTUS CRES
 HOMERLEIGH QLD 4015 State 4015 Postcode 4015 County

URBANLINK
 Supply Address: Unit 55, 11-15 Green Street, Brisbane QLD 4000
 Postal Address: PO BOX 1022, Newstead QLD 4006
 Phone Number: 401 0949 2014
 Fax Number: 401 0949 2014
 Accounting Address: 2nd Sunbeam Reg 10 800
 Yeppan @ Kneep Reg 10 800
 Website: UrbanLink.com.au

FLOOR PLANS
LEVEL 04
 Date of Issue: 24/04/2018
 Checked: [Signature] Approved: [Signature]
 Scale: 1:100
 Project Number: 17-012
 Drawing Number: DA2005 H
 Date: [Signature]
DEVELOPMENT APPLICATION



REVISIONS

No.	Description	Date
1	Issue H S96: - 2 X 2BED UNITS ADDED	24 April 2018

STRATHFIELD COUNCIL RECEIVED
 DA2017/033/03
 24 April 2018

SECTION 4.55 (S96) SCHEDULE OF CHANGES:

- ADDITIONAL FLOOR ADD TO BUILDING B.
- AMENDED INTERNAL LAYOUTS TO BUILDING A & B (LEVEL 4-7).
- INCREASED FSR FROM 2 : 1 (APPROVED) TO 2.2:1 (PROPOSED).
- UPDATED GFA CALCS & UNIT MIX.
- AMENDED LIFT CORE AS PER CC DOCUMENTATION.
- AMENDED MATERIAL SCHEDULE
- UPDATED ELEVATIONS AS PER ABOVE CHANGES
- UPDATED SHADOW DIAGRAMS
- AMENDED UNIT LAYOUT TO U5.04, U6.04, U7.03 TO AVOID TRANSFER SLAB & REDUCTION OF FL TO CL ON LEVEL 4.

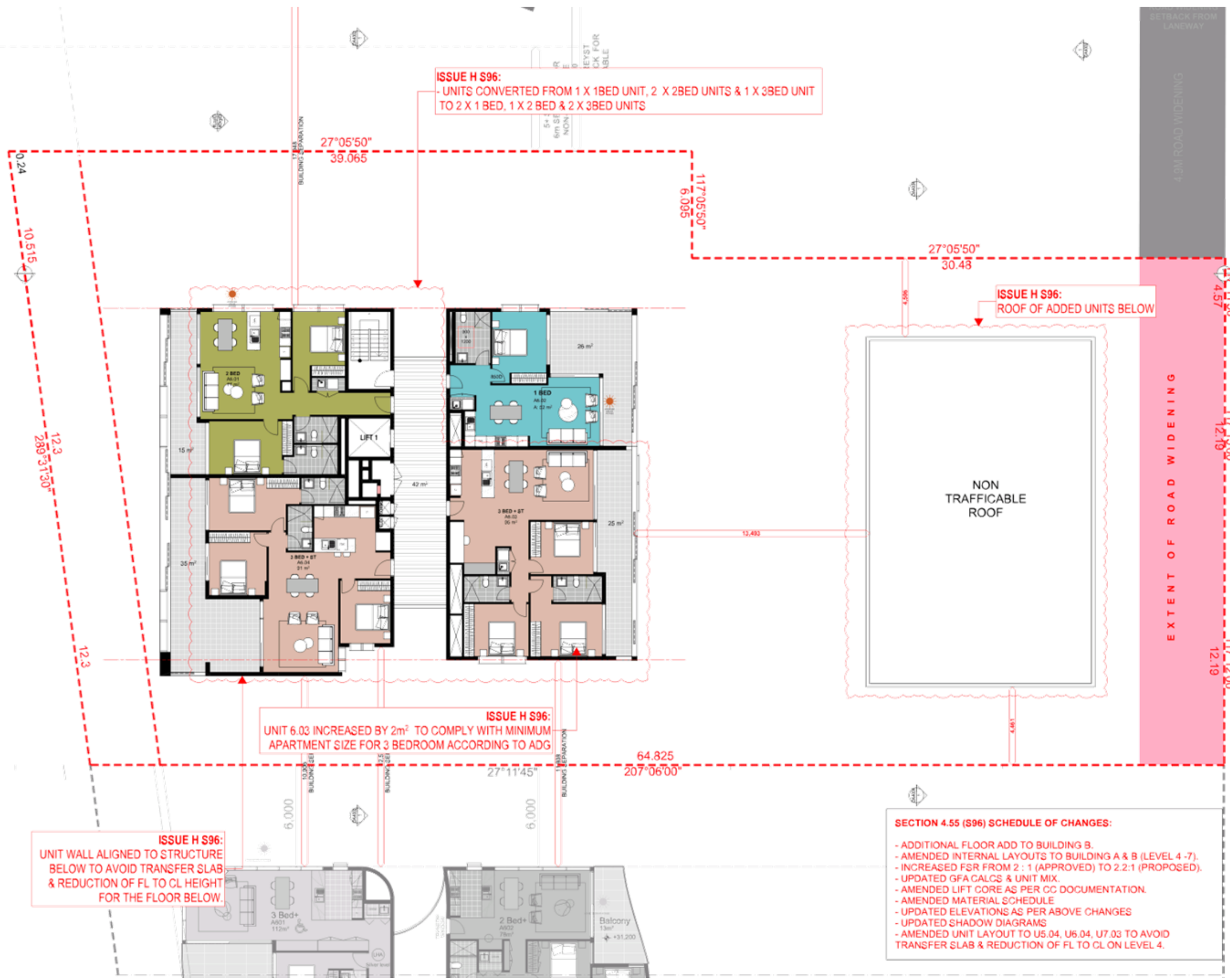
URBANLINK
 Business Address: Unit 10, 11 & 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
 Phone: 02 9511 1111
 Fax: 02 9511 1112
 Email: info@urbanlink.com.au
 Website: www.urbanlink.com.au

**37-39 LOFTUS CRES
 RESIDENTIAL FLAT BUILDING**
 37-39 LOFTUS CRES
 HOMERLEIGH QLD 4015

**FLOOR PLANS
 LEVEL 05**

Date of Issue: 24/04/2018
 Checked: [Signature]
 Approved: [Signature]

Scale: 1:100
 Project Number: 17-012
 Drawing Number: DA2006 H



ISSUE H S96:
 - UNITS CONVERTED FROM 1 X 1BED UNIT, 2 X 2BED UNITS & 1 X 3BED UNIT TO 2 X 1 BED, 1 X 2 BED & 2 X 3BED UNITS

ISSUE H S96:
 ROOF OF ADDED UNITS BELOW

ISSUE H S96:
 UNIT 6.03 INCREASED BY 2m² TO COMPLY WITH MINIMUM APARTMENT SIZE FOR 3 BEDROOM ACCORDING TO ADG

ISSUE H S96:
 UNIT WALL ALIGNED TO STRUCTURE BELOW TO AVOID TRANSFER SLAB & REDUCTION OF FL TO CL HEIGHT FOR THE FLOOR BELOW.

SECTION 4.55 (S96) SCHEDULE OF CHANGES:

- ADDITIONAL FLOOR ADD TO BUILDING B.
- AMENDED INTERNAL LAYOUTS TO BUILDING A & B (LEVEL 4-7).
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Note: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

BASE COMMENTS NOTES

NO.	DESCRIPTION	DATE
1	ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.	24/04/18
2	ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.	24/04/18
3	ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.	24/04/18
4	ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.	24/04/18
5	ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.	24/04/18
6	ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.	24/04/18
7	ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.	24/04/18
8	ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.	24/04/18
9	ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.	24/04/18
10	ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.	24/04/18

STRATHFIELD COUNCIL RECEIVED
 DA2017/033/03
 24 April 2018

SECTION	DATE	BY
A - SECTION 4.55 (S96)	10/04/18	UR
B - COUNCIL REQUESTED DOCUMENTS	19/05/17	UR
C - GENERAL AMENDMENTS FLOORING	06/05/17	UR
D - GENERAL AMENDMENTS FLOORING	27/08/17	UR
E - COUNCIL COMMENTS	24/08/17	UR
F - GENERAL AMENDMENTS FLOORING	27/08/17	UR
G - GENERAL AMENDMENTS FLOORING	20/08/17	UR
H - DEVELOPMENT APPLICATION	27/08/17	UR
Rev. Description	Date	By

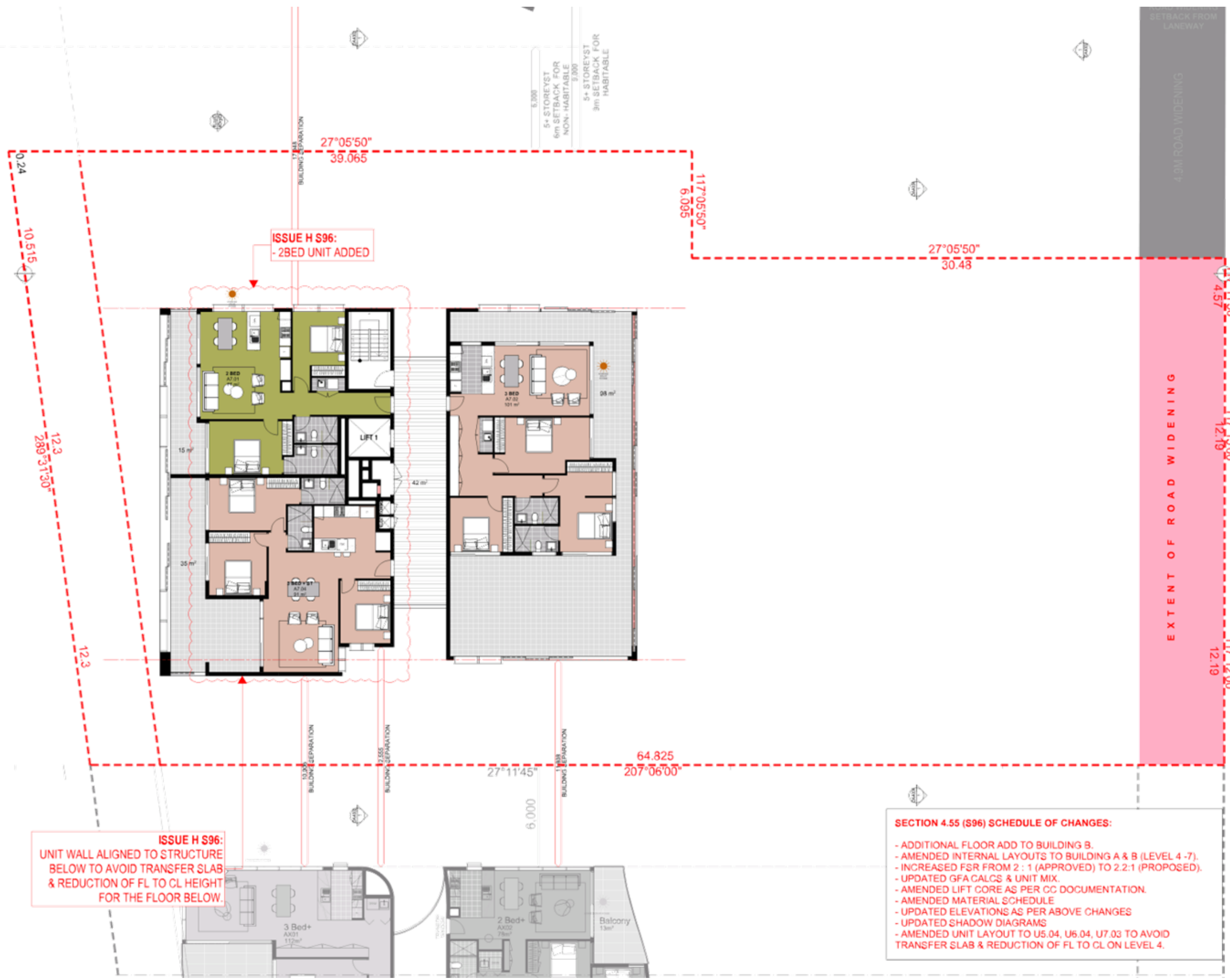
Project:
 37-39 LOFTUS CRES
 RESIDENTIAL FLAT BUILDING
 37-39 LOFTUS CRES
 HOMERLEIGH NSW 2148 NSW State of New South Wales

URBANLINK
 Business Address: Unit 10/11-15 Drake Street, Strathfield NSW 2154
 Postal Address: PO BOX 1222 Strathfield NSW 2154
 Phone Number: +61 2 9740 2014
 Fax Number: +61 2 9740 2014
 Website: www.urbanlink.com.au
 Licences: NSW Planning Reg No 8228 NSW Trade Reg No 8228

FLOOR PLANS
LEVEL 06

Date of Issue: 24/04/2018
 Checked: [Signature]
 Approved: [Signature]

Scale: 1:100
 Drawing Number: 17-012
 Project Number: DA2007 H
 Date: [Signature]
 DEVELOPMENT APPLICATION



BASE COMMENTS NOTES

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

NO.	DESCRIPTION	DATE	BY
1	Issue H S96: - 2BED UNIT ADDED	24 April 2018	DA2017/033/03

STRATHFIELD COUNCIL RECEIVED
 DA2017/033/03
 24 April 2018

Rev.	Description	Date	By
1	SECTION 4.55 (S96)	10/04/18	DA
2	COUNCIL REQUESTED DOCUMENTS	20/03/17	DA
3	GENERAL AMENDMENTS FLOORING	06/03/17	DA
4	GENERAL AMENDMENTS FLOORING	27/08/17	DA
5	COUNCIL COMMENTS	24/04/17	DA
6	GENERAL REVISION FLOORING	27/04/17	DA
7	GENERAL REVISION	20/02/17	DA
8	DEVELOPMENT APPLICATION	27/02/17	DA

**37-39 LOFTUS CRES
 RESIDENTIAL FLAT BUILDING**
 37-39 LOFTUS CRES
 HOMERLEIGH NSW 2148 NSW State of New South Wales

URBAN LINK
 Building Address: Level 10, 11 & 12, 37-39 Loftus Cres, Strathfield NSW 2154
 Postal Address: PO BOX 1222, Strathfield NSW 2154
 Phone Number: +61 2 9740 2014
 Website: www.urbanlink.com.au
 URBAN LINK is a registered company in NSW
 URBAN LINK is a registered company in NSW

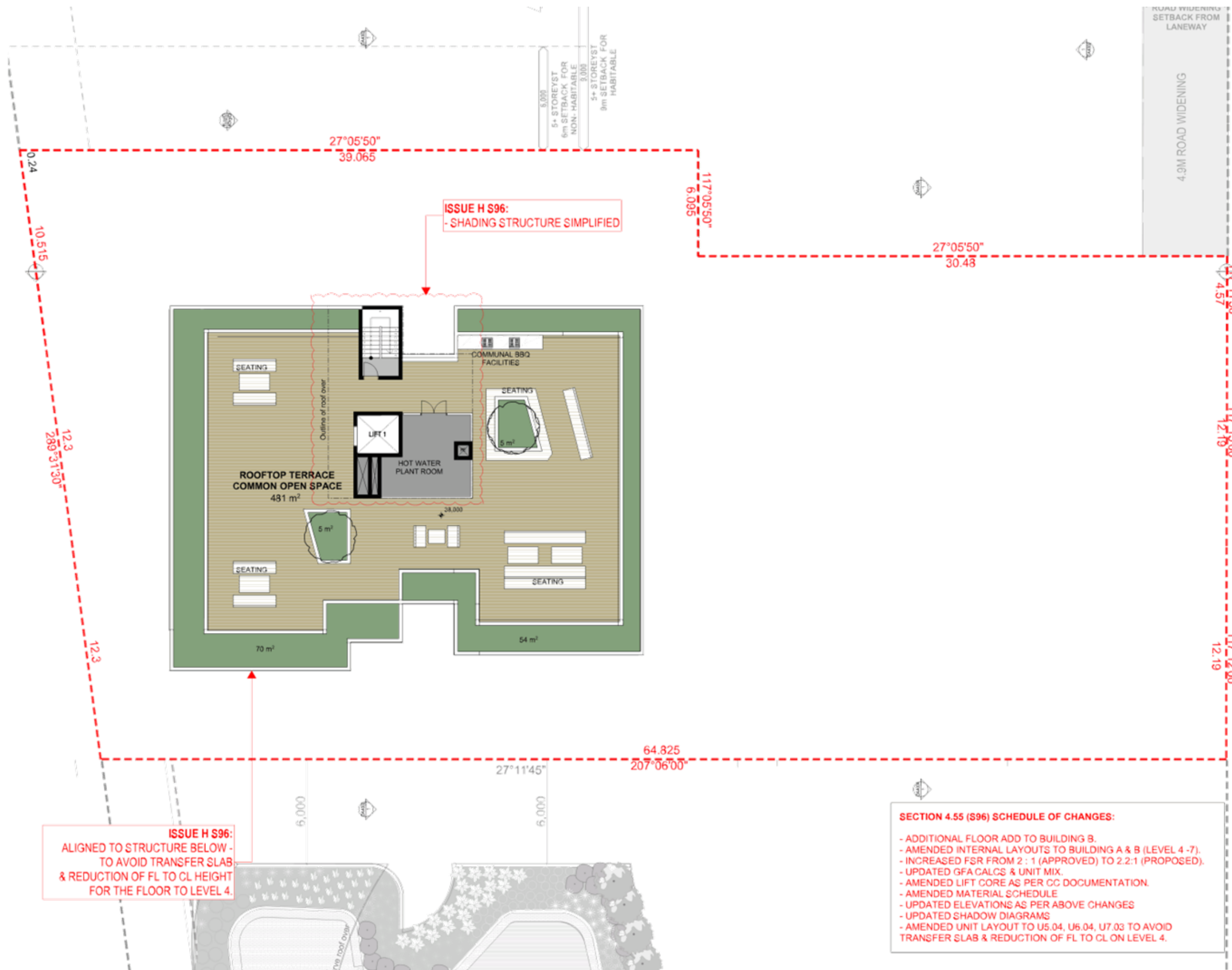
**FLOOR PLANS
 LEVEL 07**

Date of Issue: 24/04/2018
 Checked: [Signature]
 Approved: [Signature]

Scale: 1:100
 Project Number: 17-012
 Drawing Number: DA2008 H
 Date: [Signature]

DEVELOPMENT APPLICATION

- SECTION 4.55 (S96) SCHEDULE OF CHANGES:**
- ADDITIONAL FLOOR ADD TO BUILDING B.
 - AMENDED INTERNAL LAYOUTS TO BUILDING A & B (LEVEL 4-7).
 - INCREASED FSR FROM 2 : 1 (APPROVED) TO 2.2:1 (PROPOSED).
 - UPDATED GFA CALCS & UNIT MIX.
 - AMENDED LIFT CORE AS PER CC DOCUMENTATION.
 - AMENDED MATERIAL SCHEDULE
 - UPDATED ELEVATIONS AS PER ABOVE CHANGES
 - UPDATED SHADOW DIAGRAMS
 - AMENDED UNIT LAYOUT TO U5.04, U6.04, U7.03 TO AVOID TRANSFER SLAB & REDUCTION OF FL TO CL ON LEVEL 4.



BASE COMMENTS/NOTES

NO.	DESCRIPTION	DATE	BY
1	Issue H S96: - SHADING STRUCTURE SIMPLIFIED	24/04/2018	DA2017/033/03

STRATHFIELD COUNCIL RECEIVED
DA2017/033/03
24 April 2018

SECTION 4.55 (S96) SCHEDULE OF CHANGES:

- ADDITIONAL FLOOR ADD TO BUILDING B.
- AMENDED INTERNAL LAYOUTS TO BUILDING A & B (LEVEL 4 -7).
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NO.	DESCRIPTION	DATE	BY
1	SECTION 4.55 (S96)	10/04/18	DA
2	COUNCIL REQUESTED DOCUMENTS	19/03/17	DA
3	GENERAL AMENDMENTS FLOORING	06/03/17	DA
4	GENERAL AMENDMENTS FLOORING	27/08/17	DA
5	COUNCIL COMMENTS	24/08/17	DA
6	GENERAL REVISION FLOORING	27/08/17	DA
7	GENERAL REVISION	20/08/17	DA
8	DEVELOPMENT APPLICATION	17/08/17	DA

Project:
**37-39 LOFTUS CRES
RESIDENTIAL FLAT BUILDING**
37-39 LOFTUS CRES
HOMERLEIGH QLD 4015 State QLD 4015 Postcode QLD 4015 Country

URBANLINK
Business Address: Level 10, 11-15 Cross Street, Strathfield NSW 2154
Postal Address: PO BOX 1222 Strathfield NSW 2154
Phone Number: +61 29740 2014
Non-Residential Address:
Zetel Strathfield Reg no 8228
Yaspeel 0 Knowledge Reg no 8228
Noble Trade Reg no 8228

Drawing Title:
**FLOOR PLANS
LEVEL 08 ROOFTOP**
Date of Issue: 24/04/2018
Scale: 1:100
Project Number: 17-012
Drawing Number: DA2009 H
Date: 24/04/2018

STRATHFIELD COUNCIL
RECEIVED
DA2017/033/03
24 April 2018



Note: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS TO NOT SCALE DRAWING.

LEGEND
MATERIAL SCHEDULE

- 01 ACRYLIC PAINT FINISH
DULUX MOCHA MAGIC
- 02 ACRYLIC PAINT FINISH
DULUX LEXICON HALF
- 03 ACRYLIC PAINT FINISH
DULUX TEA HOUSE
- 04 ACRYLIC PAINT FINISH
DULUX MILTON MOON
- 05 Stone Cladding

LEGEND
DESCRIPTION MATERIAL / FINISH

- 01 Exterior Wall - Mineral Based Masonry
- 02 Exterior Wall - Mineral Based Masonry
- 03 Exterior Wall - Mineral Based Masonry
- 04 Exterior Wall - Mineral Based Masonry
- 05 Exterior Wall - Mineral Based Masonry
- 06 Exterior Wall - Mineral Based Masonry
- 07 Exterior Wall - Mineral Based Masonry
- 08 Exterior Wall - Mineral Based Masonry
- 09 Sliding Doors - Aluminium Frame (Black Anod. Dural) & Glass
- 10 Sliding Doors - Aluminium Frame (Black Anod. Dural) & Glass
- 11 Sliding Doors - Aluminium Frame (Black Anod. Dural) & Glass
- 12 Sliding Doors - Aluminium Frame (Black Anod. Dural) & Glass
- 13 Sliding Doors - Aluminium Frame (Black Anod. Dural) & Glass
- 14 Sliding Doors - Aluminium Frame (Black Anod. Dural) & Glass
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- 59 Sliding Doors - Aluminium Frame (Black Anod. Dural) & Glass
- 60 Sliding Doors - Aluminium Frame (Black Anod. Dural) & Glass

BASIC REQUIREMENTS

Building A

Paintwork/Asphalts:

- Chimneys 2.0 liter / Total 4 liter Kitchen Tap 5 liter Bathroom 3.0 liter Dishwashers 2.0 liter

Hot Water System - gas - hot water tank 2.2 liter

Bathroom/Kitchen/laundry ventilated with individual fan, ducted to terrace or roof

Cooling/Heating:

- Living area/Bedrooms - 1 phase air conditioning 2.0 liter

Kitchen tapset - gas and electric oven

Dishwasher - 2.0 liter

Building B

Paintwork/Asphalts:

- Chimneys 2.0 liter / Total 4 liter Kitchen Tap 5 liter Bathroom 3.0 liter Dishwashers 2.0 liter

Hot Water System - gas - hot water tank 2.2 liter

Bathroom/Kitchen/laundry ventilated with individual fan, ducted to terrace or roof

Cooling/Heating:

- Living area/Bedrooms - 1 phase air conditioning 2.0 liter

Kitchen tapset - gas and electric oven

Dishwasher - 2.0 liter

Project:
**37-39 LOFTUS CRES
RESIDENTIAL FLAT BUILDING**
37-39 LOFTUS CRES
HOMERLEIGH QLD 4015 State QLD 4015 Postcode QLD 4015 County

URBANLINK

Building Approval: 1447 55, 11-15 Green Street, Brisbane QLD 4004
Plan Number: PD 304 0222 Approval Ref: NDP 2134
Drawn Number: 447 0240 2014
Nominated Architect:
Zed Sustainable Pty Ltd
Yusuf El Khayry Reg no 8552 Nicole Tuckey Reg no 8228

Drawn by:
**ELEVATIONS
LOFTUS CRESCENT**
Date of Issue: 24/04/2018
Checked: Approved: [Signature]

Scale:
1:100
Project Number:
17-012
Drawing Number: **DA3001 H**
Date:
DEVELOPMENT APPLICATION

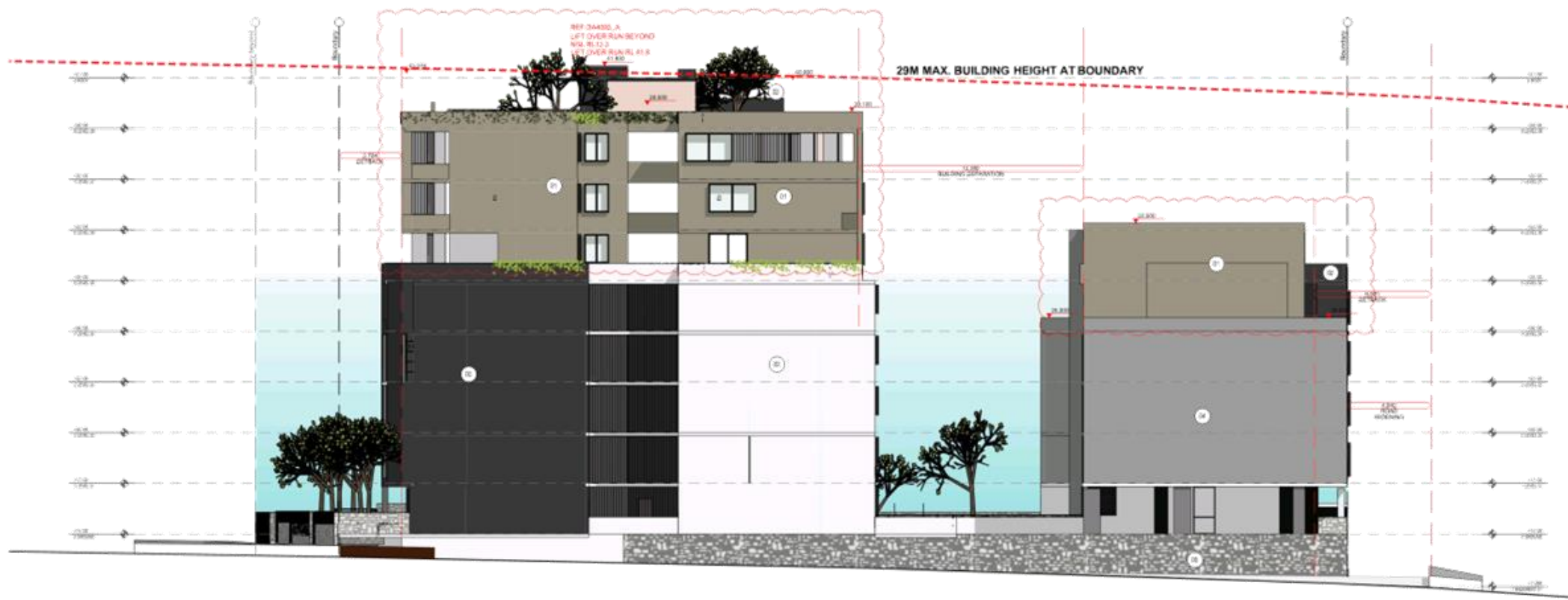
- SECTION 4.55 (S96) SCHEDULE OF CHANGES:**
- ADDITIONAL FLOOR ADD TO BUILDING B.
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BASIC COMMITMENTS NOTES

WATER	Water: All Showers/Toilets, All Toilet Flushing systems, All Kitchen Sinks, All Bathroom Sinks
Fire Services	Fire Services: All Showers/Toilets, All Toilet Flushing systems, All Kitchen Sinks, All Bathroom Sinks
Electricity	Electricity: All Showers/Toilets, All Toilet Flushing systems, All Kitchen Sinks, All Bathroom Sinks
BASIC APPROVED	Basic Approved: All Showers/Toilets, All Toilet Flushing systems, All Kitchen Sinks, All Bathroom Sinks
COMMON AREAS	Common Areas: All Showers/Toilets, All Toilet Flushing systems, All Kitchen Sinks, All Bathroom Sinks

Building Elements	Material	Detail
Roof	Asph/Flt	Asph/Flt
External Walls	Brick	Brick
Internal Walls	Plaster	Plaster
Floors	Concrete	Concrete
Windows	Alum/Frame	Alum/Frame
Doors	Alum/Frame	Alum/Frame
Staircases	Concrete	Concrete
Ramp	Concrete	Concrete
Roof Deck	Asph/Flt	Asph/Flt
Roof Structure	Steel	Steel
Roof Cladding	Asph/Flt	Asph/Flt
Roof Gutter	Alum/Frame	Alum/Frame
Roof Downpipe	Alum/Frame	Alum/Frame
Roof Ventilation	Alum/Frame	Alum/Frame
Roof Insulation	Asph/Flt	Asph/Flt
Roof Waterproofing	Asph/Flt	Asph/Flt
Roof Flashing	Alum/Frame	Alum/Frame
Roof Handrails	Alum/Frame	Alum/Frame
Roof Fencing	Alum/Frame	Alum/Frame
Roof Gates	Alum/Frame	Alum/Frame
Roof Windows	Alum/Frame	Alum/Frame
Roof Doors	Alum/Frame	Alum/Frame
Roof Stairs	Concrete	Concrete
Roof Ramps	Concrete	Concrete
Roof Lifts	Concrete	Concrete
Roof Escalators	Concrete	Concrete
Roof Stairs	Concrete	Concrete
Roof Ramps	Concrete	Concrete
Roof Lifts	Concrete	Concrete
Roof Escalators	Concrete	Concrete

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24 April 2018



Note: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWINGS.

LEGEND

MATERIAL SCHEDULE

01	ACRYLIC PAINT FINISH DULUX MOCHA MAGIC
02	ACRYLIC PAINT FINISH DULUX LEXICON HALF
03	ACRYLIC PAINT FINISH DULUX TEA HOUSE
04	ACRYLIC PAINT FINISH DULUX MILTON MOON
05	Stone Cladding

LEGEND

DESCRIPTION MATERIAL / FINISH

01	Exterior Wall	Woodward Stone Match
02	Exterior Wall	Woodward Stone Match - Stone
03	Exterior Wall	Woodward Timber Drop
04	Basement	Flow Coat Floor Slab - Gray
05	Exterior Wall	Face brick cladding to match external features
06	Exterior Wall	Face Concrete Finish
07	Exterior Wall	Hand-applied White Plaster
08	Basement	Minimum 100mm Fibre Reinforced Concrete Slab with 50mm Dural Mesh
09	Basement	Minimum 100mm Fibre Reinforced Concrete Slab with 50mm Dural Mesh
10	Basement	Minimum 100mm Fibre Reinforced Concrete Slab with 50mm Dural Mesh
11	Concrete	Minimum 100mm Fibre Reinforced Concrete Slab with 50mm Dural Mesh

F - Floor Cladding
H - Hand-applied plaster



Building Elements

Element	Material	Detail
Roof/Deck	Concrete Slab with 40mm Dural Mesh	Refer to structural drawings
Roof/Garden	Concrete Slab with 40mm Dural Mesh	Refer to structural drawings
Structure	Concrete Slab with 40mm Dural Mesh	Refer to structural drawings
Structure	Concrete Slab with 40mm Dural Mesh	Refer to structural drawings
Structure	Concrete Slab with 40mm Dural Mesh	Refer to structural drawings
Structure	Concrete Slab with 40mm Dural Mesh	Refer to structural drawings

Note: This table lists various building elements and their materials, such as concrete slabs with dural mesh for structural reinforcement.

BASIC COMMITMENTS NOTES

Refer to Section 4.55 (S96) Schedule of Changes for details on changes to the development application.

WATER
 • All Showers/Toilets: All water Building system. All hot water taps. All hot water storage. 1 litre/1.5 sec cold water. 1 litre/1.5 sec hot water.
 • Fire Service: Must be configured so that fire service hot water is contained within the fire service system. Refer to Section 4.55 (S96) Schedule of Changes.

ENERGY
 • Hot water system: Central Gas instantaneous - Refer to approved BASIS.
 • Air conditioning: Individual fan, ducted to facade or roof. Manual switch on/off.
 • Cooling system: Individual fan, ducted to facade or roof. Manual switch on/off.

ACCESS TO APPROVED BASIS
 • Lighting: As per BASIS.
 • Manual switch on/off: As per BASIS.
 • Manual switch on/off: As per BASIS.
 • Manual switch on/off: As per BASIS.
 • Manual switch on/off: As per BASIS.

COMMON AREAS
 • Refer to approved BASIS.

SECTION 4.55 (S96) SCHEDULE OF CHANGES:

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- UPDATED GFA CALCS & UNIT MIX.
- AMENDED LIFT CORE AS PER CC DOCUMENTATION.
- AMENDED MATERIAL SCHEDULE
- UPDATED ELEVATIONS AS PER ABOVE CHANGES
- UPDATED SHADOW DIAGRAMS
- AMENDED UNIT LAYOUT TO U5.04, U6.04, U7.03 TO AVOID TRANSFER SLAB & REDUCTION OF FL TO CL ON LEVEL 4.

K - SECTION 4.55 (S96)	10/04/18	EN
L - COUNCIL REQUESTED DOCUMENTS	20/03/17	AT
M - GENERAL AMENDMENTS - FLOODING	30/03/17	AT
N - GENERAL AMENDMENTS - FLOODING	27/04/17	AT
O - COUNCIL COMMENTS	26/04/17	AT
P - GENERAL AMENDMENTS - FLOODING	27/04/17	JOS
Q - GENERAL AMENDMENTS	20/04/17	OH
R - DEVELOPMENT APPLICATION	17/04/17	SH
Rev. Description	Date	Appr

**37-39 LOFTUS CRES
RESIDENTIAL FLAT BUILDING**
37-39 LOFTUS CRES
HOMERLEIGH QLD - State QLD to Postcode QLD to Country

URBANLINK
Business Address: Unit 10, 11-13 Green Street, Queensland QLD 4042
Postcode: QLD 4042
Phone Number: 08 9496 0344
Fax: 08 9496 0344
Registration: 2481 Queensland Reg No 8058
Company: 114699885 Queensland Reg No 8058
Website: UrbanLink.com.au

ELEVATIONS EAST/WEST

Date of Issue: Checked: Approved: _____
24/04/2018

Scale: 1:150, 1:100
Site: _____
Project Number: 17-012
Drawing Number: DA3003 H

DEVELOPMENT APPLICATION

Note
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS
DO NOT SCALE DRAWINGS



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24 April 2018

BASIC REQUIREMENTS
Building A
Floors/Levels: 2 (2) + 1 (1) + 4 (4) + 2 (2) = 9
Kitchen: Tap 2 (2) + 1 (1) + 2 (2) = 5
Bathroom: 2 (2) + 1 (1) + 2 (2) = 5

Building B
Floors/Levels: 2 (2) + 1 (1) + 4 (4) + 2 (2) = 9
Kitchen: Tap 2 (2) + 1 (1) + 2 (2) = 5
Bathroom: 2 (2) + 1 (1) + 2 (2) = 5

Rev	Description	Date
A	SECTION 4.55 (S96)	10/04/18
B	COUNCIL REJECTED DOCUMENT	20/03/17
F	GENERAL AMENDMENTS: FLOODING	27/08/17
G	COUNCIL COMMENTS	24/04/18
H	GENERAL AMENDMENTS: FLOODING	27/08/17
I	GENERAL AMENDMENTS: FLOODING	27/08/17
J	GENERAL AMENDMENTS: FLOODING	27/08/17
K	GENERAL AMENDMENTS: FLOODING	27/08/17
L	GENERAL AMENDMENTS: FLOODING	27/08/17



LOFTUS LANE

BASIC COMMITMENTS NOTES

Item	Description
WATER	AP: 100mm dia cold water supply; 50mm dia hot water supply; 25mm dia waste water supply; 25mm dia rainwater supply
POWER	AP: 100mm dia 3-phase 20kV supply; 25mm dia 240V single phase supply
SEWER	AP: 150mm dia 1.5m deep 300mm dia sewer; 150mm dia 1.5m deep 300mm dia stormwater

Building Elements

Building Elements	Material	Detail
Roof Deck	Concrete	Concrete
Roof Structure	Concrete	Concrete
Roof Insulation	Mineral Wool	Mineral Wool
Roof Membrane	Bitumen	Bitumen
Roof Drainage	Steel	Steel

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- AMENDED UNIT LAYOUT TO U5.04, U6.04, U7.03 TO AVOID TRANSFER SLAB & REDUCTION OF FL TO CL ON LEVEL 4.

URBANLINK
Building Services • 111-113 New Street, Brisbane QLD 4000
Phone: (07) 3222 4444 • Fax: (07) 3222 4444
Email: sales@urbanlink.com.au

Streetscape
LOFTUS LANE & CRES
27-30 LOFTUS CRES
HOMERLEIGH QLD 4018
Drawing Number: 17-012
DA2101 H

Note: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWINGS.

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Table with 2 columns: Category (Water, Fire, Energy, etc.) and Commitment/Notes.

Table with 3 columns: Building Elements, Material, and Detail.

- SECTION 4.55 (S96) SCHEDULE OF CHANGES: - ADDITIONAL FLOOR ADD TO BUILDING B. - AMENDED INTERNAL LAYOUTS TO BUILDING A & B (LEVEL 4-7). - INCREASED FSR FROM 2 : 1 (APPROVED) TO 2.2:1 (PROPOSED). - UPDATED GFA CALCS & UNIT MIX. - AMENDED LIFT CORE AS PER CC DOCUMENTATION. - AMENDED MATERIAL SCHEDULE - UPDATED ELEVATIONS AS PER ABOVE CHANGES - UPDATED SHADOW DIAGRAMS - AMENDED UNIT LAYOUT TO U5.04, U6.04, U7.03 TO AVOID TRANSFER SLAB & REDUCTION OF FL TO CL ON LEVEL 4.

Table with 3 columns: Building Elements, Material, and Detail. Includes notes at the bottom regarding dimension verification and structural requirements.

Revision table with columns: Rev, Description, Date, and Author.

37-39 LOFTUS CRES RESIDENTIAL FLAT BUILDING



AA Drawing title information.

Project Number: 17-012, Drawing Number: DA4001 H, Date: 24/04/2018.

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DA2017/033/03
24 April 2018

F - SECTION 4.55 (S96)	10/04/18	DR
G - COUNCIL REQUESTED DOCUMENT	20/05/18	MT
H - GENERAL AMENDMENTS: FLOORS	30/05/18	MT
I - GENERAL AMENDMENTS: FLOORS	27/06/18	MT
J - COUNCIL COMMENTS	26/06/18	MT
K - GENERAL AMENDMENTS: FLOORS	27/06/18	JCB
L - GENERAL AMENDMENTS	20/06/18	CH
M - DEVELOPMENT APPLICATION	27/06/18	CH
Rev. Description	Date	Appr.

**37-39 LOFTUS CRES
RESIDENTIAL FLAT BUILDING**
37-39 LOFTUS CRES
HOMERLEIGH QLD 4015 State QLD No. Prostrate QLD No. County



Business Address: 1440 St. Lawrence Street, Brisbane QLD 4000
Phone Number: 07 3270 2014
Fax Number: 07 3270 2014
Normal Business Hours: 9am - 5pm
Project: 37-39 Loftus Cres

SECTIONS

CC
Date of Issue: 24/04/2018
Checked: _____
Approved: _____

Scale: 1:100
Project Number: 17-012
Drawing Number: DA4003 H
Date: _____

DEVELOPMENT APPLICATION

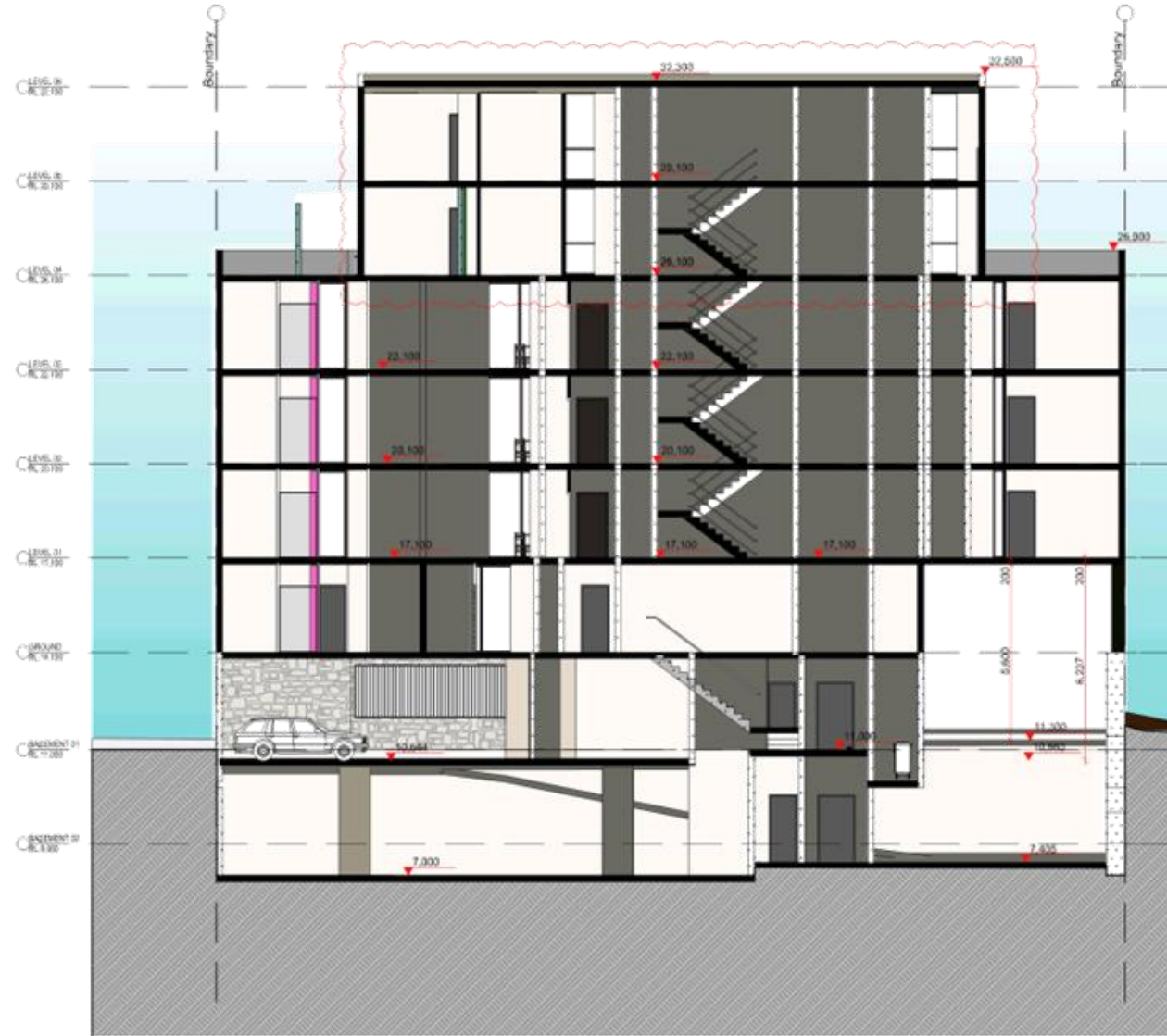
BASIC COMMITMENTS NOTES			
WATER	Water supply: All Showers/Toilets	Water supply: All Kitchen Sinks	Water supply: All Bathrooms/Toilets
ENERGY	Energy Rating: 4 star	Energy Rating: 4 star	Energy Rating: 4 star
MECHANICAL	Mechanical: Mechanical Ventilation	Mechanical: Mechanical Ventilation	Mechanical: Mechanical Ventilation
ACoustic	Acoustic: Acoustic Treatment	Acoustic: Acoustic Treatment	Acoustic: Acoustic Treatment
Other	Other: Other Commitments	Other: Other Commitments	Other: Other Commitments

Building Element	Material	Detail
External walls	Brickwork	Brickwork
Internal walls	Plasterboard	Plasterboard
Floors	Concrete	Concrete
Roofs	Asph/Flt	Asph/Flt
Staircases	Concrete	Concrete
Windows	Double Glazed	Double Glazed
Doors	Timber	Timber

- SECTION 4.55 (S96) SCHEDULE OF CHANGES:**
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STRATHFIELD COUNCIL RECEIVED
DA2017/033/03
24 April 2018



BASIS COMMITMENTS NOTES			
WATER	Water	Water	Water
Electricity	Electricity	Electricity	Electricity
Gas	Gas	Gas	Gas
Stormwater	Stormwater	Stormwater	Stormwater
Roof	Roof	Roof	Roof
Glazing	Glazing	Glazing	Glazing
Insulation	Insulation	Insulation	Insulation
Windows	Windows	Windows	Windows
Doors	Doors	Doors	Doors
Stairs	Stairs	Stairs	Stairs
Lift	Lift	Lift	Lift
Other	Other	Other	Other

Building Elements	Material	Detail
Structure	Concrete	As per drawings
Roof	As per drawings	As per drawings
Glazing	As per drawings	As per drawings
Insulation	As per drawings	As per drawings
Windows	As per drawings	As per drawings
Doors	As per drawings	As per drawings
Stairs	As per drawings	As per drawings
Lift	As per drawings	As per drawings
Other	As per drawings	As per drawings

SECTION 4.55 (S96) SCHEDULE OF CHANGES:

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A	SECTION 4.55 (S96)	10/08/18	EN
B	COUNCIL REQUESTED DOCUMENT	29/08/17	NT
C	GENERAL AMENDMENTS FLOODING	30/08/17	NT
D	GENERAL AMENDMENTS FLOODING	27/08/17	NT
E	COUNCIL COMMENTS	29/08/17	NT
F	GENERAL AMENDMENTS FLOODING	27/08/17	JCB
G	GENERAL AMENDMENTS FLOODING	29/08/17	CH
H	DEVELOPMENT APPLICATION	27/08/17	SH

Project:
37-39 LOFTUS CRES
RESIDENTIAL FLAT BUILDING
37-39 LOFTUS CRES
HOMERLEIGH QLD 4015 State QLD No Postcode QLD No County

URBAN LINK
Building Address: 1447 St. Ives Drive, Strathfield NSW 2154
Planning Ref: DA 2017/033/03
Drawing Title: SECTION 4.55 (S96)

Drawing Title: SECTION 4.55 (S96)

Drawn By: DD

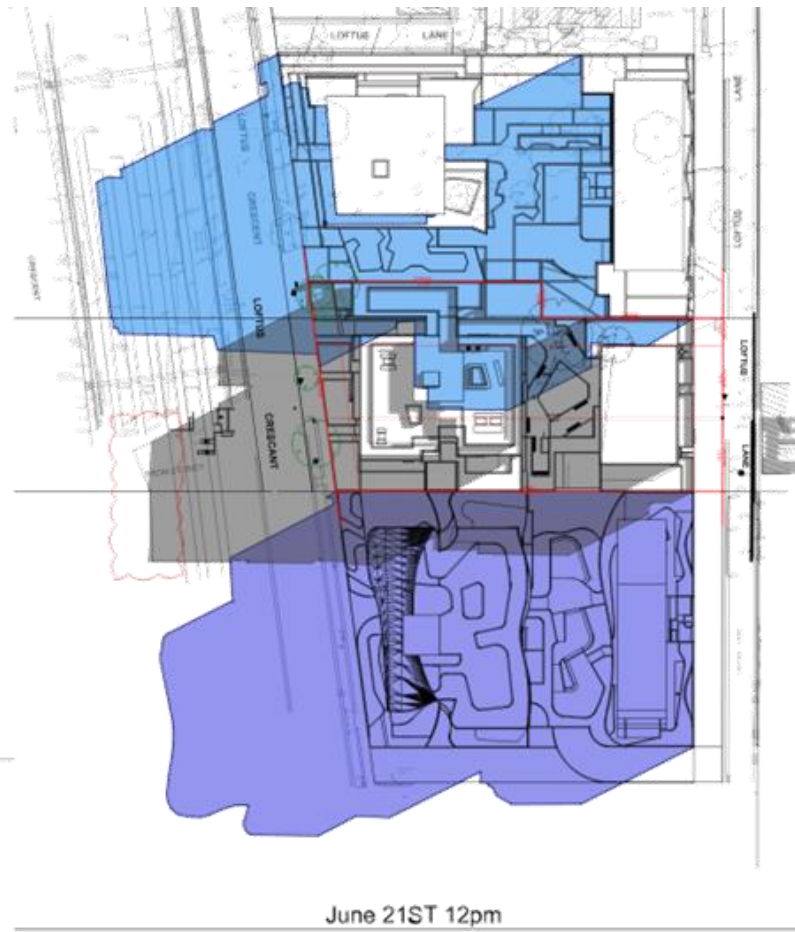
Date of Issue: 24/04/2018

Scale: 1:100

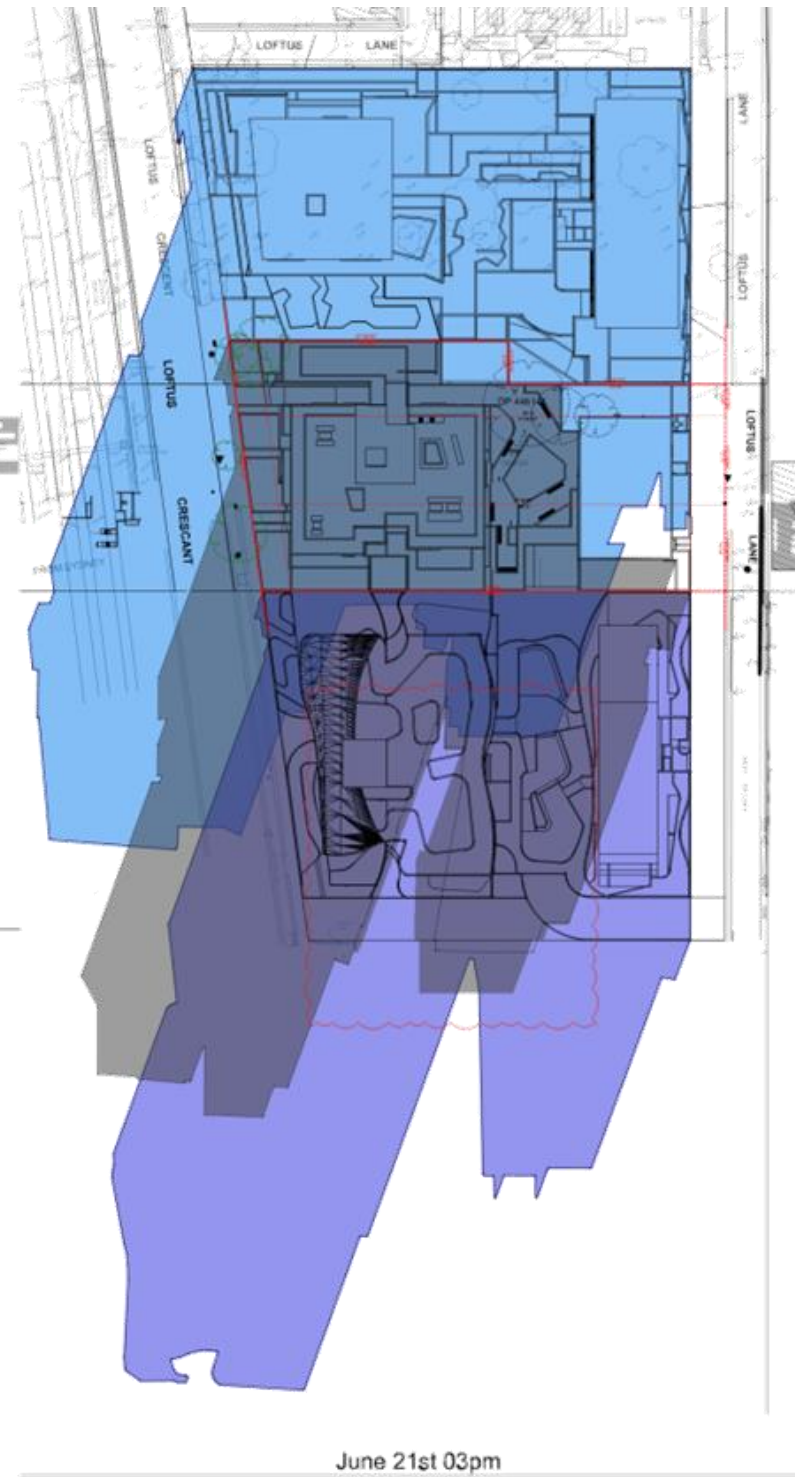
Project Number: 17-012
Drawing Number: DA4004 H
Date: DEVELOPMENT APPLICATION



June 21st 9am



June 21st 12pm



June 21st 03pm

Note: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWING.

-  APPROVED SHADOW
DA 2017/033
05/10/2017
-  PROPOSED SHADOW
-  NEIGHBOURING DEVELOPMENT SHADOW
-  NEIGHBOURING DEVELOPMENT SHADOW

SECTION 4.55 (S96) SCHEDULE OF CHANGES:

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A	SECTION 4.55 (S96)	26/06/18	DR
B	COUNCIL REQUESTED DOCUMENTS	26/06/18	NT
F	GENERAL AMENDMENTS: FLOORING	26/06/18	NT
E	GENERAL AMENDMENTS: FLOORING	27/06/18	NT
D	COUNCIL COMMENTS	26/06/18	NT
C	GENERAL AMENDMENTS: FLOORING	27/06/18	JCB
B	GENERAL REVIEW	20/06/18	CH
A	DEVELOPMENT APPLICATION	27/06/18	CH
Rev	Description	Date	Author

Project:
37-39 LOFTUS CRES
RESIDENTIAL FLAT BUILDING
37-39 LOFTUS CRES
HOMERLEIGH QLD 4015 State 4015 Postcode 4015 County

URBANLINK
 Building Address: 1441 St. 11-15 Drive 2044, Strathfield NSW 2154
 Postal Address: PO BOX 222 Strathfield NSW 2154
 Phone Number: +61 (0)2 95 20 14
 Non-Residential:
 2nd Floor Level Reg 14 800
 1st Floor Level Reg 14 800
 Mobile Trade Reg 14 800

Drawing Title:
COMPLIANCE SHADOW DIAGRAM

Date of Issue:	Checked:	Approved:
26/06/2018		

Date: _____

Project Number: 17-012
Drawing Number: DA2902 H
Title: DEVELOPMENT APPLICATION

TO: Strathfield Local Planning Panel Meeting - 5 July 2018
REPORT: SLPP – Report No. 3
SUBJECT: DA2017/138 - 4-10 ALBERT ROAD, STRATHFIELD
LOT 1 DP 433232
DA NO. DA2017/138

SUMMARY

Proposal: Demolition of existing site structures and construction of a mixed-use development comprised of commercial space, mechanical parking installation entry, lobby and waste storage areas at ground floor level; car parking for ten (10) vehicles at Mezzanine Level and Level 1; office accommodation at Levels 2 and 3; and twelve (12) x two (2) bedroom serviced apartments over Levels 4, 5 and 6.

Applicant: Ghazi Al Ali (Ghazi Al Ali Architect Pty Ltd)
Owner: Redfern Accommodation Pty Ltd
Date of lodgement: 14/07/2017
Notification period: 26/09/2017 – 16/10/2017
Submissions received: Three (3) submissions
Assessment officer: External Consultant
Estimated cost of works: \$2,692,478 (Quantity Survey Report submitted)
Zoning: B3 Commercial Core - SLEP 2012
Site is located in the vicinity of Strathfield Railway Station, which is listed as a heritage item (I199) of local significance under Schedule 5 of SLEP 2012.

Heritage:

Flood affected: No
Is a Clause 4.6 variation proposed? No
RECOMMENDATION OF OFFICER: **APPROVAL**

EXECUTIVE SUMMARY

On 14 July 2017, DA 138/2017 was lodged for demolition of existing site structures and construction of a nine (9) storey mixed-use development comprised of commercial space, mechanical parking installation entry, lobby and waste storage areas at ground floor level; office accommodation at Levels 2 and 3; twelve (12) x two (2) bedroom serviced apartments at Levels 4, 5 and 6; and car parking for ten (10) vehicles at Mezzanine Level and Level 1.

Existing development on the site comprises a food and drink premises, being the 'House of Pumpkin' restaurant.

**DA2017/138 - 4-10 Albert Road, Strathfield
Lot 1 DP 433232 (Cont'd)**

The site has an area of 282m² and adjoins a public car park to the west and two (2) storey commercial building to the rear. The site has a triangular shaped configuration and has a frontage of 32.588m to Albert Road to the east and single 4m wide access on Albert Road adjacent the western boundary. The site contains two (2) existing mature trees within the front setback, which are proposed for removal as they are located within the proposed building envelope. To offset this the application proposes four (4) replacement 'Tristaniopsis' street trees and large open roof terrace on level 4.

On 8 December 2017, amended plans (Issue B) were submitted replacing the car lift and on-site parking for five (5) vehicles with a stacked car mechanical installation for ten (10) vehicles and turntable at ground floor, and modifications to the building facade. An amended Traffic Report was also submitted.

On 21 December 2017, amended plans (Issue C) were submitted adding two (2) basement levels, occupying approximately half of the site area, to accommodate an additional seven (7) vehicle spaces within the mechanical installation. A revised Traffic Report and Geotechnical Report were not submitted. Given the physical constraints of the site and the sites close proximity to public transport options, Issue B is considered to be more appropriate to the site. The applicant supports this view along with the external Traffic Engineer engaged by Council to assess the proposal.

The proposed mixed used development complies with the maximum building height and floor space ratio permitted on the site under *Strathfield Local Environmental Plan (SLEP) 2012*. The site is included within the 'Strathfield Town Centre'. Accordingly, *Development Control Plan 13 – Strathfield Town Centre* applies to the site. The proposal is acceptable with regards to DCP 13, SLEP 2012, and *Strathfield Consolidated Development Control Plan (SCDCP) 2005*.

The application was notified to all adjoining and nearby property owners including Burwood and Canada Bay Councils in accordance with Council's notification policy, with two (2) submissions received. The main concerns raised include pedestrian safety from vehicles entering/exiting the site, loss of views of Strathfield Square from No. 5 Albert Road, loss of existing street trees, impact of new street tree plantings on pedestrian footpath traffic, and increased traffic congestion.

The proposal is considered to offer a skilful design of strong architectural merit on a physically constrained site. The bulk and scale of the development is considered to be contextually appropriate and the range of uses is appropriate to the site and locality.

The application is recommended for approval, subject to recommended conditions of consent.

BACKGROUND

Pre-lodgement meeting

- **28/02/2017** - A pre-lodgement meeting was held with the application regarding a six (6) storey mixed use development comprised of three (3) levels of commercial, three (3) levels of serviced apartments over one (1) level of basement car parking. The following issues were raised:

FSR

- Maximum FSR of 3:1 applies
- The proposal complies

Consolidation

- The site has an area of 282m² and being irregular in shape is highly constrained.
- It is recommended that the subject site is consolidated with adjoining allotments to achieve a minimum area of 1500m².
- In the event that consolidation is not achievable, any future application shall be

**DA2017/138 - 4-10 Albert Road, Strathfield
Lot 1 DP 433232 (Cont'd)**

accompanied by evidence of attempts for consolidation.

Parking

- 1 space /30m² required for commercial premises
- 1 space / 40m² required for restaurants
- House to let in lodgings / 1 space per bedroom, plus 1 space per 6 employees and 1 space for the manager.
- The proposed off-street parking for six (6) cars falls short of 28 vehicle requirement.

Waste

- Provision of a waste storage room in accordance with Part H of SCDCP 2005.

Serviced apartments

- Each apartment should contain a separate bathroom, kitchen and laundry facilities and the maximum stay should be limited to 30 days at any time.
- Any future application should be accompanied by a Plan of Management

Communal open space

- Required to provide a suitable level of amenity to occupants of the serviced apartments. Recommended at roof top level and shall include suitable landscaping treatments and facilities.

Separation

- The proposed nil setbacks at ground level to level 2 is considered acceptable.
- The western side setbacks are considered insufficient. A 6m setback is recommended.

Streetscape

- Approximate treatment is to be given to the basement entry to conceal services (i.e. basement entry) and promote visual interest at a pedestrian scale.

Arborist's report

- Any future application should be accompanied by an Arborist's report prepared in accordance with Part O of SCDCP 2005.

Requests for additional information

- **2/11/2017** – A number of outstanding matters were raised (by the original assessment officer, noting the application has been re-allocated to a consultant) as follows:

Isolation of site

- The site has an area of 282m² and being irregular in shape is highly constrained.
- If the site is not developed in conjunction with adjoining sites it would become isolated and would be of such a small size and width that development to its full potential would not be achieved.
- Further details of attempts to acquire adjoining land and independently certified land evaluation report shall be provided.
- Further details on the impact upon the development potential of both the subject site and adjoining allotments at No. 2 and No. 5 Strathfield Square shall be provided.

Off-street parking

- The proposed off-street parking for five (5) vehicles contravenes the twenty-eight (28) spaces required.
- The adjoining public car park cannot be relied upon.

Trees

**DA2017/138 - 4-10 Albert Road, Strathfield
Lot 1 DP 433232 (Cont'd)**

- Removal of the southern tree within the front setback is not supported by Council's Tree Officer at this stage, however it was observed to have a significant basal cavity with active termites being present.
- Further investigation is required to support the trees removal.

Streetscape

- The external finishes and colours proposed are considered inappropriate and unsympathetic to the prevailing streetscape.

Stormwater

- The OSD tank is required to be located as close as possible to the lowest point of the site, with paved areas and pipes to drain to it.

Amended Plans

8/12/2017 – Amended Plans (Issue B) were submitted providing for the following amendments:

Off-street parking

- Off-street for ten (10) vehicles via a mechanical parking installation, including a turntable at ground floor.
- Traffic and Parking Impact Assessment Report updated.

Streetscape

- External northern (Albert Road) and western facades modified to replace perforated metal sheets of salmon and bronze colouring with new grey colour perforated mineral filled acrylic cladding.

Trees

- Amended Arborist report submitted providing additional details on the health of the two existing trees on the site justifying their removal.

Stormwater

- Amended stormwater report submitted.

8/12/2017 – Amended Plans (Issue C) were submitted providing for the following amendments:

Off-street parking

- Parking provided for seventeen (17) vehicles via a mechanical parking installation, including a turntable at ground floor.
- Introduction of two (2) new basement levels

Assessing officer's comments

Off-street parking

- The proposed Parking provided for ten (10) vehicles via a mechanical parking installation, including a turntable at ground floor is considered acceptable on the basis of the sites strategic location in close proximity to public transport options.
- The introduction of an additional seven spaces under Scheme 'C' through the inclusion of two (2) partial basement levels is not supported having regard to the SCDCP 13 and mixed-use nature of the development.
- The submitted Traffic and Parking Assessment Report concludes that the proposed off-street parking provision is suitable to the site.

Streetscape

- The amended façade to Albert Road replacing the perforated metal sheets of salmon and bronze colouring with new grey colour perforated mineral filled acrylic cladding is supported. The design is considered to offer a contemporary, design response of strong architectural merit.

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<p>Trees</p> <ul style="list-style-type: none"> • Amended Arborist report submitted providing additional details on the health of the two existing trees on the site justifying their removal. • The recommendations of the Arboricultural Impact Assessment Report are supported. A condition requiring compliance with the recommendations of the report is included within the recommendation. <p>Stormwater</p> <ul style="list-style-type: none"> • Amended stormwater report submitted. The concept stormwater plans are considered satisfactory by Council’s Engineer, subject to conditions. <p>Isolation of site</p> <ul style="list-style-type: none"> • Evidence of a letter of offer to purchase the adjoining sites has been provided. • Drawing No A 1020 Issue B provides two (2) options for the amalgamation of the adjoining sites. • The proposed development is not considered to unduly restrict the development potential of the adjoining sites.
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PRIMARY ISSUES

Issue	Comments
Car parking shortfall	<ul style="list-style-type: none"> • Off-street parking provision for ten (10) vehicles is considered acceptable on merit. • The site is strategically located within close proximity to Strathfield Train Station and major bus interchange for travel to Sydney and Parramatta CBD’s. • Suitable conditions are recommended to mitigate any adverse impacts from the mechanical car installation such as queuing beyond the property boundary.
Loading/unloading for commercial/retail tenancies	<ul style="list-style-type: none"> • The physical constraints of the site prevent any loading/unloading facilities to be provided on-site. • The development relies upon the use of two (2) existing loading bays in close proximity to the site. This is supported.
Queuing from mechanical parking installation	<ul style="list-style-type: none"> • Condition 3 requires the preparation of a report for the mechanical parking installation by a suitably qualified traffic consultant. As a minimum, the report shall provide a queuing analysis, taking into account: <ul style="list-style-type: none"> - the proposed peak hour vehicle volumes; - the service rate (in seconds) associated with the proposed parking equipment; - demonstrate that vehicle queuing to enter the mechanical parking installation will not extend beyond the property boundary during peak hour vehicle volumes. Vehicles must not wait on the footpath or roadway.
Streetscape	<ul style="list-style-type: none"> • The amendments to the building façade are considered to improve the contribution of the development to the streetscape. • Suitable conditions are recommended to ensure the long term viability of the four (4) proposed street trees and to require planter boxes around the perimeter of the Level 4 communal open space area.
Development potential of adjoining sites	<ul style="list-style-type: none"> • The proposed development is not considered to restrict the development potential of the adjoining sites.

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	<ul style="list-style-type: none"> • No window openings are proposed to the rear southern elevation. • Condition 20 requires the west facing bedroom windows to Units 504, 604 and 704 to be amended to include fixed external screening angled at 45° to the north-west to prevent any direct sightline to the west. The reason for this condition is to maintain appropriate privacy amenity in the event of future redevelopment of the adjoining land to the west.
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DESCRIPTION OF THE SITE AND LOCALITY

The subject site is legally described as Lot 1 DP 433232 and is commonly known as 4-10 Albert Road, Strathfield. The site is located on the south-western side of Albert Road and has an area of 282m².

The site has a triangular configuration and is generally flat. The survey indicates a site elevation of between 12.03m and 12.21m AHD, highest at the south-eastern corner of the site and gently sloping down towards the north-west. The site has a frontage of 32.588m to Albert Road to the east, southern side/rear boundary of 23.773m and western side boundary of 23.734m.

Existing development on the site comprises a restaurant and is served by a single 4m wide access on Albert Road situated adjacent to the western site boundary. Traffic is restricted to one-way flow in an eastbound direction between Raw Square and Strathfield Square. In the vicinity of the site, Albert Road has a divided carriageway with two (2) lanes divided by a bus terminal, where regular vehicular traffic is only permitted to circulate on the southern lane.

The surrounding area is characterised by the following:

- North:** Rail corridor, and 4-13 storey residential tower with ground floor retail ('Sandalwood Apartments') at 3-7 Albert Road to the north-west.
- East:** Strathfield train station.
- South:** Two (2) storey and one (1) storey commercial buildings to the immediate south, and Strathfield Square to the south-east. Strathfield Plaza to the south is a two storey commercial building with roof-top parking. 11-23 The Boulevard to the south-west is comprised of a 16 storey residential tower with car parking at levels 1 to 3 above-ground.
- West:** At-grade public car park at 12-18 Albert Road to the immediate west, 10-13 storey residential tower with ground floor retail at 20-34 Albert Road to the west, and 10-13 storey tower with ground floor retail at 7-9 Churchill Avenue.

A locality plan is provided at **Figure 1** below.

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Figure 1. Locality plan (Source: Google Maps)



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Figure 2. Subject site as viewed from Albert Road.



Figure 3. Public car park, which adjoins the site to the west with vehicular entry via Albert Road.



Figure 4. Western entrance to Strathfield Train Station, opposite the site.

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Figure 5. Subject site as viewed from the east. The two (2) existing trees within the front setback (Tree 1: *Melaleuca decora*, Tree 2: *Casuarina glauca*) are proposed for removal as they are located within the building envelope.



Figure 6. Existing development fronting Strathfield Square to the south-east of the site.

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

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DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for demolition of the existing site structures and construction of a nine (9) storey mixed-use development comprised of the following:

Level	Proposed
Ground floor	<ul style="list-style-type: none"> • Retail space of 49.77m² fronting Albert Road • Internal stair access to mezzanine level • Lobby and lift • Three (3) separate waste rooms for bulky good storage, retail waste, and serviced apartments waste. • Bathroom • Vehicular turntable accessed from Albert Road. • Enclosed hydrant booster in the north-western corner • Street tree planting of four (4) trees fronting Albert Road • New vehicular crossing
Mezzanine level	<ul style="list-style-type: none"> • Mechanical car installation for five vehicles • Lift and internal stair
Level 1	<ul style="list-style-type: none"> • Pump room of 25.91m² • Store • Lift and internal stair • Mechanical car installation for five vehicles
Level 2	<ul style="list-style-type: none"> • Office space 01 (209.80m²) • Internal stair and lift • Bathroom facilities
Level 3	<ul style="list-style-type: none"> • Office space 02 (209.80m²) • Internal stair and lift • Bathroom facilities
Level 4	<ul style="list-style-type: none"> • Common open space • Internal stair and lift
Level 5	<ul style="list-style-type: none"> • Four (2) x two (2) bed serviced apartments (501, 502, 503, and 504) • Internal lift and stair
Level 6	<ul style="list-style-type: none"> • Four (2) x two (2) bed serviced apartments (601, 602, 603, and 604) • Internal lift and stair
Level 7	<ul style="list-style-type: none"> • Four (2) x two (2) bed serviced apartments (701, 702, 703, and 704) • Internal lift and stair

REFERRALS

INTERNAL REFERRALS

Referral Body	Comments:
Engineering	No objections, subject to recommended conditions of consent.

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	<p>Key comments:</p> <ul style="list-style-type: none"> • The subject site has a natural fall to the front and disposal by means of gravity is attainable hence enabling the applicant to submit a compliant design. • The provision of water sensitive urban design is not required as the site is less than 2000m². • The site discharges to the street kerb and gutter by means of a gravity pipe via the suspended OSD tank. The concept plans indicate all impervious areas drain into the suspended OSD tank by gravity means via rainwater outlets, downpipes and grated tech drains. • The OSD tank has been designed with an internal mechanism to negate the likelihood of internal flooding. <p>The concept plan is feasible, subject to recommended conditions.</p>
Waste	<p>No objections, subject to standard conditions of consent.</p> <p>Key comments:</p> <ul style="list-style-type: none"> • The path of travel for moving bins from the storage areas to the kerbside collection point should be clearly identified on the plans. • Bins must be presented kerbside for collection. A caretaker must be nominated as being responsible for transferring the bins. • Written evidence of valid contracts for the regular collection and disposal of commercial waste is to be provided. <p>Assessing officer's comments:</p> <ul style="list-style-type: none"> • It is recommended that waste from both the residential and commercial waste rooms are collected via a walk-in-walk-out arrangement direct from the waste storage rooms, and that bins are not left on the footpath for kerbside collection. A suitable condition to this effect is included within the recommendation (Conditions 4 & 5). • The reason for Conditions 4 & 5 is to ensure the quality of the streetscape is maintained and to minimise conflict with pedestrians using the Albert Road footpath.
Trees and Landscaping	<p>No objections, subject to standard conditions of consent.</p> <p>Key comments:</p> <ul style="list-style-type: none"> • The submitted Arboricultural report has been amended to provide further details on the health of two (2) existing trees located within the front setback. <p>Assessing officer's comments:</p> <ul style="list-style-type: none"> • The application was not referred back to Council's Landscaping Officer who departed Council. • The justification for the tree removal is supported on the basis that four (4) new street trees are proposed in addition to new plantings at Level 4. <p>Suitable conditions are recommended to ensure the long term viability of the street trees and landscaping on the Level 4 communal open space area.</p>
Traffic	<p>No objections, subject to standard conditions of consent.</p> <p>Key comments:</p> <ul style="list-style-type: none"> • Scheme 'C' was submitted to an external traffic consultant for review (due to insufficient resourcing in-house). • Concerns were raised by the assessment office that seventeen (17) spaces may be too many for the site.

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	<ul style="list-style-type: none"> The referral concluded that the original proposal for five (5) on-site spaces is insufficient, and that a minimum of six (6) spaces for the serviced apartments and minimum of five (5) spaces for the office should suffice. It is suggested that in order to achieve compliance, the amount of office space and number of serviced apartments could be reduced. <p>Assessing officer's comments:</p> <ul style="list-style-type: none"> It is agreed that the seventeen (17) spaces under scheme 'C' is excessive for the site. It is recommended that the ten (10) spaces under Scheme 'B' is more appropriate to the site. <p>Given the short-term, commercial nature of the serviced apartments and scale of the development, it is not considered necessary to allocate the spaces to land uses.</p>
Environmental Health	No objections, subject to standard conditions of consent.

EXTERNAL REFERRALS

Referral body	Comments
Ausgrid	No objections, subject to recommended conditions of consent (Conditions 21-23) .

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within Section 4.15 of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

4.15(1)(a) the provisions of:

(i) any environmental planning instrument

STATE ENVIRONMENTAL PLANNING POLICY (SEPP) – BASIX 2004

In accordance with the BASIX SEPP all new housing in NSW is required to meet a designated target for energy and water reduction.

A BASIX Certificate was submitted as part of the application which indicates that the proposal meets the required reduction targets. An appropriate condition of consent will be imposed to ensure future compliance with these targets.

STATE ENVIRONMENTAL PLANNING POLICY (INFRASTRUCTURE) – 2007

The site does not have frontage to a classified road. Raw Square is an RMS Main Road from the intersection of Albert Road with Raw Square to the west of the site. Accordingly, Clause 101 of SEPP Infrastructure does not apply.

The site exceeds a distance of 25m measured horizontally from the rail corridor. Accordingly, referral to Sydney Trains is not required under Clause 86 of SEPP (Infrastructure).

STATE ENVIRONMENTAL PLANNING POLICY NO. 65 – DESIGN QUALITY OF RESIDENTIAL APARTMENT DEVELOPMENT

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Pursuant to Clause 4(4), SEPP 65 does not apply to a serviced apartment unless a local environmental plan states otherwise.

SLEP 2012 does not state that SEPP 65 applies to a serviced apartment. Accordingly SEPP 65 is not applicable to the proposed development.

STATE ENVIRONMENTAL PLANNING POLICY NO 55 – REMEDIATION OF LAND

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. Albeit, a Stage 1 Preliminary Site Investigation (**PSI**) has been conducted by Geo-Environmental Engineering (20/05/2017). The report concludes that the site is suitable for the proposed development and associated land use.

STATE ENVIRONMENTAL PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

The application proposes the removal of two (2) existing trees within the front setback as follows:

- Tree 1 – *Melaleuca decora* (White Feather/Honey Myrtle)
- Tree 2 – *Casuarina glauca* (Swamp She-oak)

An Arboricultural Impact Assessment Report, prepared by Tree Talk Arboricultural Consulting (July 2017) has been submitted with the application. Trees 1 and 2 are supported for removal as they are located within the building envelope.

The Report also assesses the impact of the proposed development on existing trees on adjacent land to the west (Car park) as follows:

- Trees A – Boundary planting of *Casuarina glauca* (Swamp She-oaks)
- Trees B – *Casuarina glauca* (Swamp She-oak)
- Trees C – *Eucalyptus microcorys* (Tallowwood)

The report includes recommendations to ensure the protection of Trees A, B and C. **Condition 33** is recommended to ensure compliance with these recommendations.

The proposal was referred to Council's Tree Management Officer who outlined specific conditions to be imposed with any development consent in order to ensure the protection of these trees.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl. 1.2(2)	Aims	Complies
(a)	To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield	Yes
(b)	To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and	Yes

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	<i>an appropriate mix of uses by regulating land use and development</i>	
(c)	<i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	Yes
(d)	<i>To provide opportunities for economic growth that will enhance the local community</i>	Yes
(e)	<i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	Yes
(f)	<i>To identify and protect environmental and cultural heritage</i>	Yes
(g)	<i>To promote opportunities for social, cultural and community activities</i>	Yes
(h)	<i>To minimise risk to the community by identifying land subject to flooding and restricting incompatible development</i>	Yes

Permissibility

The subject site is Zoned B3 Commercial Core under Strathfield Local Environmental Plan (SLEP) 2012.

'Commercial premises' and 'serviced apartments' are permissible within the B3 Zone with consent. Accordingly, the proposed mixed-use development incorporating retail and office space and serviced apartments are permissible within the B3 zone with consent.

Zone Objectives

An assessment of the proposal against the objectives of the B3 Commercial zone is included below:

Objectives	Complies
➤ <i>To provide a wide range of retail, business, office, entertainment, community and other suitable land uses that serve the needs of the local and wider community.</i>	Yes
➤ <i>To encourage appropriate employment opportunities in accessible locations.</i>	Yes
➤ <i>To maximise public transport patronage and encourage walking and cycling.</i>	Yes

Part 4: Principal development standards

An assessment of the proposal against the relevant provisions contained within Part 4 of the SLEP 2012 is provided below.

Height of building

Cl.	Standard	Controls	Proposed	Complies
4.3	<i>Height of building</i>	58m	30.8m (top of lift overrun)	Yes

	Objectives	Complies
(a)	<i>To ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area</i>	Yes
(b)	<i>To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area</i>	Yes
(c)	<i>To achieve a diversity of small and large development options.</i>	Yes

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Floor space ratio

Cl.	Standard	Controls	Proposed	Complies
4.4	<i>Floor space ratio (Site Area: 282m²)</i>	3:1 (846m ²)	2.93:1 (827.31m ²)	Yes
Objectives				Complies
(a)	<i>To ensure that dwellings are in keeping with the built form character of the local area</i>			Yes
(b)	<i>To provide consistency in the bulk and scale of new dwellings in residential areas</i>			Yes
(c)	<i>To minimise the impact of new development on the amenity of adjoining properties</i>			Yes
(d)	<i>To minimise the impact of development on heritage conservation areas and heritage items</i>			Yes
(e)	<i>In relation to Strathfield Town Centre:</i>			Yes
	<i>i. to encourage consolidation and a sustainable integrated land use and transport development around key public transport infrastructure, and</i>			
	<i>ii. to provide space for the strategic implementation of economic, social and cultural goals that create an active, lively and people-oriented development</i>			
(f)	<i>In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor</i>			N/A

Part 5: Miscellaneous Provisions

The relevant provisions contained within Part 5 of the SLEP 2012 are addressed below as part of this assessment:

5.6 Architectural roof features

The proposal is acceptable with regards to Clause 5.6 of SLEP 2012.

No architectural roof features are proposed beyond the lift overrun, which is contained within the prescribed building height.

5.9 Preservation of trees or vegetation

The proposal is acceptable with regards to Clause 5.9 of SLEP 2012.

The removal of two (2) existing trees within the front setback, which are prescribed under Part O of SCDGP 2005, is supported.

The amenity and biodiversity value of the area will be preserved through the planting of four (4) new street trees and new plantings in the communal open space area at Level 4.

5.10 Heritage Conservation

The proposal is acceptable with regards to Clause 5.10 of SLEP 2012.

The site is not heritage listed or located within a conservation area, but is located in the vicinity of Strathfield Railway Station, which is listed as a heritage item of local significance (Item No. 199) under Schedule 5 of SLEP 2012. The site is set back from Strathfield Station and is outside the curtilage of the item by approximately 25m. It is physically separated from the site by the Albert Road carriageway and the long bus interchange shelter. As such a referral to the NSW Office of Environment and Heritage was not required.

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However, the proposal was referred to Council's Heritage advisor for comment and was not considered to detract from the heritage significance of the listed item and its setting, and is consistent with the objectives for heritage conservation under subclause (1).

Part 6: Local Provisions

The relevant provisions contained within Part 6 of the SLEP 2012 are addressed below as part of this assessment:

6.1 Acid sulfate soils

The subject site is within a Class 5 area as specified in the Acid Sulfate Soils Map. However, the subject works are not likely to lower the water table below 1.0m AHD on any land within 500m of a Class 1, 2 and 3 land classifications. Accordingly, preliminary assessment is not required and there is unlikely to be any acid sulfate affectation. It is therefore acceptable with regard to Part 6.1.

6.2 Earthworks

No significant excavation is proposed and therefore there is no requirement for dewatering.

The matters of consideration set out under Clause 6.2 have been addressed in the Geotechnical Investigation Report submitted with the DA. The Report concludes that the soil conditions are suitable to support the proposed development.

Condition 12 prescribes that the recommendations of the report shall be fully complied with.

6.3 Flood planning

The site is not subject to flood related development control.

6.4 Essential services

The site is serviced by essential services including water, electricity, management of sewage, disposal and recycling of waste, stormwater drainage, and suitable vehicular access.

6.6 Erection or display of signage

No signage is proposed.

Condition 25 prescribes that a separate application is lodged for any external signage (excluding that covered under the SEPP – *Exempt and Complying Development Code*).

6.7 Design excellence for Strathfield Town Centre

The objective of Clause 6.7 is to deliver the highest standard of architectural and urban design.

Clause 6.7(4) sets out the criteria to establish whether the development exhibits design excellence. The proposal is considered to exhibit design excellence in the following manner:

- the proposal exhibits a high standard of architectural, landscape and urban design and will be constructed with quality materials;
- the proposal is considered to improve the quality and amenity of the public domain through the form and external appearance of the development;
- the proposal responds creatively to the physical constraints of the site in a contemporary yet sympathetic manner to surrounding development;
- the proposal will not detrimentally impact on the amenity of the surrounding area, nor any view corridors, vistas or landmark locations;
- the proposal encourages reduced car dependence and public transport patronage;

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- the development incorporates a suitable mix of land uses that will contribute to a vibrant economic and social town centre;
- the proposal will improve the public domain through its inclusion of street tree planting and sets back the upper levels to provide articulation and modulation of the façade;
- the proposal is not considered to adversely impact upon the development potential of adjoining land;
- the development provides two (2) accessible apartments in accordance with the BCA and provides an accessible path of travel from the property boundary, through the main pedestrian entrance on Albert Road; and
- the proposal provides lift access from ground floor to all floors within the development.

Clause 6.7(6), (7), and (8) do not apply as Council does not have in place an 'architectural design competition'.

6.8 Additional provisions for development in Strathfield Town Centre

The proposal satisfies the relevant objectives contained within Clause 6.8 in the following manner:

- The development limits the proportion of residential development in Strathfield Town Centre.

4.15 (1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

4.151)(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

Heritage and Conservation

Cl. 1.11	Aims	Complies
A	<i>To preserve and enhance the visual and environmental amenity of heritage items and heritage conservation areas within the municipality of Strathfield</i>	Yes
B	<i>Ensure all new development affecting heritage items and conservation areas is designed to be compatible in setting, scale, setbacks, form, materials and character with the building and surrounding area</i>	N/A
C	<i>Ensure that development in the vicinity of a heritage item or conservation area does not have any adverse impact on the heritage significance or setting and that development is compatible in setting, scale, setbacks, form, materials and character with the item or conservation area</i>	Yes
D	<i>Conserve archaeological sites and places of Aboriginal significance</i>	Yes
Cl. 1.11	Controls	Complies
(1)	<i>A Statement of Heritage Impact may be required for proposed development:</i> a) <i>affecting a heritage item;</i> b) <i>within a heritage conservation area; or</i> c) <i>in the vicinity of an item or heritage conservation area</i>	N/A
(2)	<i>This statement must set out the heritage significance of the structure or place and assess the extent to which carrying out of the proposed development would affect the significance of the heritage item or heritage conservation area concerned and outline measures to minimise any identified impact</i>	N/A

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PART H - WASTE MANAGEMENT (SCDCP 2005)

Section 3.3.1(a) of Part H of SCDCP 2005 states the following:

“Development for the purposes of multi-unit housing, residential flat buildings, serviced apartments, mixed use and commercial development must provide onsite, underground collection of waste.”

Section 3.3.2 sets out the circumstances in which an exemption to underground collection may be considered:

“On a merit basis, Council may consider alternative onsite collection arrangements to underground waste collection, provided the applicant can justify this departure with relevant reports. Only in exceptional circumstances will Council consider kerb-side collection for the above development types.

A decision to support an exemption to underground or onsite collection will be based on assessment of a range of factors, such as ability to comply with the broader objectives of the SCDCP, site constraints, locality constraints, scale of the development and alternative options.”

Section 3.3.3(a) states that where an exemption for onsite collection is deemed appropriate, alternative solutions including a loading dock facility or collection from an on-site, at grade location where bins are transferred to the collection area, may be considered.

Due to the physical constraints of the site, the alternative onsite collection arrangements above are not viable. The site cannot accommodate a waste collection vehicle.

The development is considered to be of a scale that will allow for kerbside collection, with garbage rooms conveniently located on the ground floor.

Section 3.8.3 requires a Waste Management Plan to be prepared for all mixed use development. A comprehensive Waste Management Plan has been prepared by Elephants Foot Recycling Solutions (Rev F, dated 5/12/2017). Key points are summarised below:

- The proposal includes three (3) waste rooms including a residential waste room, retail waste room and bulky goods storage room.
- The residential waste will be collected by Council with both waste and recycling collected on a weekly basis. Council's waste vehicle will pull up on Albert Road with the bins being serviced via a walk-in-walk-out arrangement direct from the residential waste room. **Condition 4** is recommended to require that an agreement to this effect is agreed to by Council in writing, prior to any occupation of the premises.
- The retail and commercial waste will be collected by private contractor with all retail waste collected three (3) times weekly and all commercial waste collected on a weekly basis via a walk-in/walk-out arrangement direct from the retail/commercial waste room.

Council's Waste Officer has offered no objections to the proposal, subject to recommended conditions of consent.

PART I – PROVISION OF OFF-STREET PARKING FACILITIES (SCDCP 2005)

Part B – Main Provisions

The proposal is acceptable with regards to Section 2.0 of Part I of SCDCP 2005.

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A Condition is recommended to ensure that all off-street car parking complies with AS/NZS 2890.1:2004 - *Parking facilities - Off-street car parking*.

A Condition is recommended to require that all vehicles enter and exit the site in a forward direction. The mechanical parking installation includes a turntable at ground level to permit vehicles to enter and exit the site in a forward direction quickly and easily.

Part (viii) stipulates the following requirements for stacked parking as follows:

Requirement	Complies
a) <i>Only one vehicle can be obstructed, i.e. just one vehicle can move to allow egress of another.</i>	Yes A turntable is proposed at ground floor to facilitate efficient 'shuffling' of vehicles and to enable vehicles to enter and exit the site in a forward direction. Condition 4 requires a queuing analysis as part of a report on the vehicle mechanical installation to ensure vehicles do not extend beyond the property boundary during peak periods.
b) <i>The parking is only for employees of the establishment who are likely to park all day or a good part of the day.</i>	N/A The scale of the development precludes the need to designate spaces to particular uses.
c) <i>When the site is too narrow to allow conventional forms of parking layouts in Appendix A.</i>	Yes The site is too constrained to allow conventional forms of parking layouts in Appendix A.

Car stackers (as proposed) are a type of mechanical installation system. This is considered suitable to the site due to the limited amount of land available for conventional parking arrangements.

The installations are suitable for long-stay parking. The dedication of parking spaces to land uses has not been identified as part of the application. This is considered acceptable given the scale of the development and commercial nature of the serviced apartments.

Condition # is recommended to require the following:

- (i) Vehicle access to the mechanical parking installation is made in accordance with AS/NZS 2890.1 (2004).
- (ii) The mechanical parking installation shall be designed such that vehicle queuing to enter the mechanical parking installation does not extend beyond the property boundary. Vehicles must not wait on the footpath or roadway.

Part C: Parking Schedule

The on-site parking requirements for the proposed development are outlined below:

Use	No / GFA	Parking rate	Loading / unloading	Minimum spaces	Spaces provided	Complies

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				required		
Houses to let in lodgings	12 x 2 bedroom units	1 space / bedroom 1 space / 6 employees plus 1 space for the manager	Nil	24 Nil	10 spaces in total. Not allocated to particular use.	No
Retail shops	39.16m ²	6.2 spaces per 100m ² gross leasable floor area 75% short stay, 25% long stay	Provision to be made for the loading/unloading of service vehicles	Nil		Yes
Commercial premises	417.98m ²	1 space per 30m ² (Strathfield Town Centre) 10% short stay, 90% long stay	Provision for 1 courier car parking space in a convenient and appropriately signposted location with access to street frontage. Provision should be made for the loading/unloading of services.	14		No
Total				38	10	No

Section 1.3(i) of Part I of SCDCP 2012 lists the criteria, which Council will assess whether or not any deviation from the code is justified:

- a) *Will the proposed development create a demand for additional parking?*
- b) *The existing situation in relation to car parking in the locality.*
- c) *Whether any dedication of land to Council for public parking purposes is proposed?*
- d) *Proximity and adequacy of off-street parking facilities to the site, i.e. a public parking station within 180m of the site having the spare capacity during the premises hours of operation.*
- e) *Whether the site is located on a main or country road.*
- f) *The hours of operation of the premises.*
- g) *Any other factors which, in the Council's opinion, may have an impact on the amount of requisite on-street parking.*

The variation sought to the car parking requirement is considered acceptable for the following reasons:

- The proposal has been amended to increase the on-site car parking provision from five (5) spaces using a car lift to ten (10) spaces using a mechanical installation system under the current proposal.
- The site adjoins a public car park, which offers 47 spaces at 1 hour free parking from 6am to 7pm Monday to Sunday. This site is also located within close proximity to Strathfield Plaza car park which offers 500 spaces with 2 hours free parking. This is considered to provide suitable short-term parking for the retail and commercial premises. Criterion (d) of Section 1.3(i) allows a variation where the site is within 180m of an off-street public car parking facility.

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- The site is centrally located and is well serviced by public transport. Criterion 'g' allows any other factors, which may have an impact on the amount of requisite on-street parking.
- The SEE states that guests of the serviced apartments are expected to be for business, with direct public transport connections to Sydney and Parramatta CBDs, which is also likely to reduce the need for the requisite parking.
- The submitted Traffic Impact Assessment (v4, 7/12/2017) considers the off-site car parking provision to be acceptable.

Section 3.3.1 requires at least one (1) courier space for office and commercial premises. The existing site does not allow for on-site servicing and the inclusion of a courier space. It is proposed to continue reliance on nearby loading zones, which includes an 11.5m loading zone on the northern kerbside on Albert Road within 100m walking distance of the site, and a 32.5m loading zone on the southern kerbside of Churchill Avenue within 160m walking distance of the site.

The Traffic Report anticipates that the demand generated for a courier space, will be similar to that generated by the existing development on the site.

The DCP states that off-street loading and unloading facilities will be required for certain uses. In such instances, the criteria outlined in Appendix C will apply.

Reliance on nearby loading zones to service the commercial and retail components of the development is considered acceptable on merit and is supported by Council's Traffic Engineer.

PART Q – URBAN DESIGN

An assessment of the proposal against the objectives and development controls contained within Part Q of SCDCP 2005 is included below:

2.1: Public Domain and Place Making

2.1.1 Objectives	Satisfactory
A. To ensure that development adjacent to the Public Domain complements the landscape character, public use and enjoyment of that land	✓
B. To enhance the quality of the Public Domain	✓
C. To ensure the Public Domain is attractive, safe, interesting, comfortable, readily understood and easily accessed	✓
2.1.2 Development Controls	Complies
1. All development applications involving substantial external changes that are visible from or effect public space, or have significant land use implications, must be designed in accordance with this DCP Part Q to ensure a positive contribution to the public environment.	✓
2. Development is to be designed to address elements of the public domain, including the building interface between private and public domains, circulation patterns and access ways, gateways, nodes, edges, landscape features, heritage items, ground floor activity and built form definition to the street.	✓
3. Public access to the public domain is to be maximised	✓
4. Development is to be located to provide an outlook to the public domain, without appearing to privatise that space.	✓
5. Development is to provide passive surveillance to the public domain. Where appropriate, ground floor areas abutting public space should be occupied by uses that create active building fronts with pedestrian flow, and contribute to the life of the streets and other public spaces.	✓
6. Continuous lengths of blank walls and fences at the public domain interface are to	✓

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be avoided

2.2: Streetscape

2.2.1 Objectives		Satisfactory
A.	To ensure that all development contributes positively to the street and locality.	✓
B.	To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing urban environment.	✓
C.	To increase the legibility of streetscapes and urban spaces so that the interrelationship between development and the Public Domain is visually coherent and harmonious.	✓
D.	To maximise opportunities for buildings to define the Public Domain.	✓
E.	To encourage attractive street frontages and improve pedestrian amenity	✓
2.2.2 Development Controls		Complies
1.	Building height at the street frontage and building alignment must maintain a compatible scale with adjacent development, whilst having regard to this Plan's height controls;	✓
2.	Buildings and fences must be designed to complement and/or visually improve existing streetscapes	✓
3.	Development must respond and sensitively relate to the broader urban context including topography, block patterns and subdivision, street alignments, landscape, views and vistas and the patterns of development within the area (refer Figure 1a)	✓
4.	Building design and landscaping must be in harmony with the form, mass and proportions of the streetscape.	✓
5.	New buildings must recognise and reinforce the elements of facades within the street. Designs must have regard to the horizontal and vertical proportions of building elements which create the visual scene	✓
6.	New buildings must recognise and reinforce the elements of facades within the street. Designs must have regard to the horizontal and vertical proportions of building elements which create the visual scene	✓
7.	Buildings on corner sites must be designed and articulated to address each street frontage and must define corners (refer Figure 4).	n/a
8.	Development adjoining land use zone boundaries must provide a transition in form, height, scale, appearance, materials and setbacks with adjoining development and the Public Domain	n/a
9.	Buildings must be constructed of suitably robust and durable materials which contribute to the overall quality of the streetscape	✓
10.	The use of security devices, such as roller shutters or grilles on shopfronts, shall not compromise natural surveillance of streets and public places. Solid roller shutters will not be permitted as security devices on shop fronts (windows and doors).	✓
11.	Where side setbacks are an important part of the local streetscape character, these are to be maintained	✓

Comments:

Streetscape

The proposal has been amended to improve the presentation of the building façade to the public domain. A comparison of the original scheme (Issue A, shown at **Figure 7**) and current scheme (Issue B, shown at **Figure 8**) is provided below.

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The following amendments are recommended to further enhance the contribution of the proposed development to the streetscape:

- Provision shall be made for planter boxes along the perimeter of the common open space area at level 4 (**Condition 12**).



Figure 7. *Albert Road elevation under the original scheme (Issue A). This has been amended by Figure 8, below.*



Figure 8. *Albert Road elevation under the current scheme using a Corian cladding product (Issue B).*

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2.3: Siting

2.3.1	Development Controls	Complies
1.	Development must respond to the scale of surrounding buildings and definition of the street networks and public spaces.	✓
2.	The distinctive and valued character of the surrounding area, particularly those elements that contribute to a sense of place and identity, must be protected and enhanced.	✓
3.	Building forms (including heights and massing) are to be arranged to reinforce the future desired structure and character of the area	✓
4.	Buildings must address the street, laneway, new through-site link or open space.	✓
5.	Street edges must be defined with low rise buildings or appropriately scaled podiums to create a pedestrian scale and active frontages at street level.	✓
6.	Appropriate building separation must be provided to protect privacy and solar access to private property and the Public Domain.	✓
7.	Building corners on key streets must be emphasised to signify key intersections and enhance Public Domain legibility.	n/a
8.	Possible future development on adjoining sites must be considered as part of any design	✓ (DA A 1020 Issue B)

2.4: Building Envelope

2.4.1	Objectives	Satisfactory
A.	To ensure the scale and bulk of future development is compatible with site conditions, surrounding development and the existing and desired future character of the streetscape and locality.	✓
2.4.2	Development Controls	Complies
1.	The bulk and scale of any development must reflect the existing and future character of the existing street and surrounding locality	✓
2.	The bulk and scale of any development must be compatible with the amenity of the immediately and surrounding locality.	✓
3.	Buildings must not be designed to be outside the building envelope even if they do not achieve 100% of the permissible Gross Floor Area (GFA) or maximum height permitted.	✓

2.5: Building Massing and Scale

2.5.1	Objectives	Satisfactory
A.	To ensure buildings are compatible in form relative to the spatial characteristics of the local area.	✓
B.	To ensure building mass and form reinforces, complements and enhances the visual character of the street.	✓
C.	To ensure the building height and mass preserves and enhances the Public Domain, neighbourhood amenity, and site characteristics.	✓
D.	To ensure that where changes in building scale, mass and/or height is proposed, it occurs in a manner that is sensitive to amenity issues of surrounding or nearby development.	✓
2.5.2	Development Controls	Complies
1.	Buildings must be of a height that responds to the topography and shape of the site.	✓

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2.	Buildings, or their individual elements, must be appropriately scaled to reinforce the surrounding character	✓
3.	Building heights are to be reduced and setbacks increased to provide appropriate transitions to heritage buildings and places or sensitive uses such as public recreation areas and schools.	✓ (upper levels 5, 6 & 7 setback)
4.	The proportion and massing of buildings must relate favourably to the form, proportions and massing of existing and proposed building patterns in the street.	✓
5.	Building height and mass must not result in loss of amenity to adjacent properties, open space or the Public Domain.	✓
6.	The form and massing of buildings must provide a transition between adjoining land use zones and building types.	✓
7.	Building form and massing must support individual and communal entries.	✓

2.7: Building Frontages to the Public Domain

2.7.1	Objectives	Satisfactory
A.	To ensure the appearance of buildings complement and enhance neighbourhood and streetscape character.	✓
B.	To encourage contemporary designs which integrate with the appearance of the streetscape.	✓
C.	To provide attractive building facades which establish identity and contribute to the streetscape.	✓
2.7.2	Development Controls	Complies
1.	Building design and architectural style must interpret and respond to the positive character of the locality, including the dominant patterns, textures and compositions of buildings	✓
2.	Demonstrated design consideration must be given to the underlying building elements that contribute to the character of the area. Such things include roof shape, pitch and overhangs; entry porches, verandas, balconies and terraces; materials, finishes, fixtures, patterns, fenestrations, colours and detailing; the location and proportion of windows and doors.	✓
3.	Building facades must be modulated in plan and elevation and articulated to reduce the appearance of building bulk and to express the elements of the building's architecture	✓
4.	Alterations and additions must be compatible with design elements of the existing building.	✓
5.	Building frontages and entries must provide a sense of address and visual interest from the street. Stairwells must not be located at the front and in view of the Public Domain	✓
6.	Where security grilles/screens, ventilation louvres and car park entry doors are proposed, they must be integrated into facade designs. Solid security shutters will not be permitted.	✓
7.	New buildings and facades must not result in glare that causes discomfort or threaten the safety of pedestrians or motorists. A Reflectivity Report that analyses the effects of potential glare from the proposed new development on pedestrian and motorists may be required by Council	✓ (reflectivity report not required)
8.	Large areas of blank walls are not acceptable. Measures to avoid this may include windows, awnings, sun shading devices, pergolas, or a recognisable increased setback to the upper storey	✓

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9.	New business and industrial buildings shall be designed so that entry points and client service areas are easily identified from the street and are clearly linked to car parking areas and pedestrian paths.	n/a
10.	Where dwelling houses do not face the street, they are to have recognisable entries and a sense of address as they would if they faced the street.	n/a
11.	For commercial and mixed-use development: (i) ground floor activities must activate the adjoining Public Domain to create a vibrant streetscape and promote a sense of community. Buildings shall be carefully designed to ensure active frontages contributes to the liveliness, interest, comfort and safety of the street for those who use it; and (ii) awnings or colonnades for weather protection and shade must be provided along active frontages.	✓ ✓
12.	Site services and related enclosures (such as for waste disposal and recycling, mail and deliveries, water and energy metering and emergency services) are to be integrated into the design of the development and not detract from the streetscape.	✓
13.	Development must respond to the positive attributes of an area by incorporating dominant patterns, textures and compositions into the built form.	✓
14.	Development must provide a sense of address and visual interest from the street through the use of insets and projections that create interest and, where relevant, the appearance of finer grain buildings. Recesses that undermine the safety of the Public Domain are to be avoided.	✓
15.	Building materials, finishes and colours must be of a high quality and compatible with those qualities that are dominant in and contribute to the streetscape and locality.	✓
16.	The reflectivity of external materials and finishes (including roofs and walls) must be minimal in accordance with industry standards. The use of reflective glass and curtain walling as a facade treatment is not generally favoured by Council. Council may require the lodgement of manufacturer's specifications of certain materials and finishes to demonstrate adequately low levels of glare and reflectivity from external surfaces in certain circumstances.	✓

2.8: Roof Forms

2.8.1	Objectives	Satisfactory
A.	To treat roof spaces and forms as an important element of the overall building appearance.	✓
B.	To encourage roof forms that provide continuity and consistent character in the streetscape.	✓
C.	To encourage roof designs that integrate with the building composition and form.	✓
2.8.2	Development Controls	Complies
1.	Plant and lift overrun structures must be incorporated into the roof design. Plant equipment, vents or lift over-runs or solar energy and stormwater collectors are to be designed to avoid visibility from the surrounding spaces and buildings.	✓
2.	The roof is to be designed to provide for rainwater and solar energy collection.	✓
3.	The proposed roof form shall minimise the appearance of bulk and scale of the building and be treated as an important architectural element in the street, which can reinforce continuity and character	✓

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4.	Roof forms are to respond to the neighbouring roofs, in particular in terms of scale and pitch. Roof forms should complement, but not necessarily replicate the predominant form in the locality and in particular those of adjacent buildings.	✓
5.	Roofs must be designed to avoid or minimise loss of views from adjacent and nearby properties and public spaces, however, this does not justify a roof form that is inconsistent with the prevailing streetscape character.	✓
6.	Attics are to be designed to fit within the building envelope with the exception of dormer windows.	n/a

3.1: Accessibility and Connectivity

3.1	Objectives	Satisfactory
A.	To improve pedestrian access and connectivity between housing, open space networks, community facilities, public transport, local activity centres and schools.	✓
B.	To encourage pedestrian through-site links that are designed to promote safety and amenity.	✓ (refer comments below)

3.1.2	Development Controls	Complies
1.	Pedestrian links must be provided where possible through large development sites to improve connectivity between housing, open space networks, community facilities, public transport, local activity centres and schools. Where Council considers it appropriate to have through site links, it will consider the public benefit that is derived from this in terms of potential loss of development potential.	n/a
2.	Through-site links must be arranged on the site to enable casual surveillance from buildings on the site and from the street or Public Domain. Through-site links are to be landscaped appropriately and include provision for appropriate lighting.	n/a
3.	Public, communal and private areas must be clearly delineated within the site	✓
4.	Pedestrian and cycle links must be provided on sites adjacent to waterways to improve accessibility to these natural systems.	n/a
5.	Existing through-site pedestrian links are to be retained by all types of development, except where alternative access can be provided to Council's satisfaction.	n/a

Comments:

Through-site linkages

The physical constraints of the site preclude the ability to incorporate through-site linkages. Albeit, it is noted that the building entry is clearly defined from the public domain and incorporates a legible and safe lobby area.

3.2: Building Entries

3.2.1	Objectives	Satisfactory
A.	To create street entrances with a strong identity that provide a transition from the street to residential interiors.	✓
B.	To ensure car park entries do not detract from the street	✓

3.2.2	Development Controls	Complies
1.	Legible entry/lobby areas accessed from a public street are to be provided to encourage surveillance and activation of the Public Domain, thereby increasing safety.	✓
2.	Strong visual and physical connections must be provided between the street and	✓

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	lobby spaces. Entries and foyers must be designed to be comfortable, sheltered, safe, convenient and visible at all times of day and night.	
3.	Car park entrances and crossovers are not permitted unless there is no alternative in retail and commercial areas. Entrances must be located off streets that have a predominantly service role, and these streets should be upgraded as necessary to cater for this role.	✓ (no alternative)
4.	Pedestrian access must be incorporated with car park entrances to reduce the visual impact of the car park entrance. Car park entrances must be carefully designed to avoid unattractive or extensive gaps in street frontages.	✓
5.	New commercial and industrial buildings must be designed so that entry points and client service areas are easily identified from the street and are clearly linked to car parking areas and pedestrian paths.	n/a
6.	Where a dwelling house does not face the street, it must have a recognisable entry and a sense of address.	n/a

3.3: Visual and Acoustic Privacy

3.3.1	Objectives	Satisfactory
A.	To ensure that development does not cause unreasonable overlooking of habitable rooms and principal private open spaces of dwellings.	n/a
B.	To ensure that visual privacy is provided both within a development and between a development and its neighbours.	✓
C.	To ensure that the siting and design of development minimises the impacts of noise transmission between properties.	✓
3.3.2	Development Controls	Complies
1.	New development must ensure adequate visual and acoustic privacy levels for neighbours and residents	✓
2.	Development must be located, oriented and designed to maximise visual and acoustic privacy between buildings.	✓
3.	The internal layout of buildings must be designed to minimise overlooking of living areas, private open spaces and adjoining school yards.	n/a
4.	Building elements such as balconies and decks must be designed to minimise overlooking of living areas, private open spaces of adjoining dwellings and adjoining school yards	n/a
5.	The windows of dwellings must be located so they do not provide direct and close views into the windows of other dwellings, particularly those of living areas (refer Figure 9).	n/a
6.	Building design elements shall be used to increase visual and acoustic privacy such as recessed balconies and/or vertical fins between adjacent balconies, oblique windows, fencing, vegetation and louvres and pergolas which limit overlooking of lower dwellings, private open space and adjoining school yards (refer Figure 10).	✓
7.	The internal layout of buildings including windows must be designed so as to reduce the effects of noise transmission.	✓
8.	Appropriate building materials shall be used to provide acoustic privacy.	✓
9.	Consideration to the relationship between residential and non-residential components of mixed use development with regard to noise attenuation and privacy must be demonstrated in the design of the development.	✓

Privacy

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Condition 20 prescribes that the west facing bedroom windows to Units 504, 604 and 704 shall be amended to include fixed external screening angled at 45° to the north-west to prevent any direct sightline to the west.

The reason for this condition is to maintain appropriate privacy amenity in the event of future redevelopment of the adjoining land to the west.

3.4: Acoustic Amenity and Air Quality

3.4.1 Objectives		Satisfactory
A.	To ensure that the siting and design of buildings minimises noise impacts from abutting roads, rail corridors and other noise-generating land uses.	✓ (Acoustic assessment report submitted)
B.	To ensure that new commercial or industrial development does not unreasonably diminish the amenity of nearby residential uses by noise intrusion.	n/a
C.	To ensure mitigation measures such as building layout and design and building materials are taken into consideration where poor air quality is likely to affect inhabitants.	n/a
3.4.2 Development Controls		Complies
1.	Where dwellings are proposed within proximity to noise-generating land uses such as major roads and rail corridors; entries, halls, storage rooms, bathrooms and laundries must be located on the noise affected side of each dwelling and should be able to be sealed off by doors from living areas and bedrooms where practicable.	✓ (Condition 15, prescribes compliance with the Noise Assessment Report)
2.	Where dwellings are proposed within proximity to noise-generating land uses, appropriate materials with acoustic properties shall be incorporated into the development	✓
3.	New non-residential development must not adversely affect the amenity of adjacent residential development in terms of noise, odour, poor air quality, hours of operation and/or service deliveries.	✓
4.	Noise generating developments particularly those adjacent residential developments and residential developments adjacent to noise generating sources such as busy roads and rail corridors, must submit an Acoustic Report prepared by a suitably qualified acoustic consultant with a development application	✓
5.	The provisions of State Environmental Planning Policy (Infrastructure) 2007 and Development near Rail Corridors and Busy Roads Interim Guideline must be taken into consideration, to minimise impacts of busy roads and railway corridors on residential and other sensitive development such as schools, child care centres, places of public worship and health services facilities when designing a development proposal	✓
6.	For residential development: – internal habitable rooms of dwellings affected by high levels of external noise must be designed to achieve internal noise levels of no greater than 50dBA; – The internal layout of buildings/dwellings shall be designed so as to minimize the impacts of poor air quality on inhabitants.	✓

3.5: Solar Access and Cross Ventilation

3.5.1 Objectives		Satisfactory
A.	To provide thermal comfort for occupants.	✓
B.	To ensure that development does not unreasonably diminish sunlight to neighbouring properties and within the development site.	✓
C.	To ensure that sunlight access is provided to private open space and habitable	✓

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	rooms to improve amenity and energy efficiency.	
D.	To ensure sufficient volumes of fresh air circulate through buildings to create a comfortable indoor environment and to optimize cross ventilation.	✓
E.	To ensure that sunlight access is provided to the Public Domain.	✓
3.5.2	Development Controls	Complies
1.	Development must be designed and sited to minimise the extent of shadows that it casts on: - private and communal open space within the development; - private and communal open space of adjoining dwellings; - significant areas of the Public Domain, such as main streets, open space and plaza areas, main pedestrian links etc. - solar collectors of adjoining development; and - habitable rooms within the development and in adjoining developments. Note: Building setbacks may need to be increased to maximise solar access and to minimise overshadowing from adjoining buildings. Building heights may also need to be stepped to maximise solar access.	✓
2.	Generally, dwellings within the development site and adjoining properties are to receive a minimum of 3 hours sunlight in habitable rooms and in at least 50% of the private open space between 9am and 3pm on 21 June. Where existing development currently receives less sunlight than this requirement, this should not be unreasonably reduced. In order to demonstrate that this can be achieved, shadow diagrams may be required with the development application.	✓
3.	Living areas of dwellings such as kitchens and family rooms shall be located on the northern side of dwellings and service areas such as laundries and bathrooms to the south or west.	✓ (maximum no. of serviced apartments orientation to north, taking into account site constraints).
4.	In habitable rooms, head and sill heights of windows must be sufficient to allow sun penetration into rooms.	✓
5.	Landscaping must provide shade in summer without reducing solar access in winter.	✓
6.	Buildings must have narrow cross sections, providing dual aspect for dwellings to allow for cross ventilation.	✓
7.	Buildings must be orientated to benefit from prevailing breezes.	✓
8.	All rooms must contain an external window to provide direct light and ventilation. Exceptions may be considered for non-habitable rooms where this cannot be achieved practicably and mechanical ventilation can be provided.	✓
9.	Natural cross ventilation shall be achieved by locating window openings in opposing walls and in line with each other.	✓
10.	Building elements such as operable louvres and screens, pergolas, blinds etc. shall be used to modify environmental conditions where required, such as maximizing solar access in winter and sun shading in summer.	✓

3.6: Safety and Security

3.6.1	Objectives	Satisfactory
A.	To ensure a safe physical environment by promoting crime prevention through design.	✓
B.	To encourage increased use of shopping centres, particularly at night.	✓
C.	To create a balance of uses that are safe and easily accessible	✓

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D.	To ensure there is adequate lighting and signage.	✓
E.	To reduce crime risk and minimise opportunities for crime.	✓
F.	To increase and contribute to the safety and perception of safety in public and semi-public spaces.	✓
G.	To encourage the consideration and application of crime prevention principles when designing and siting buildings and spaces.	✓
H.	To encourage dwelling layouts that facilitate safety and encourage interaction and recognition between residents.	✓
3.6.2	Development Controls	Complies
1.	Development must be designed to incorporate and/or enhance opportunities for effective natural surveillance by providing clear sight lines between public and private places, installation of effective lighting, and the appropriate landscaping of public areas.	✓
2.	Development must be designed to minimise opportunities for crime through suitable access control. Physical or symbolic barriers should be used to attract, channel and/or restrict the movement of people. Landscaping and/or physical elements may be used to direct people to destinations, identify where people can and cannot go and restrict access to high crime risk areas such as car parks.	✓
3.	Development must incorporate design elements that contribute to a sense of community ownership of public spaces. Encouraging people to gather in public spaces through appropriate design techniques, helps to nurture a sense of responsibility for a place's use and condition.	✓
4.	Building entrances must be clearly identified and accentuated. Entries and associated elements including signs, street numbers, post boxes, landscaping etc. must be designed to emphasise their visible presence from various locations or approaches to the building.	✓
5.	Entrances must serve as points of orientation or way-finding within the development, and providing clear sightlines and visual connections between the street, the entry, foyers and residential interiors.	✓
6.	The installation of solid security shutters as a means of defining the boundaries between public and private spaces will not be supported.	✓ (no solid security shutters proposed)
7.	The incorporation of crime prevention measures in the design of new buildings and spaces shall not detract from the quality of the streetscape. Subtle design techniques must blend into façades and places and be integrated with the overall design of the development.	✓
8.	A site management plan and formal crime risk assessment (Safer by Design Evaluation) involving the NSW Police Service may be required for large developments, which in Council's opinion, would create a crime risk	n/a
9.	The design of buildings adjoining laneways and through site connections must be designed to activate these spaces at ground level and provide casual surveillance from ground and upper levels	✓ (The development provides passive surveillance of the adjoining public domain)
10.	Lighting of laneway space is required	

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3.8: Views

3.8.1 Objectives		Satisfactory
A.	To provide view sharing for both existing and proposed and future residents	✓
B.	To minimise disruption to views from adjacent and nearby development and views to and from public spaces, including accumulated view loss i.e. 'view creep'.	✓
3.8.2 Development Controls		Complies
1.	The design of any development must minimise the loss of views from neighbouring and nearby dwellings and from public spaces.	✓
2.	Views between and over buildings are to be maximised and exceptions to side boundary setbacks will not be considered if they contribute to loss of primary views from living areas.	✓
3.	View assessment is to be carried out having regard to the Land and Environment Court Planning Principle in respect of view sharing, which was set out in <i>Tenacity Consulting v Warringah Council (2004) NSWLEC40</i> ("Tenacity").	✓

Comments:

Following notification of the application, the owner of Unit 1206, 5 Albert Road, Strathfield raised objected to the proposed development on the basis of view loss.

In assessing the reasonableness or otherwise of the degree of view loss, this report has had regard to the case law established by *Tenacity Consulting v Warringah (2004) NSWLEC 140* which has established a four step assessment of view sharing. The steps are as follows:

1. The assessment of the views affected

The first step is the assessment of views to be affected. Water views are valued more highly than land views. Iconic views (e.g. of the Opera House, the Harbour Bridge or North Head) are valued more highly than views without icons. Whole views are valued more highly than partial views, e.g. a water view in which the interface between land and water is visible is more valuable than one in which it is obscured.

The subject view is an interrupted view of Strathfield Square.

Contact with the owner of Unit 1206 at 5 Albert Road were not provided to arrange a site inspection.

2. Consideration from what part of the property the views are obtained

The subject view is obtained from Level 12 of the thirteen (13) storey building at No. 3-7 Albert Road to the north-west of the site, as shown at **Figure 9**.

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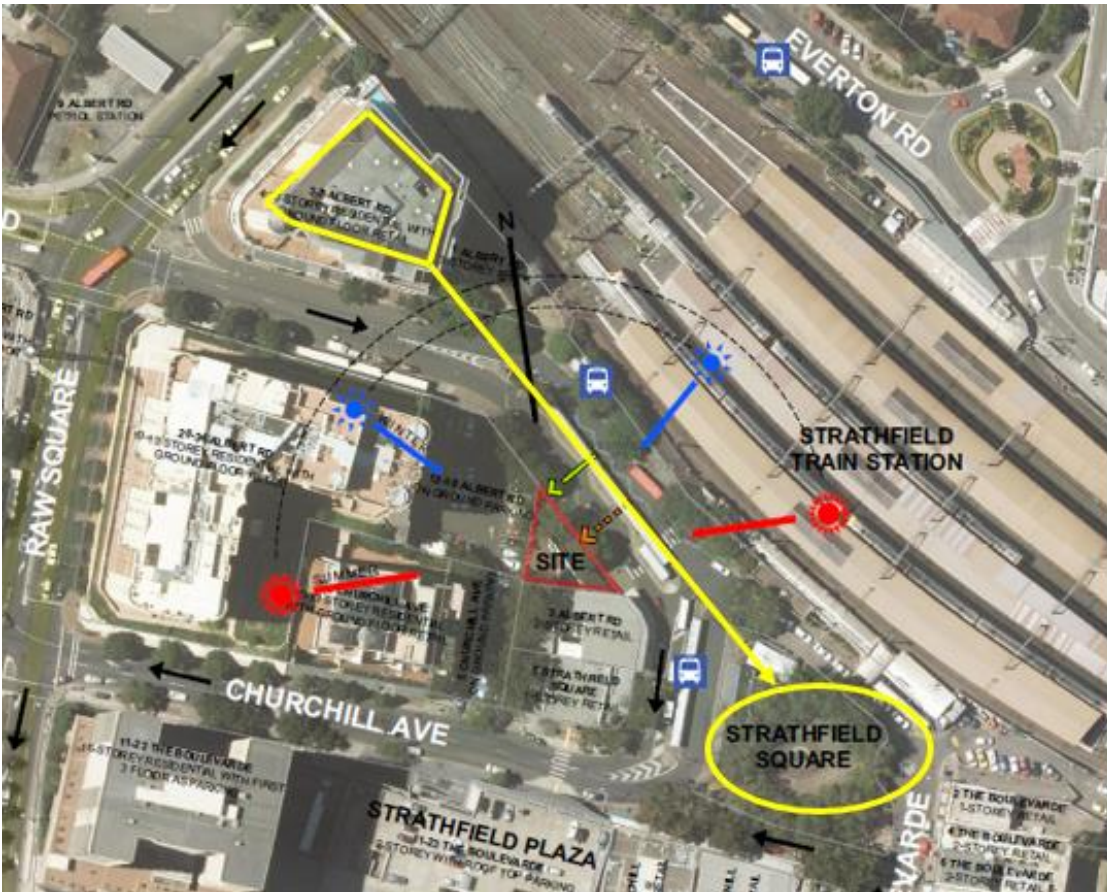


Figure 9. Concerns of view loss of Strathfield Square are raised from the owner of an apartment on Level 12 of a 13 storey building at No. 3-7 Albert Road (highlighted in yellow).

3. The extent of the impact

The third step is to assess the extent of the impact. This should be done for the whole of the property, not just for the view that is affected. The impact on views from living areas is more significant than from bedrooms or service areas (though views from kitchens are highly valued because people spend so much time in them). The impact may be assessed quantitatively, but in many cases this can be meaningless. For example, it is unhelpful to say that the view loss is 20% if it includes one of the sails of the Opera House. It is usually more useful to assess the view loss qualitatively as negligible, minor, moderate, severe or devastating.

The proposed development of nine (9) storeys will not have any detrimental impact of existing views of Strathfield Square from Level 12 of the mixed-use building at No. 3-7 Albert Road.

4. The reasonableness of the proposal that is causing the impact

The fourth step is to assess the reasonableness of the proposal that is causing the impact. A development that complies with all planning controls would be considered more reasonable than one that breaches them. Where an impact on views arises as a result of non-compliance with one or more planning controls, even a moderate impact may be considered unreasonable. With a complying proposal, the question should be asked whether a more skilful design could provide the applicant with the same development potential and amenity and reduce the impact on the views of neighbours. If the answer to that question is no, then the view impact of a complying development would probably be considered acceptable and the view sharing reasonable.

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The Court poses two questions in *Tenacity Consulting vs Warringah (2004) NSWLEC 140*. The first question relates to whether a non-compliance with one or more planning controls results in view loss.

The second question posed by the Court relates to whether a more skilful design could provide the same development potential whilst reducing the impact on views.

The view loss from Unit 1206 at Level 12 of a mixed-use building at No. 5 Albert Road is considered acceptable on merit for the following reasons:

- The maximum height of the proposed development sits substantially below Level 12 of the mixed-use building at 5 Albert Road.
- The proposal maintains a view corridor from No. 3-7 Albert Road to Strathfield Square as evidenced in **Figure 7**.
- The proposed development has a maximum height of 30.8m, which is substantially lower than the maximum height of 58m permitted under SLEP 2012.
- The increased setback of the upper floors to Albert Road demonstrates a skilful design in assisting view sharing and will increase the width of the view corridor between No. 3-7 Albert Road and Strathfield Square.

In conclusion, the impacts on existing views obtained from Unit 1206 at 5 Albert Road are not driven by non-compliances with any planning controls. On this basis, according to *Tenacity Consulting v Warringah (2004) NSWLEC 140*, the impacts are considered to be minor and reasonable. The proposal has demonstrated a skilful design in view sharing in accordance with Section 3.8 of Part Q of SCDCP 2005.

3.9: Landscaping

3.9.1 Objectives		Satisfactory
A.	To enhance the existing streetscape and promote a scale and density of planting that softens the visual impact of buildings	✓
B.	To ensure developments make an equitable contribution to the landscape setting of the locality	✓
C.	To maximise the provision of open space for recreational needs of the occupier and provide privacy and shade	✓
3.9.2 Development Controls		Complies
1.	The design, quantity and quality of open space must respond to the character of the street and surrounding area and contribute to the garden character of Strathfield.	✓
2.	Existing trees within the front setback shall be retained. Front setback areas must contain at least two (2) canopy trees adjacent the front boundary and comprise at least 50% of the setback is to be for deep soil planting.	X (refer comments)
3.	Existing trees on Council's Road Reserve area must be retained and protected. New driveway locations that necessitate removal of a Council street tree will not be supported.	n/a
4.	In higher density areas the provision of adequate private open space and landscaped areas must maximise residential amenity. Site works must be minimised to protect natural features.	✓
5.	Landscaping must be designed to protect the amenity of existing and future residents and minimise the impact of new development, including alterations and additions, on privacy, views, solar access and general amenity of adjoining and nearby properties including noise and vibration impacts.	✓
6.	Where the landscape pattern in the prevailing streetscape and surrounding locality is desirable, this must be retained.	✓

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7.	In areas adjacent to native habitat, the design of development must be sympathetic to the natural environment in order to protect and enhance the area as habitat for native fauna	n/a
8.	In relation to conservation and energy efficiency, plant species must be retained, selected and planted to achieve: - shaded buildings in summer; - reduced glare from hard surfaces; - sunlight access into living rooms in cooler months; - cooling air currents channelled into the dwelling in summer; and - windbreaks where desirable.	✓
9.	Natural features on the site, such as trees, rock outcrops, cliffs, ledges, Indigenous species and vegetation communities must be retained and incorporated into the design of development.	n/a
10.	Landscaping must enhance the visual setting and accentuate the design qualities of the built form. Landscaping solutions shall be used to create a screening effect for visually obtrusive land uses or building elements	✓
11.	Trees must be planted at the front and rear of properties to encourage tree canopy, to soften the built environment and to encourage the continuity of the landscape pattern	✓ (4 X new trees proposed to road reserve fronting Albert Road)
12.	Landscaping is to be designed so as to minimise overlooking between properties.	✓
13.	The amount of hard surface area shall be minimised to reduce run-off. Run-off from hard surfaces is to be directed to permeable surfaces such as garden beds.	✓ (Stormwater concept plans acceptable)

Existing trees within the front setback

Two (2) existing trees within the front setback are located within the building envelope and are supported for removal.

Four (4) replacement street trees are proposed to offset this loss. Additional landscaping on the site is proposed at the Level 4 communal open space area.

3.10: Private and Communal Open Space

3.10.1	Objectives	Satisfactory
A.	To ensure that private open space is designed to provide residents with quality usable private outdoor living areas for recreational and outdoor activities.	✓
B.	To ensure that private open space is designed for privacy, solar access, and is well integrated with living areas.	✓
C.	To provide low maintenance communal open space areas for residents that facilitate opportunities for recreational and social activities, passive amenity, landscaping and deep soil planting	✓
3.10.2	Development Controls	Complies
1.	Private open space must be: - Provided for all dwellings (with the exception of secondary dwellings, which are able to share the private open space of the principal dwelling). Open space within the front setback does not constitute private open space. - Directly accessible from the living area of the dwelling and capable of serving as an extension of the dwelling for relaxation, entertainment and recreation. Designed to ensure visual and acoustic privacy of the occupants of adjacent buildings and within the proposed development. - Located so as to maximise solar access.	✓

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	- - Designed to focus on the quality of the space in terms of its outlook, orientation, relationship to the dwelling, size and shape and its enclosure and landscape treatment.	
2.	Communal open space must be: <ul style="list-style-type: none"> - Located where it is highly visible and directly accessible to the maximum number of dwellings. - Designed with an integral role in the site and include uses such as circulation, BBQ or play areas, and areas of passive amenity, but excludes swimming pools. - Integrated with the deep soil zone to provide a landscaped setting with opportunities for large and medium size tree planting - Located adjacent to surrounding public open spaces such as reserves and public through site links where appropriate. 	✓

3.11: Energy Efficient Design

3.11.1 Objectives		Satisfactory
A.	To promote sustainable development which uses energy efficiently and minimises non-renewable energy usage in the construction and use of buildings.	✓
B.	To ensure that development contributes positively to an overall reduction in energy consumption and greenhouse gas emissions.	✓
3.11.2 Development Controls		Complies
1.	Where applicable, development must demonstrate compliance with the design principles embodied in the Building Sustainability Index (BASIX). All commitments listed on a BASIX certificate must be marked on all relevant plans and specifications.	✓
2.	For residential development not subject to BASIX, the principles and properties of thermal mass, glazing, insulation and solar energy must be recognised and incorporated into the design of the development.	✓
3.	Water Sensitive Urban Design principles must be integrated into the development through the design of stormwater drainage, on-site detention and landscaping and in the orientation of the development rather than relying on 'end of pipe' treatment devices prior to discharge.	✓
4.	All commercial, mixed-use and residential flat buildings must achieve a 4-6 green star rating in accordance with the Green Building Council of Australia's Green Star program	✓ (Condition 17)

4.1: Car Parking and Vehicular Access

4.1.1 Objectives		Satisfactory
A.	Vehicular access points are to be minimised and should not break the continuity of the streetscape. Landscaping should be used to minimise the visual intrusion of vehicular access points.	✓
B.	Garages and parking structures are not to dominate the building facade and front setback	✓
C.	To ensure that the location and design of driveways, parking spaces and other areas used for the movement of motor vehicles are efficient, safe, convenient and are integrated into the design of the development to minimise their visual impact.	✓
4.1.2 Development Controls		Complies
1.	Vehicle access points and parking areas must: <ul style="list-style-type: none"> - be easily accessible and recognisable to motorists; - not disrupt pedestrian flow and safety; 	✓

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	- be located to minimise traffic hazards and the potential for vehicles to queue on public roads; and - - minimise the loss of on street car parking, and to minimise the number of access points.	
2.	Car parking and service/delivery areas must be located so that they do not visually dominate either the development or the Public Domain surrounding the development.	✓
3.	For mixed-use development: – loading/manoeuvring areas must be located within buildings or screened from adjacent residential uses; and – residential non-residential car parking spaces must be physically separated.	✓ (The site relies on existing loading bays in the vicinity. This is considered acceptable)
4.	For industrial development: - loading docks must be designed to allow heavy vehicles to enter and leave the site in a forward direction, without interfering with visitor and employee parking; - adequate and suitable on-site receiving areas and parking for trucks and large vehicles must be provided to prevent queuing or off-site parking of such vehicles; - materials for kerbs, gutters, footpaths, walkways and driveways must be selected to resist damage by large vehicles or frequent use; and - – a traffic management plan must be prepared detailing all transport options for the development, including type of transport used, size of trucks and frequency.	n/a
5.	Development on corner sites may be required to accommodate a splay corner to facilitate improved traffic conditions. This matter should be identified at the initial design stage in consultation with Council's development assessment officers.	n/a
6.	Where properties have access to a rear lane or secondary street frontage, parking and servicing access shall be provided from the secondary street/lane.	n/a
7.	Driveways must be designed to avoid a long and straight appearance by using landscaping and variations in alignment.	✓
8.	Car parking areas and vehicle access ways shall be landscaped to integrate sympathetically with the development and the landscape character of the locality.	✓ (4 x street trees are proposed)
9.	The area between property boundaries and driveways, access ways and parking spaces must be of sufficient width to enable landscaping and screen planting.	n/a
10	All parking provision must be designed and sited to respond to and respect the prevailing streetscape. The visual impact of parking within the front setback is to be minimised.	✓
11	The width and number of footpath crossings shall be minimised	✓

4.5: Signage and Advertising

No details of any signage have been submitted as part of the application.

Condition 1 prescribes that a separate development is to be lodged for any proposed external signage, excluding signs which are classified as being 'exempt development'.

STRATHFIELD DEVELOPMENT CONTROL PLAN NO. 13 – STRATHFIELD TOWN CENTRE

Clause 2.1 Objectives

The proposal is consistent with the objectives of DCP in the following manner:

- the proposal will strengthen the Strathfield Town Centre's role as the municipality's major retail and commercial centre;
- the proposal includes a retail component at ground floor level and will provide activation of

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- the adjoining public domain,
- the proposal will not detract from the significance of the heritage listed Strathfield Railway Station;
- the proposed development is contextually appropriate in terms of bulk and scale and architectural form;
- the development presents a skilful, high quality design on a physically constrained site that is considered to enhance the public domain;
- the proposed development encourages public transport patronage and reduced car dependence; and
- the proposal will not give rise to any detrimental amenity impacts to surrounding development.

Clause 3.1 General principles for building siting and design

The proposal is acceptable with regards to the general principles for development in the Town Centre as follows:

- the upper levels have been setback and an awning incorporated at ground floor to maintain a pedestrian scale at streetscape level;
- a zero setback at ground level is proposed in accordance with DCP 13;
- the contemporary building façade is well modulated and articulated to provide visual relief and to reduce the mass and perceived bulk of the development;
- the proposed external finishes and colours are sympathetic to the prevailing streetscape character; and
- the proposal retains ground floor retail tenancy space, thereby encouraging activation of adjoining public domain.

Clause 3.2 Objectives building siting and design

The proposal is acceptable with regards to the objectives for building siting and design as relevant to the proposal, in the following manner:

- The proposal maximises opportunities for shopfront activities.
- Whilst the proposed development exceeds two (2) storeys at the street alignment, the upper Levels 5-7 have been setback above a communal open space area with podium at Level 4 in order to reduce the actual and perceived bulk from the public domain. Moreover, the use of Corian cladding to the Mezzanine Level, and Levels 1 to 3 further breaks up the façade and reduces its perceived massing. It is further noted that the height guidelines under DCP 2013 (2005) are superseded by the maximum building height and FSR permitted under LEP 2013. The proposed maximum height of 30.08m is substantially below the prescribed 58m.
- The height and form of the proposed infill development is considered to be appropriate to the 2 storey commercial building to the south; and car park to the west; and 10-13 storey mixed-use buildings to the west, north-west and south-west.
- Internal amenity in terms of solar access and cross ventilation to the serviced apartments, and amenity impacts to adjoining development in terms of privacy, views and solar access is acceptable.
- Suitable conditions are recommended to mitigate pedestrian/vehicle conflict from vehicles entering/exiting the mechanical car installation.

Clause 3.3 Height and massing

The controls contained within section 3.3 are superseded by those controls specifically for developing fronting Albert Road under Part 4.

With regards to vehicular access, Clause 3.6.4 states that vehicular access is not permitted across properties fronting The Boulevard, Strathfield Square, Albert Road and Churchill Avenue. The

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subject site is already serviced by an existing 4m wide access from Albert Road adjacent the western boundary. Additionally, access to the public car park to the west of the site is via Albert Road.

The proposed crossing is considered to be acceptable on merit and is supported for approval, subject to conditions.

Clause 4.2 Objectives for development bounded by Albert Road, Raw Square, Churchill Avenue and Strathfield Square

The proposal is acceptable with regards to the general objectives for development bounded by Albert Road, Raw Square, Churchill Avenue and Strathfield Square in the following manner:

- The proposal provides retail development to the street alignment.
- Whilst the proposal exceeds a maximum of 12m height at the street frontage, the proposal achieves consistency with the intention of the requirement to retain a human scale to the streetscape.
- The proposal includes an awning at ground floor and sets back the upper levels above a podium in order to minimise the visual impact of the development on the public domain.
- The bulk and scale of the development is contextually appropriate and sits within the 'framing' elements formed by the Strathfield Plaza and Sandalwood apartment buildings as viewed from the east and west.
- The proposal complies with the maximum FSR permitted on the site.
- The development provides appropriate on-site parking and encourages public transport patronage.
- The proposal does not include below-ground parking as recommended under DCP 13.
- The development will not give rise to any unacceptable overshadowing and wind effects. The scale of the development is not considered to trigger the requirement for a wind assessment report by a qualified specialist.

Clause 4.3 Planning controls

The proposal is acceptable with regards to the planning controls for development bounded by Albert Road, Raw Square, Churchill Avenue and Strathfield Square in the following manner:

- Adequate provision is made for on-site parking.
- The bulk and scale of the development is appropriate to the site and contextually appropriate.
- The development provides an awning and weather protection for pedestrians at ground floor. Additional weather protection will be provided from the canopy of four (4) new street trees proposed along the Albert Road street alignment.
- The building elements taller than 12m are generally setback. The physical constraints of the site prohibit a setback of 5-7m. The design of the development increases the perceived setback of the upper levels through the use of external materials and forms, including a feature Corian cladding to Levels M (mezzanine) to 3 and podium at Level 4.
- The building has a legible entry and accessible path of travel from the ground floor mechanical installation to the upper levels.

4.15 (1)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

(i) matters prescribed by the regulations

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Environmental Planning and Assessment Regulation 2000

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* sets out the additional matters of consideration that the consent authority must take into consideration in determining a development application.

Clause 92(1)(a) of the EP&A Regulation 2000 requires the consent authority to take into consideration the Government Coastal Policy, which means the publication entitled *NSW Coastal Policy 1997: A Sustainable Future for the New South Wales Coast*. The proposal is considered to be acceptable having regard to this policy.

Clause 92(1)(b) of the EP&A Regulation 2000 requires Council to consider Australian Standard AS 2601-2004: The demolition of structures. The proposal is considered to be acceptable, subject to the imposition of suitable conditions.

Building Code of Australia

The proposal is required to comply with the relevant provisions of the Building Code of Australia. These requirements are enforced by standard conditions.

(ii) any coastal zone management plan

The proposed development is not located on a site that is subject to flooding attributed to either Powell's Creek or Cook's River and is therefore not required to be considered under the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

All likely impacts have been addressed elsewhere in the report, or are considered to be satisfactory and not warrant further consideration.

4.15(1)(c) the suitability of the site for the development

The proposed development is considered to be suitable to the site.

4.15(1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with Part L of the SCDCP 2005 from **26/09/2017 to 16/10/2017**, with three (3) submissions received from:

1. Mr. Chris Wong, PO Box 142, Strathfield NSW 20135
2. Mr. Maxwell Bonner, 1206/5 Albert Road, Strathfield NSW 2135
3. Mr. Benjamin Ho, 26 Plymouth Avenue, North Rocks NSW 2151

The submissions raised the following issues:

Issue	Concerns
Vehicle visibility and pedestrian safety	<ul style="list-style-type: none"> • A driver exiting the car lift will be unable to observe on-coming westbound pedestrians. • Visibility is only improved once the vehicle has driven across the property boundary and into the footpath. • This is dangerous to pedestrians walking close to the boundary line. •
Width of	<ul style="list-style-type: none"> • The car lift will require an unusually large driveway on a busy footpath.

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crossing	
Street trees	<ul style="list-style-type: none"> • The Landscape Plan proposes to cut holes in the busy footpath to accommodate street tree planting. • The mulch in the tree holes will be a trip hazard. • Potential conflict between tree root growth and underground utilities under the footpath?
Replacement trees	<ul style="list-style-type: none"> • The replacement trees cannot replace existing fully grown trees. • Advanced replacement species in a more suitable location should be planted.
Loss of views	<ul style="list-style-type: none"> • Loss of views of Strathfield Square and Burwood from Level 12 of the Sandalwood Apartments above the Russian Club. • Cumulative view loss resulting from high rise development in the immediate vicinity.
Loss of existing street trees	<ul style="list-style-type: none"> • Two (2) existing street trees are proposed to be demolished, which are a pleasing part of the existing view from Unit 1206, level 12, 5 Albert Road, Strathfield. • Loss of birdlife.
Increased traffic congestion	<ul style="list-style-type: none"> • Increased density will exacerbate existing traffic congestions around Strathfield Station.

4.15(1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is considered to be in the public interest.

SECTION 7.11 CONTRIBUTIONS

Section 7.11 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Act reads as follows:

- “(1) If a consent authority is satisfied that development for which development consent is sought will or is likely to require the provision of or increase the demand for public amenities and public services within the area, the consent authority may grant the development consent subject to a condition requiring:*
- (a) the dedication of land free of cost, or*
- (b) the payment of a monetary contribution,*
- or both.*
- (2) A condition referred to in subsection (1) may be imposed only to require a reasonable dedication or contribution for the provision, extension or augmentation of the public amenities and public services concerned.”*

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STRATHFIELD DIRECT SECTION 7.11 CONTRIBUTIONS PLAN

Section 7.11 Contributions are applicable to the proposed development in accordance with the Strathfield Direct Development Contributions Plan 2010-2030.

The current June 2018 rates are as follows:

CONTRIBUTION PAYABLE

Provision of Community Facilities	\$Nil
Provision of Major Open Space	\$105,539.33
Provision of Local Open Space	\$36,357.76
Provision Roads and Traffic Management	\$73,992.20
Administration	\$2,093.48
TOTAL	\$217,982.77

CREDIT

Provision of Community Facilities	\$Nil
Provision of Major Open Space	\$10,993.49
Provision of Local Open Space	\$3,731.73
Provision Roads and Traffic Management	\$34,795.90
Administration	\$201.72
TOTAL	\$49,722.83

Base on the rates above, the total amount payable is **\$168,259.93**.

A condition requiring payment of this amount is included within the recommendation (**Condition 52**).

CONCLUSION

The application has been assessed having regard to Section 4.15 of the Environmental Planning and Assessment Act 1979, State Environmental Planning Policy (BASIX) 2004, State Environmental Planning Policy (Infrastructure) 2007, State Environmental Planning Policy No. 55 – Remediation of Land, State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017, Strathfield Local Environmental Plan 2012, Strathfield Development Control Plan 2005, and Strathfield Development Control Plan No. 13 – Strathfield Town Centre and is considered to be satisfactory for approval, subject to recommended conditions of consent

RECOMMENDATION

That Development Application No. DA2017/138 for demolition of existing site structures and construction of a mixed-use development comprised of commercial space, mechanical parking installation entry, lobby and waste storage areas at ground floor level; office accommodation at Levels 2 and 3; twelve (12) x two (2) bedroom serviced apartments at Levels 4, 5 and 6; and car parking for ten (10) vehicles at Mezzanine Level and Level 1 at 4-10 Albert Road be **Approved**, subject to the following conditions:

SPECIAL CONDITIONS (SC)

1. MECHANICAL PARKING INSTALLTION (SC)

The mechanical parking installation shall be designed and constructed in accordance with the Building Code of Australia and all relevant Australian Standards including AS 5124:2017

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– *Safety of Machinery: Equipment for power driven parking of motor vehicles.*

(Reason: To ensure appropriate safety standards are met.)

2. ACCESS TO THE MECHANICAL PARKING INSTALLTION (SC)

Vehicular access to the mechanical parking installation and each space within the mechanical car stacker shall be in accordance with AS/NZS 2890.1-2004.

(Reason: To ensure compliance with relevant standards for safety.)

3. REPORT ON THE MECHANICAL PARKING INSTALLTION (SC)

A report for the mechanical parking installation shall be prepared by a suitably qualified traffic consultant.

As a minimum, the report shall provide a queuing analysis, taking into account:

- the proposed peak hour vehicle volumes;
- the service rate (in seconds) associated with the proposed parking equipment; and
- demonstrate that vehicle queuing to enter the mechanical parking installation will not extend beyond the property boundary during peak hour vehicle volumes. Vehicles must not wait on the footpath or roadway.

The report should also include the following information:

- details of the internal height clearance;
- details of required servicing and ongoing maintenance;
- details of the noise output of the device; and
- manufacturers documentation.

A copy of the report is to be submitted to Council's Traffic Engineer for approval, prior to the issue of any Construction Certificate.

(Reason: To ensure pedestrian safety and minimise traffic congestion.)

4. RESIDENTIAL WASTE (SC)

The residential waste (both general waste and recycling) from the serviced apartments shall be collected on a weekly basis via a walk-in-walk-out arrangement direct from the residential waste room. Bins shall not be left on the footpath for kerbside collection. An agreement to this effect shall be entered into with Council, prior to any occupation of the premises with evidence of the agreement provided to the Principal Certifying Authority, prior to issue of the Construction Certificate.

Should Council not agree to enter into such an agreement, a private contractor is to be arranged to ensure waste is collected directly from the waste room and bins are not left kerbside for collection.

(Reason: To maintain streetscape amenity and ensure pedestrian safety.)

5. COMMERCIAL WASTE (SC)

Commercial waste from the proposed development shall be collected on a weekly basis and all retail waste collected three (3) times weekly via a walk-in-walk-out arrangement direct from the 'retail waste room'. Bins shall not be left on the footpath for kerbside collection.

A private contractor shall be arranged to provide this service. Evidence of the

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agreement/contract is to be provided to Council, prior to issue of the Construction Certificate.

(Reason: To maintain streetscape amenity and ensure pedestrian safety.)

6. USE OF APARTMENTS AS SERVICED APARTMENTS (SC)

Use of twelve (12) x two (2) bedroom apartments on Levels 5, 6 and 7 (501, 502, 503, 504, 601, 602, 603, 604, 701, 702, 703, 704) are to be used only for the purpose of a serviced apartment as defined under *Strathfield Local Environmental Plan 2012*.

(Reason: To ensure consistency with the approved development.)

7. TREE PROTECTION MEASURES (SC)

All works are to be carried out in accordance with Sections 6, 7, and 8 of the Arboricultural Impact Assessment Report prepared by Tree Talk Arboricultural Consulting dated July 2017.

The site manager and contractors must be advised of Tree protection requirements, and a copy of the report shall be available on-site at all times.

Where works are proposed within the Structural Root Zone (SRZ) of trees being retained, the project arborist (AQF 5) shall be on site to assess works processes and to consider the likely impacts of works. Where any variations are to be considered the project arborist (AQF 5) shall be consulted.

(Reason: To ensure the protection of trees on adjacent land).

8. PLANS UPDATED (SC)

Drawing No. A 1202 Issue B, prepared by Ghazi Al Ali shall be amended to show the correct number of on-site car parking spaces.

(Reason: To ensure consistency with the approved development).

9. ARBORIST REPORT UPDATED (SC)

The Arboricultural Impact Assessment Report prepared by Tree Talk Arboricultural Consulting (dated July 2017) shall be updated to address the four (4) proposed *Tristanopsis* trees on the Albert Road, road reserve. The report shall demonstrate that the tree species are suitable to the site until maturity in terms of clearance to the proposed development (including awning structure) and canopy interference with vehicles/trucks/buses. The report shall verify that the proposed trees are capable of reaching a mature height of 10m at maturity. An alternative species may be required if the height at maturity of the selected species cannot fulfil this requirement.

All new street trees shall be 6m high at the time of planting.

The report shall also include a landscape maintenance strategy for the owner to administer over a 12 month establishment period following the issue of any Occupation Certificate. The strategy is to address maintenance issues such as, but not limited to plant survival, irrigation, soil testing, weeding, staking, fertilization, remedial pruning and plant replacement. The strategy shall also consider minimizing changes to the footpath levels and containing any nutrients to avoid any trip hazards to pedestrians.

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All recommendations contained within the Arboricultural Impact Assessment Report as amended by any conditions of consent, shall be fully complied with.

(Reason: To ensure consistency with the approved development).

10. CAR PARKING (SC)

Drawing No. A 1202 Issue B, prepared by Ghazi Al Ali shall be amended to show the correct number of on-site car parking spaces.

(Reason: To ensure consistency with the approved development).

11. PLANTER BOX (SC)

Provision shall be made for planter boxes along the perimeter of the common open space area at Level 4. The planter boxes shall be of sufficient size to support trees capable of reaching a mature height of minimum 2m at maturity as well as support a creeper style plant with tendrils to overhang the building façade below.

The Landscape Plan shall be amended accordingly, prior to issue of the Construction Certificate.

The Arboricultural Impact Assessment Report prepared by Tree Talk Arboricultural Consulting (dated July 2017) shall be updated to include a landscape maintenance strategy for the owner to administer over a 12 month establishment period following the issue of any Occupation Certificate. The strategy is to address maintenance issues such as, but not limited to plant survival, irrigation, soil testing, weeding, staking, fertilization, remedial pruning and plant replacement.

All recommendations contained within the Arboricultural Impact Assessment Report as amended by any conditions of consent, shall be fully complied with.

(Reason: To enhance the landscape amenity of the site, particularly when viewed from the public domain.)

12. GEOTECHNICAL REPORT RECOMMENDATIONS (SC)

The recommendations contained within the Geotechnical Investigation Report prepared by Geo Environmental Engineering, dated 20/05/2017, shall be fully complied with.

(Reason: Site stability).

13. ACCESS REPORT RECOMMENDATIONS (SC)

The recommendations contained within the Disability Access Report prepared by .Access Solutions NSW Pty Ltd, dated 22/05/2017, shall be fully complied with.

(Reason: To ensure compliance with the BCA and relevant standards/policies with regards to access for people with a disability.)

14. NOISE ASSESSMENT REPORT RECOMMENDATIONS (SC)

The recommendations contained within the Noise Assessment Report prepared by Acoustic Consulting Engineers, dated 16 May 2017, shall be fully complied with.

A qualified acoustic consultant shall be engaged during the design phase of the project to

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ensure the National Construction Code (NCC)/Building Code of Australia (BCA) acoustic requirements for sole-occupancies are achieved. A report demonstrating compliance shall be prepared and submitted to the Principal Certifying Authority, prior to the issue of any Construction Certificate.

(Reason: To ensure acoustic impacts from external roads, environmental noise, and between the serviced apartments and common spaces is acceptable.)

15. ENERGY EFFICIENT DESIGN (SC)

The mixed-use development shall achieve a 4-6 green star rating in accordance with the Green Building Council of Australia's Green Star program. A certificate demonstrating compliance shall be provided to the Principal Certifying Authority, prior to any issue of the Construction Certificate.

(Reason: To promote energy efficient design.)

16. DA FEES - ADDITIONAL DEVELOPMENT APPLICATION FEES (SC)

In accordance with Regulation 50(1)(c) and the table to Regulation 246 of the Environmental Planning and Assessment Act Council must charge a development application fee based on the estimated cost of works applied for.

The Quantity Survey Report prepared by Construction Consultants dated 19 May 2017 shall be updated to reflect the changes to the Albert Road façade and car parking configuration under amended architectural drawings Issue B, dated 8/12/2017.

A copy of the amended report shall be provided to Council to confirm the applicable Development Application Fee. Any additional fees shall be paid to Council, prior to the issue of a Construction Certificate.

(Reason: Statutory requirement.)

17. BCA REPORT RECOMMENDATIONS (SC)

The recommendations contained within the BCA Report, prepared by Design Right Consulting dated 30/06/2017, and received by Council on 14/09/2017.

(Reason: To ensure the proposed development is capable of achieving compliance with the BCA.)

18. OSD TANK (SC)

Council's stormwater management code requires the OSD tank to be located as close as possible to the lowest point of the site, with paved areas and pipes draining to it. An amended concept plan prepared by a suitably qualified professional civil/hydraulic engineer shall be submitted to the Principal Certifying Authority and Council for approval, prior to issue of the Construction Certificate.

(Reason: Council requirement.)

19. AWNING (SC)

The height of the underside of the awning shall be 4m above the finished footpath level.

(Reason: To ensure consistency with the prevailing streetscape.)

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20. PRIVACY (SC)

The west facing bedroom windows to Units 504, 604 and 704 shall be amended to include fixed external screening angled at 45° to the north-west to prevent any direct sightline to the west.

Details of the screen materials and colours shall be consistent with the development and included within the schedule of external materials.

(Reason: To maintain appropriate privacy amenity in the event of future redevelopment of the adjoining land to the west.)

AUSGRID CONDITIONS (21-23)

21. STREETLIGHTING (SC)

The developer is to consider the impact that existing streetlighting and any future replacement streetlighting and maintenance may have on the development. Should the developer determine that any existing streetlighting may impact the development, the developer should either review the development design, particularly the placement of windows, or discuss with Ausgrid the options for relocating the street lighting. The relocating of any streetlighting will generally be at the developers cost. In many cases it is not possible to relocate streetlighting due to its strategic positioning.

(Reason: Ausgrid requirement).

22. SERVICE MAINS (SC)

The developer shall engage a Level 2 Accredited Service Provider (ASP) Electrician to ensure that the installation will comply with the requirements of "*The Installation and Service Rules of NSW*". It appears the existing underground electricity mains that supply the subject property may affect the proposed construction as per the Service Rules. Details demonstrating compliance with this requirement shall be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate.

(Reason: Ausgrid requirement).

23. PROXIMITY TO EXISTING NETWORK ASSETS (SC)

There are existing underground electricity network assets in Albert Road. Special care should be taken to ensure that driveways and any other construction activities within the footpath area do not interfere with the existing cables in the footpath. Ausgrid cannot guarantee the depth of cables due to possible changes in ground levels from previous activities after the cables were installed. Accordingly, the developer shall locate and record the depth of all known underground services prior to any excavation in the area.

Safework Australia – Excavation Code of Practice, and Ausgrid's Network Standard NS156 outlines the minimum requirements for working around Ausgrid's underground cables.

(Reason: Ausgrid requirement).

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GENERAL CONDITIONS (GC)

24. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans affixed with Council's 'Development Consent' stamp relating to Development Consent No. 2017/138:

Drawing No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
A1010	Site Plan	Ghazi Al Ali Architect Ptd Ltd	Issue B / 08.12.2017	08.12.2017
A1050	Streetscape Analysis			
A1110	Demolition Plan			
A1200	Ground Floor Plan			
A1201	Mezzanine			
A2012	Level 01			
A1203	Level 02			
A1204	Level 03			
A1205	Level 04			
A1206	Level 05			
A1207	Level 06			
A1208	Level 07			
A1208	Roof Plan			
A1301	Elevations 01			
A1302	Elevations 02			
A1303	Elevations 03			
A1401	Section AA			
A1402	Section BB			
-	Landscape Plan	Conzept Landscape Architects.	Undated	08/12/2017

Reference Documentation affixed with Council's 'Development Consent' stamp relating to Development Consent No. 2017/138:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Statement of Environmental Effects	Nexus Environmental Planning Pty Ltd	13/09/2017	14/09/2017
Traffic Impact Assessment	Traffix	Rev v4 / 07/12/2017	08/12/2017
Noise Assessment Report	Acoustic Consulting Engineers	Rev 01 / 16/05/2017	14/09/2017
Arboricultural Impact Assessment	Tre Talk Arboricultural Consulting	July 2017	08/12/2017
Waste Management Plan	Elephants Foot Recycling Solutions	Rev F / 5/12/2017	05/12/2017
BCA Report	Design Right Consulting	30/06/2017	14/09/2017
820762M	Sustainable Thermal Solutions	29/06/2017	14/09/2017
Disability Access Report	Access Solutions NSW Pty Ltd	Issue P / 05/05/2017	14/09/2017

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Geotechnical Investigation Report	Geo-Environmental Engineering	20/05/2017	14/09/2017
Stage 1 Preliminary Site Investigation	Geo-Environmental Engineering	Rev 0 / 28/07/2017	14/09/2017

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

25. APPROVAL - SEPARATE APPROVAL REQUIRED (GC)

This consent does not include approval for any external signage. Separate development consent shall be obtained for any external signage, except those which are classified as being 'exempt development'.

(Reason: To control future development of the site. No details of any signage have been submitted with the application.)

26. BUILDING HEIGHT - MAXIMUM RL TO BE COMPLIED WITH (GC)

The height of the building measured to Australian Height Datum (AHD) must not exceed RL 42.52 (main roof) and RL 43.02 for the lift overrun.

(Reason: To ensure the approved building height is complied with.)

27. CONSTRUCTION HOURS (GC)

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/ rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

28. CONSTRUCTION WITHIN BOUNDARIES (GC)

The development including but not limited to footings, walls, roof barges and guttering must be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

(Reason: Approved works are to be contained wholly within the subject site.)

29. DEMOLITION – GENERALLY (GC)

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development.)

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30. DEMOLITION - SITE SAFETY FENCING (GC)

Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding along the street frontage(s) complying with WorkCover requirements must be obtained including:

- payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges before the commencement of work; and
- provision of a Public Risk Insurance Policy with a minimum cover of \$20 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council (Note: The policy is to note Council as an interested party).

(Reasons: Statutory requirement and health and safety.)

31. LANDSCAPING - IRRIGATION OF COMMON AND PRIVATE LANDSCAPE AREAS (GC)

All common and private landscape areas including all planters of the proposed mixed-use development are to have full coverage by a fully automatic irrigation system. The design, materials and installation are to be in accordance with Sydney Water Codes and satisfy all relevant Australian Standards. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior occupation of the premises.

(Reason: To ensure appropriate landscape maintenance.)

32. LANDSCAPING - TREES PERMITTED TO BE REMOVED (GC)

All landscape works shall be undertaken in accordance with the approved landscape plan, arborist report, tree management plan and transplant method statement as applicable.

a) The following trees shall be retained

- Trees on adjoining land

Trees reference in Arborist Report.	Species	Location
Trees A	Boundary planting of <i>Casuarina glauca</i> (Swamp She-oaks)	Adjacent western boundary
Tree B	<i>Casuarina glauca</i> (Swamp She-oak)	Adjacent western boundary
Tree C	<i>Eucalyptus microcorys</i> (Tallowwood)	Adjacent western boundary

Note: The tree/s required to be retained should appear coloured green on the construction certificate plans.

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b) The following trees on the subject site may be removed:

Tree reference in Arborist Report	Tree	Location
Tree 1	<i>Melaleuca decora</i> (White Feather/Honey Myrtle)	Front setback
Tree 2	<i>Casuarina glauca</i> (Swamp She-oak)	Front setback

(Reason: To ensure landscaping is in accordance with the approved Landscape Plan.)

33. LANDSCAPING - TREE PRESERVATION (GC)

All street trees and trees on private property that are protected under Council’s controls, shall be retained except where Council’s prior written consent has been obtained. The felling, lopping, topping, ringbarking, wilful destruction or removal of any tree/s unless in conformity with this approval or subsequent approval is prohibited.

All healthy trees and shrubs identified for retention on the approved drawings are to be suitably protected in accordance with Australian Standard AS4970 – Protection of Trees on Development, prior to the commencement of any works (including any demolition and excavation) and maintained for the duration of the works.

(Reason: To ensure the protection of trees to be retained on the site.)

34. LANDSCAPING – APPROVED LANDSCAPE PLAN (GC)

The approved Landscape Plan shall be amended to include the following as a minimum:

- Prepared at a scale of 1:100 or 1:200.
- All existing trees to be retained on adjoining sites.
- Location of all proposed plantings and any existing plantings to be retained.
- A planting schedule indicating the species, listed by both common names and botanical names, the quantities of each species, pot size, and estimated size at maturity.
- All proposed tree plantings (including those on the Albert Road street alignment which have a mature height equal to or greater than 2m are to have their mature canopy spread indicated on the plan to scale.
- Soil depths for planter boxes. The minimum soil depth for any planting on slab is 1m (excluding 75mm depth of mulch) for small trees, 600mm (excluding 75mm depth of mulch) for shrubs and 300mm for turf.
- Details on the provision of drainage to all planter boxes and on slab plantings is to be provided. A permanent automatic irrigation system conforming to Sydney Water requirements shall be included.

(Reason: To ensure landscaping survival.)

35. LANDSCAPING (GC)

The principal contractor or owner must provide to PCA a works-as-executed landscape plan and certification from a qualified landscape architect/designer, horticulturist and/or arborist as applicable to the effect that the works comply with this consent.

(Reason: To ensure that all landscaping work is completed prior to issue of the Final Occupation Certificate.)

36. LIGHTING (GC)

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Any lighting of the premises shall be installed and maintained in accordance with Australian Standard AS 4282-1997: Control of the Obtrusive Effects of Outdoor Lighting so as to avoid annoyance to the occupants of adjoining premises or glare to motorists on nearby roads.

No flashing, moving or intermittent lighting, visible from any public place may be installed on the premises or external signage associated with the development, without the prior approval of Council.

(Reason: To protect the amenity of surrounding development and protect public safety.)

37. PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)

Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

- i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;
- ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and
- iii) the sign must state that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

38. SITE MANAGEMENT - DURING DEMOLITION AND CONSTRUCTION WORKS (GC)

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- x) All waste must be contained entirely within the site.

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- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways, include nature strips and roadways adjacent to the site must be maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.
- xvi) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Any work must not prohibit or divert any natural overland flow of water.
- xix) Toilet facilities for employees must be provided in accordance with WorkCover NSW.
- xx) Protection pads are to be installed to the kerb and gutter where trucks and vehicles enter the site.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

39. STORMWATER MANAGEMENT PLAN - CERTIFICATION REQUIREMENT (GC)

A detailed Stormwater Management Plan (SWMP) in line with Council's Stormwater Management Code is to be prepared and certified by a practicing Chartered Professional Engineer on the National Professional Engineer's Register (NPER) at Engineers Australia and submitted to the Principal Certifying Authority and Council, prior to the issue of a Construction Certificate. The SWMP is to be based on the approved development as modified by any conditions of consent.

(Reason: To ensure appropriate provision is made for the disposal and management of stormwater generated by the development, and to ensure public infrastructure in Council's care and control is not overloaded.)

40. SYDNEY WATER - STAMPED PLANS PRIOR TO COMMENCEMENT (GC)

The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. Plans will be appropriately stamped.

For Quick Check agent details please refer to the web site www.sydneywater.com.au (see Building Developing and Plumbing then Quick Check) or telephone 13 20 92. The consent authority or a Certifying Authority must ensure that a Quick Check agent/Sydney Water has stamped the plans before the commencement of work.

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(Reason: Compliance with Sydney Water requirements.)

41. UTILITIES AND SERVICES - PROTECTION OF (GC)

Any footings or excavation to be located or undertaken adjacent to Council's stormwater must be designed to address the following requirements:

- i) all footings and excavation must be located wholly within the site and clear of any easement boundaries;
- ii) all footings and excavation must be located a minimum of 1000mm from the centreline of the pipeline or 500mm from the outside of the pipeline, whichever is the greater distance from the centreline; and
- iii) footings must extend to at least the depth of the invert of the pipeline unless the footings are to be placed on competent bedrock.

If permanent excavation is proposed beneath the overtop of the pipeline, suitable means to protect the excavation and proposed retaining structures from seepage or other water flow from the pipeline and surrounding subsoil, must be provided. The design must be prepared by a qualified practicing Structural/Civil Engineer.

Construction plans must be approved by the appropriate utility's office (e.g. council, Sydney Water Corporation) to demonstrate that the development complies with the utility's requirements.

The applicant must provide written evidence (e.g. compliance certificate, formal advice) of compliance with the requirements of all relevant utility providers (e.g. Water, Energy, Telecommunications, Gas).

(Reason: To ensure protection of Council assets.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (CC)

42. ACCESS - ACCESS FOR PEOPLE WITH DISABILITIES (CC)

Access for people with disabilities must be provided in accordance with the requirements of the Building Code of Australia, relevant Australian Standards and with regard to the Disability Discrimination Act 1992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

43. BASIX COMMITMENTS (CC)

The approved BASIX Certificate shall be submitted to the Principal Certifying Authority with the application for a Construction Certificate.

Where a change or changes are proposed in the BASIX commitments, the applicant must submit a new BASIX Certificate to the Principal Certifying Authority and Council. If any

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proposed change in the BASIX commitments is inconsistent with the development consent the applicant will be required to submit a modification to the development consent to Council under Section 96 of the Environmental Planning and Assessment Act 1979.

All commitments in the BASIX Certificate must be shown on the plans accompanying the Construction Certificate.

(Reason: Statutory compliance.)

44. BUILDING CODE OF AUSTRALIA - COMPLIANCE WITH (CC)

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

45. COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 81A(2) of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

46. CONSTRUCTION AND ENVIRONMENTAL MANAGEMENT PLAN (CC)

The applicant must prepare and submit a Construction and Environmental Management Plan (CEMP) to the Principal Certifying Authority, including:

- i) Detailed information on any approvals required from other authorities prior to or during construction.
- ii) Traffic management, including details of:
 - ingress and egress of vehicles to the site;
 - management of loading and unloading of materials;
 - the location of heavy vehicle parking off-site; and
 - designated routes for vehicles to the site.
- iii) The proposed areas within the site to be used for a builder's site office and amenities, the storage of excavated material, construction materials and waste containers during the construction period.
- iv) Erosion and sediment control, detailing measures and procedures consistent with the requirements of Council's guidelines for managing stormwater, including:

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- the collection and treatment of stormwater and wastewater generated on site prior to discharge; and
 - procedures to prevent run-off of solid material and waste from the site.
- v) Waste management, including:
- details of the types and estimated volumes of waste materials that will be generated;
 - procedures for maximising reuse and recycling of construction materials; and
 - details of the off-site disposal or recycling facilities for construction waste.
- vi) Dust control, outlining measures to minimise the generation and off-site transmission of dust and fine particles, such as watering or damp cloth fences.
- vii) A soil and water management plan, which includes:
- measures to minimise the area of soils exposed at any one time and conserve top soil;
 - identification and protection of proposed stockpile locations;
 - preservation of existing vegetation and revegetation;
 - measures to prevent soil, sand, sediments leaving the site in an uncontrolled manner;
 - measures to control surface water flows through the site in a manner that diverts clean run-off around disturbed areas, minimises slope gradient and flow distance within disturbed areas, ensures surface run-off occurs at non-erodible velocities, and ensures disturbed areas are promptly rehabilitated;
 - details of sediment and erosion control measures in place before work commences;
 - measures to ensure materials are not tracked onto the road by vehicles entering or leaving the site; and
 - details of drainage to protect and drain the site during works.
- viii) Asbestos management procedures:
- Anyone who removes, repairs or disturbs bonded or a friable asbestos material must hold a current removal licence from Workcover NSW holding either a Friable (Class A) or a Non- Friable (Class B) Asbestos Removal License which ever applies and a current WorkCover Demolition License where works involve demolition. To find a licensed asbestos removalist please see www.workcover.nsw.gov.au
 - Removal of asbestos by a person who does not hold a Class A or Class B asbestos removal license is permitted if the asbestos being removed is 10m² or less of non-friable asbestos (approximately the size of a small bathroom). Friable asbestos materials must only be removed by a person who holds a current Class A asbestos license.
 - Before starting work, a work site-specific permit approving each asbestos project must be obtained from Workcover NSW. A permit will not be granted without a current Workcover licence. All removal, repair or disturbance of or to asbestos material must comply with the following:
 - The Work Health and Safety Act 2011;
 - The Work Health and Safety Regulation 2011;
 - How to Safety Remove Asbestos Code of Practice – WorkCover 2011; and
 - Safe Work Australia Code of Practice for the Management and Control of Asbestos in the Workplace.
 - Following completion of asbestos removal works undertaken by a licensed asbestos removalist re-occupation of a workplace must not occur until an independent and suitably licensed asbestos removalist undertakes a clearance inspection and issues a clearance certificate.
 - The developer or demolition contractor must notify adjoining residents at least two (2) working days (i.e. Monday to Friday exclusive of public holidays) prior to the commencement of asbestos removal works. Notification is to include, at a

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minimum:

- the date and time when asbestos removal works will commence;
- the name, address and business hours contact telephone number of the demolisher, contractor and/or developer;
- the full name and license number of the asbestos removalist/s; and
- the telephone number of WorkCover's Hotline 13 10 50
- warning signs informing all people nearby that asbestos removal work is taking place in the area. Signs should be placed at all of the main entry points to the asbestos removal work area where asbestos is present. These signs should be weatherproof, constructed of light-weight material and adequately secured so they remain in prominent locations. The signs should be in accordance with AS 1319-1994 Safety signs for the occupational environment for size, illumination, location and maintenance; and
- appropriate barricades installed as appropriate to prevent public access and prevent the escape of asbestos fibres. Barricades must be installed prior to the commencement of asbestos removal works and remain in place until works are completed.

(Reason: Safety, amenity and protection of public infrastructure and the environment.)

47. COUNCIL PERMITS – FOR ALL ACTIVITIES ON COUNCIL LAND (CC)

Works Permit

(as per Section 68 of the Local Government Act 1993 and Section 138 and 139 of the Roads Act 1993)

A Works Permit is required for construction of a vehicular crossing (driveway), new stormwater down pipe connection to kerb and gutter, new footpath and/or stormwater connection. A Works Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Standing Plant Permit

This permit must be applied for where it is intended to park a concrete pump, crane or other plant on the roadway or footpath. A Standing Plant Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Skip Bin Permit

This permit must be applied for if you intend to place a skip bin on the roadway or footpath. A Skip Bin Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Temporary Full or Part Road Closure Permit

This permit must be applied for if you require a full or a part road closure to take place to assist in your construction works. Please use the Works Permit Application Form, which is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Hoarding Permit

This permit must be applied for if you intend to erect a Class A (fence type) or Class B (overhead type) hoarding along the street frontage(s). A Hoarding Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's

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website. The applicable fees and charges are located on Council's website.

Work Zone Permit

This permit must be applied for if you require permanent parking along the kerbside at the front of the site during construction works. A Work Zone Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Ground Anchoring Permit

This permit must be applied for, for the installation of ground anchors under Council's footway/road reserve. It does not cover ground anchors under private properties. A separate approval is required to be obtained from Roads and Maritime Services (RMS) if it is proposed to install ground anchors under a State or Classified Regional Road (please refer to the end of this application form for more information).

(Reason: Council requirement)

48. DILAPIDATION REPORT - PRE-COMMENCEMENT (CC)

Subject to access being granted, a pre-commencement Dilapidation Report is to be undertaken on all adjoining properties, which in the opinion of a suitably qualified engineer, could be potentially affected by the construction of the project. The Dilapidation Report shall be carried out prior to the issue of a Construction Certificate.

The Dilapidation Report is to be prepared by a suitably Qualified Engineer with current Corporate Membership with the Institution of Engineers, Australia or Geotechnical Practitioner. The report shall include a photographic survey of adjoining properties detailing the physical condition of those properties, both internally and externally, including walls, ceilings, roof, structural members and other such items.

If access for undertaking the dilapidation survey is denied by an adjoining owner, the applicant must demonstrate, in writing, to Council's satisfaction attempts have been made to obtain access and/or advise the affected property owner of the reason for the survey and these attempts have been unsuccessful. Written concurrence must be obtained from Council in such circumstances.

The Report shall cover structural and geotechnical factors likely to arise from the development. A copy of this Report shall be submitted to Council as a record. The person having the benefit of the development consent must, at their own cost, rectify any damage caused to other properties during the construction of the project.

(Reason: To ensure no damage to adjoining properties occurs.)

49. EROSION AND SEDIMENTATION CONTROL PLAN (CC)

An Erosion and Sediment Control Plan is to be prepared where construction or excavation activity requires the disturbance of the soil surface and existing vegetation. Details including drawings and specifications must provide adequate measures for erosion and sediment control to ensure:

- i) Compliance with the approved Soil and Water Management Plan.
- ii) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval).
- iii) All uncontaminated run-off is diverted around cleared or disturbed areas.
- iv) Silt fences or other devices are installed to prevent sediment and other debris escaping from the cleared or disturbed areas into drainage systems or waterways.
- v) All erosion and sediment controls are fully maintained for the duration of demolition/

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- development works.
- vi) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadways.
 - vii) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar.
 - viii) All water pumped or otherwise removed from excavations or basement areas is filtered to achieve suspended solids/non filterable residue levels complying with the Australian Water Quality guidelines for Fresh and Marine Waters.
 - ix) Pumped or overland flows of water are discharged so as not to cause, permit or allow erosion before the commencement of work (and until issue of the occupation certificate).

Details of the proposed soil erosion and sedimentation controls are to be submitted to the Principal Certifying Authority with the Construction Certificate Application. Under no circumstances are any works to commence, prior to these details being approved by the Principal Certifying Authority and the controls being in place on the site.

(Reason: Environmental protection.)

50. EXCAVATION - AFFECTING ADJOINING LAND (CC)

If an excavation associated with the approved development extends below the level of the base of the footings of a building on an adjoining allotment of land, the person having the benefit of the development consent must, at the person's own expense, comply with the requirements of clause 98E of the Environmental Planning and Assessment Regulation 2000, including:

- i) protect and support the adjoining premises from possible damage from the excavation, and
- ii) where necessary, underpin the adjoining premises to prevent any such damage.

The condition referred to in subclause (i) does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying. Details shall be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Structural safety.)

51. FIRE SAFETY SCHEDULE (CC)

A Fire Safety Schedule specifying the fire safety measures which should be implemented in the building premises must be submitted with the Construction Certificate application, in accordance with Part 9 of Clause 168 of the Environmental Planning and Assessment Regulation 2000.

Note: A Construction Certificate cannot be issued until a Fire Safety Schedule is received.

(Reason: Compliance with the Environmental Planning and Assessment Act 1979.)

52. SECTION 7.11 CONTRIBUTION PAYMENT (CC)

In accordance with the provisions of Section 7.11 of the Environmental Planning and Assessment Act 1979 and the Strathfield Direct Development Contributions Plan 2010-2030, a contribution in the form of cash, cheque or credit card (financial transaction fee applies) shall be paid to Council for the following purposes:

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CONTRIBUTION PAYABLE

Provision of Community Facilities	\$Nil
Provision of Major Open Space	\$105,539.33
Provision of Local Open Space	\$36,357.76
Provision Roads and Traffic Management	\$73,992.20
Administration	\$2,093.48
TOTAL	\$217,982.77

CREDIT

Provision of Community Facilities	\$Nil
Provision of Major Open Space	\$10,993.49
Provision of Local Open Space	\$3,731.73
Provision Roads and Traffic Management	\$34,795.90
Administration	\$201.72
TOTAL	\$49,722.83

Base on the rates above, the total amount payable is **\$168,259.93**.

The total amount of the contribution is valid as at the date of determination and is subject to quarterly indexation. Contributions shall be indexed at the time of payment in accordance with clause 2.14 of the Strathfield Direct Development Contributions Plan 2010-2030.

Contributions must be receipted by Council and submitted to the Accredited Certifier, prior to the issue of any Construction Certificate.

Please present a copy of this condition when paying the contribution at the Customer Service Centre so that it can be recalculated.

Note: A copy of Strathfield Council's Section 94 Direct Development Contributions Plan may be downloaded from Council's website.

(Reason: To enable the provision of public amenities and services required/anticipated as a consequence of increased demand resulting from the development.)

53. SECURITY PAYMENT - DAMAGE DEPOSIT FOR COUNCIL INFRASTRUCTURE (CC)

A security (damage deposit) calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to Council property during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development. All building work must be carried out in accordance with the Building Code of Australia.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

Any costs associated with works necessary to be carried out to rectify any damages caused by the development, shall be deducted from the Damage Deposit.

Note: Should Council property adjoining the site be defective e.g. cracked footpath, broken

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kerb etc., this should be reported in writing, or by photographic record, submitted to Council at least seven (7) days prior to the commencement of any work on site. This documentation will be used to resolve any dispute over damage to infrastructure. It is in the applicant's interest for it to be as full and detailed as possible.

The damage deposit shall be refunded upon completion of all works upon receipt of a Final Occupation Certificate stage and inspection by Council.

(Reason: Protection of Council infrastructure.)

54. TRAFFIC - CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CC)

A Construction Traffic Management Plan (CTMP) is to be prepared by an appropriately qualified Traffic Management Consultant and submitted to and approved by Council's Engineering Section, prior to the commencement of any works including demolition.

The following matters should be addressed in the CTMP (where applicable):

- i) description of the demolition, excavation and construction works;
- ii) site plan/s showing the site, roads, footpaths, site access points and vehicular movements;
- iii) size, type and estimated number of vehicular movements (including removal of excavated materials, delivery of materials and concrete to the site);
- iv) proposed route(s) from the arterial (state) road network to the site and the proposed route from the site back to the arterial road network;
- v) impacts of the work and vehicular movements on the road network, traffic and pedestrians and proposed methods to safely manage pedestrians and construction related vehicles in the frontage roadways;
- vi) any Traffic Control Plans (TCP's) proposed to regulate traffic and pedestrian movements for construction activities (such as concrete pours, crane installation/removal etc.);
- vii) proposed hours of construction related activities and vehicular movements to and from the site;
- viii) current/proposed approvals from other Agencies and Authorities (including Roads and Maritime Services, Police and State Transit Authority);
- ix) any activities proposed to be located or impact upon Council's road, footways or any public place;
- x) measures to maintain public safety and convenience;
- xi) any proposed road and/or footpath closures;
- xii) turning areas within the site for construction and spoil removal vehicles, allowing a forward egress for all construction vehicles on the site;
- xiii) locations of work zones (where it is not possible for loading/unloading to occur on the site) in the frontage roadways accompanied by supporting documentation that such work zones have been approved by the Local Traffic Committee and Council;
- xiv) location of any proposed crane and concrete pump and truck standing areas on and off the site (and relevant approvals from Council for plant on road);
- xv) a dedicated unloading and loading point within the site for all construction vehicles, plant and deliveries;
- xvi) material, plant and spoil bin storage areas within the site, where all materials are to be dropped off and collected;
- xvii) on-site parking area for employees, tradespersons and construction vehicles as far as possible;
- xviii) proposed areas within the site to be used for the storage of excavated material, construction materials and waste and recycling containers during the construction period; and
- xix) how it is proposed to ensure that soil/excavated material is not transported onto

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surrounding footpaths and roadways.

(Reason: To mitigate traffic impacts on the surrounding area during the construction period.)

55. UTILITIES AND TELECOMMUNICATIONS - ELECTRICITY CONNECTION (CC)

Provision must be made for connection to future underground distributions mains. This must be achieved by installing:

- i) an underground service line to a suitable existing street pole; or
- ii) sheathed underground consumers mains to a customer pole erected near the front property boundary (within 1 metre).

Note: A limit of one (1) pole per site will apply.

Any costs associated with the relocation of the above are at the requestor's expense. Any disturbance to public land as a result of the undergrounding of services shall be restored at no cost to Council.

Details are to be submitted to the Principal Certifying Authority with the Construction Certificate Application.

(Reason: Environmental amenity.)

56. VENTILATION SYSTEMS (CC)

Any natural or mechanical ventilation systems shall be designed, constructed and installed in accordance with the following:

- i) The Building Code of Australia;
- ii) Protection of the Environment Operations Act 1997; and
- iii) Australian Standard AS1668-1991.

Details demonstrating compliance with the above are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure any proposed ventilation system complies with the relevant requirements/standards.)

57. WASTE MANAGEMENT PLAN (CC)

A Waste Management Plan (WMP) is to be provided in accordance with Part H of Strathfield Consolidated Development Control Plan 2005. All requirements of the approved Waste Management Plan must be implemented during demolition, construction and on-going use of the premises. The Waste Management Plan shall also include the information set out in Appendix A of Part H of SCDCP 2005.

The WMP must identify the types of waste that will be generated and all proposals to re-use, recycle or dispose of the waste. The WMP is to be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate.

(Reason: To ensure appropriate management of waste.)

58. WASTE ROOMS – SEPARATE FOR COMMERCIAL AND RESIDENTIAL (CC)

The building must include not less than two independently designated areas or garbage

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rooms for commercial and for residential occupants; to keep commercial waste and recycling separate to residential waste and recycling.

The size of the separate waste rooms shall be sufficient to house the required bin provision in accordance with Part H of SDCDP 2005.

(Reason: To ensure the appropriate separation and collection of waste generated by commercial and residential activities.)

59. WASTE - GARBAGE ROOMS OR GREASE ARRESTOR ROOMS (CC)

Garbage rooms or grease arrester rooms must be constructed of solid material: cement rendered and steel trowelled to a smooth even surface. The door to the garbage room is to be designed and constructed to ensure the room is vermin proof and can be opened from the inside at all times. The garbage room is to be ventilated to the external air by natural ventilation or an approved air handling exhaust system.

(Reason: To keep garbage rooms in a clean and sanitary condition to protect public health.)

60. WORKS WITHIN THE ROAD RESERVE (CC)

Detailed drawings including long and short sections and specifications of all works within existing roads (including but not limited to structures, road works, driveway crossings, footpaths and stormwater drainage) shall be submitted to and approved by Council under Section 138 of the Roads Act 1993 and all fees and charges paid, prior to the issue of a Construction Certificate.

Detailed drawings and specifications are to be prepared and certified by an appropriately qualified Civil Engineer.

Upon completion of the works, the Applicant is to provide to Council with electronic copies of 'Work as Executed Plans'. The plans are to show relevant dimensions and finished levels and are to be certified by a surveyor.

The Applicant is to provide to Council, in an approved format, details of all public infrastructure created as part of the works.

All civil engineering works adjacent/near/outside 4-10 Albert Road are to be fully supervised by Council. A maintenance period of six (6) months shall apply to the work, after it has been completed and approved. In that period the Applicant shall be liable for any part of the work which fails to perform in the manner outlined in Council's specifications, or as would reasonably be expected under the design conditions.

(Reason: To ensure compliance of engineering works/Council assets are constructed to acceptable standards for engineering works.)

61. WORKS ZONE - APPROVAL BY COUNCIL'S TRAFFIC COMMITTEE (CC)

An application for a 'Works Zone' must be submitted to and approved by the Strathfield Council Traffic Committee prior to the commencement of any site work (including demolition).

The suitability of the proposed length and duration of the Works Zone is to be demonstrated in the application for the Works Zone. The application for the Works Zone must be submitted to Council at least six (6) weeks prior to the commencement of work on the site to allow for assessment and tabling of agenda for the Strathfield Council Traffic Committee.

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The requirement for a Works Zone may be varied or waived only if it can be demonstrated in the Construction Traffic Management Plan (to the satisfaction of Council) that all construction related activities (including all loading and unloading operations) can and will be undertaken wholly within the site. The written approval of Council must be obtained to provide a Works Zone or to waive the requirement to provide a Works Zone prior to the commencement of any site work.

(Reason: Council requirement.)

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORKS (CW)

62. APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY (PCA) (CW)

No work shall commence in connection with this Development Consent until:

- i) A construction certificate for the building work has been issued by the consent authority or a Principal Certifying Authority.
- ii) The person having the benefit of the development consent has appointed a principal certifying authority for the building work, and notified the principal certifying authority that the person will carry out the building work as an owner/builder, if that is the case.
- iii) The principal certifying authority has, no later than 2 days before the building work commences:
 - notified the Council of his or her appointment, and
 - notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- iv) The person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:
 - appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved;
 - notified the principal certifying authority of such appointment; and
 - unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- v) The person having the benefit of the development consent has given at least 2 days notice to the Council of the person's intention to commence the erection of the building.

Note: If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement.)

63. NOTICE OF COMMENCEMENT (CW)

No work shall commence until the following details are submitted to Council:

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- i) a Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- ii) details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- iii) details of the name, address and licence details of the Builder.

(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED DURING DEMOLITION AND BUILDING WORKS (DW)

64. CONTAMINATED LAND UNEXPECTED FINDS (DW)

In the instance works cause the generation of odours or uncovering of unexpected contaminants works are to immediately cease, Council is to be notified and a suitably qualified environmental scientist appointed to further assess the site.

The contaminated land situation is to be evaluated by the supervising environmental consultant and an appropriate response determined in consultation with the applicant, which is agreed to by Strathfield Council's Environmental Services Manager.

Note: Council may also request that a NSW EPA accredited site auditor is involved to assist with the assessment of the contaminated land situation and review any new contamination information. The applicant must also adhere to any additional conditions which may be imposed by the accredited site auditor.

(Reason: To ensure compliance with statutory requirements.)

65. FILL MATERIAL (DW)

The only waste derived material which may be received at the development site is:

- i) Virgin excavated material (within the meaning of the Protection of the Environment Operations Act 1997), and
- ii) any other waste-derived material the subject of a resource recovery exemption under cl.51A of the Protection of the Environment Operations (Waste) Regulation 2005 that is permitted to be used as fill material.

Any (b)-type material received at the development site must be accompanied by documentation certifying by an appropriately qualified environmental consultant the materials compliance with the exemption conditions; and this documentation must be provided to the Principal Certifying Authority on request.

(Reason: To ensure imported fill is of an acceptable standard for environmental protection purposes.)

66. OBSTRUCTION OF PUBLIC WAY NOT PERMITTED DURING WORKS (DW)

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances, without the prior approval of Council.

(Reason: To maintain public access and safety.)

67. PUBLIC INFRASTRUCTURE AND SERVICES (DW)

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The applicant must comply with the requirements (including financial costs) of any relevant utility provider (e.g. Energy Australia, Sydney Water, Telstra, RMS, Council etc.) in relation to any connections, works, repairs, relocation, replacements and/or adjustments to public infrastructure or services affected by the development.

(Reason: To maintain public infrastructure and/or services.)

68. SITE REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standards AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out with close boarded, hardwood timber footpath protection pads. The pad shall cover the entire width of the footpath opening for the full width of the fence.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.
- x) All excavated material should be removed from the site in the approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight docket, receipts etc.) should be kept on site as evidence of approved methods of disposal and recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways and roadways adjacent to the site must be fully maintained and cleared of obstructions during construction unless prior separate approval from Council is obtained including payment of relevant fees.
- xvi) Building operations such as brick cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.

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- xviii) Stamped plans, specifications, documentation and the consent shall be available on site at all times during construction.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

**69. SURVEY REPORT OF APPROVED LEVELS DURING AND POST CONSTRUCTION
(DW)**

A Survey Certificate to Australian Height Datum shall be prepared by a Registered Surveyor as follows:

- i) At the completion of the first structural floor level prior to the pouring of concrete indicating the level of that floor and the relationship of the building to the boundaries.
- ii) At the completed height of the building, prior to the placement of concrete inform work, or the laying of roofing materials.
- iii) At the completion of the development.

Progress certificates in response to points (1) through to (3) shall be provided to the Principal Certifying Authority at the time of carrying out relevant progress inspections. Under no circumstances is work allowed to proceed until such survey information is submitted to and approved by the Principal Certifying Authority.

(Reason: To ensure compliance with the approved plans.)

**CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE
(OC)**

70. CAR PARKING - SURPLUS VEHICULAR CROSSINGS (OC)

All surplus vehicular crossings and/or kerb laybacks must be removed and reinstated with concrete kerb and gutter or to the existing edging profile as specified by Council. The nature strip is to be restored and the footpath area reinstated. All of the above are to be restored to the satisfaction of Council's Engineer and at full cost to the applicant, prior to the issue of any Occupation Certificate.

(Reason: Maintenance of public infrastructure.)

71. ENGINEERING WORKS (CERTIFICATION OF)

Prior to occupation of the premises, a Work As Executed (WAE) Plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate Membership standing in the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that:

- i) the stormwater drainage system; and/or
- ii) the car parking arrangement and area; and/or
- iii) any related footpath crossing works; and/or
- iv) the proposed basement pump and well system; and/or
- v) the proposed driveway and layback; and/or
- vi) any other civil works

have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

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For major works, such as subdivisions, works within the road reserve (requiring separate S138 approval) and as where specified by Council, a Part 4A Certificate will be required. It is strongly recommended that an Engineer supervise all engineering related works.

Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council, prior to the issue of any Occupation Certificate.

(Reason: Asset management.)

72. FIRE SAFETY CERTIFICATION (OC)

A fire safety certificate shall be obtained in accordance with Part 9, Division 4 of the Environmental Planning and Assessment Regulation 2000, prior to the issue of any Occupation Certificate.

An fire safety certificate is a certificate issued by the owner of a building to the effect that each essential fire safety measure specified in the current fire safety schedule for the part of the building to which the certificate relates:

- i) has been assessed by a properly qualified person; and
- ii) was found, when it was assessed, to be capable of performing to at least the standard required by the current fire safety schedule for the building for which the certificate is issued.

An interim fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(2) of the Environmental Planning & Assessment Regulation 2000.

A final fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(1) of the Environmental Planning & Assessment Regulation 2000.

A copy of the fire safety certificate and fire safety schedule shall be:

- i) submitted to Strathfield Council;
- ii) submitted to the Commissioner of the New South Wales Fire Brigade; and
- iii) prominently displayed in the building.

(Reason: Fire safety and statutory requirement.)

73. LANDSCAPING - ARBORIST'S FOLLOW UP REPORT OF TREE/S TO BE RETAINED (OC)

As part of the on-going assessment of the tree/s to be retained on the adjoining land to the west of the site (Trees A, B and C in the Arborist Report), the consulting arborist engaged by the applicant is to assess their health and any impacts suffered by them as a result of the proposed approved development, prior to the issue of an Occupation Certificate. Findings are to be compiled in a detailed report and submitted to the Principle Certifying Authority, which documents the following:

- i) methods of excavation or construction used to carry out the works;
- ii) any damage sustained by the tree/s as a result of the works;
- iii) any subsequent remedial works required to be carried out by the consulting arborist as a result of the damage; and
- iv) any future or on-going remedial work required to be carried out to ensure the long

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term retention of the tree/s.

(Reason: To ensure the survival of trees to be retained.)

74. OCCUPATION OF BUILDING (OC)

A person must not commence occupation or use (or change of use where an existing building) of the whole or any part of a new building (within the meaning of section 109H (4) of the Act) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

The Principal Certifying Authority is required to be satisfied, amongst other things, that:

- i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent have been met.

Note: New building includes an altered portion of, or an extension to, an existing building.

(Reason: Statutory requirement.)

75. STORMWATER - CERTIFICATION OF THE CONSTRUCTED DRAINAGE SYSTEM (OC)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

(Reason: Adequate stormwater management.)

76. STORMWATER - COVENANT AND RESTRICTION AS TO USER FOR STORMWATER CONTROLLED SYSTEMS (OC)

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility (on-site detention, pump-out, charged lines, etc.).

(Reason: To ensure the on-site detention and/or pump system is maintained to an appropriate operational standard.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A SUBDIVISION CERTIFICATE (SC)

77. ENGINEERING WORKS - CERTIFICATION OF WORK AS EXECUTED (SC)

Prior to the issue of the Subdivision Certificate, a Work As Executed (WAE) plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate Membership standing in the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that all engineering works including the provision of services, drainage, driveways and earthworks have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

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Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council.

(Reason: To ensure adequate access and services have been provided for the new lots.)

CONDITIONS TO BE SATISFIED DURING ONGOING USE OF THE PREMISES (OU)

78. COMMERCIAL PREMISES - NO SIGNAGE OR GOODS ON PUBLIC FOOTWAY (OU)

At no time may any signs including sandwich boards and the like or goods for sale or display, be placed on the public road, public footpath, service land, parking area and driveways, public or private pedestrian walkways outside the premises or in the immediate vicinity without the prior approval of Council.

(Reason: Safety and amenity.)

79. FIRE SAFETY ANNUAL STATEMENT (OU)

Pursuant to Part 9, Division 5 of the Environmental Planning and Assessment Regulation (as amended) the owner of the building shall provide to Council an Annual Fire Safety Statement from an appropriately qualified person certifying the essential fire safety measures in the building. The Annual Fire Safety Statement shall be submitted within 12 months of the issue of the fire safety certificate, and then on an annual basis.

A copy of the Fire Safety Statement obtained and Fire Safety Schedule shall also be:

- i) Forwarded to the Commissioner of the New South Wales Fire Brigade; and
- ii) Prominently displayed in the building.

(Reason: Fire safety)

ATTACHMENTS

1. [↓](#) DA2017.138-(AMENDED PLANS)-Architectural Plans - 4-10 Albert Rd, Strathfield
2. [↓](#) DA2017.138 - SEE Report - 4-10 Albert Road, Strathfield

DRAWING SCHEDULE

A 0000 TITLE PAGE
 A 0001 GENERAL NOTES / BASIX COMMITMENTS
 A 0002 GENERAL NOTES / BASIX COMMITMENTS
 A 0020 UNIT SCHEDULE

A 1000 SITE ANALYSIS
 A 1010 SITE PLAN
 A 1020 FUTURE CONTEXT / SITE AMALGAMATION
 A 1050 STREETScape ANALYSIS

A 1100 SURVEY PLAN
 A 1110 DEMOLITION PLAN

A 1200 GROUND FLOOR PLAN
 A 1201 MEZZANINE
 A 1202 LEVEL 01
 A 1203 LEVEL 02
 A 1204 LEVEL 03
 A 1205 LEVEL 04
 A 1206 LEVEL 05
 A 1207 LEVEL 06
 A 1208 LEVEL 07
 A 1209 ROOF PLAN

A 1301 ELEVATION 01
 A 1302 ELEVATION 02
 A 1303 ELEVATION 03

A 1401 SECTION AA
 A 1402 SECTION BB

A 2001 GFA CALCULATION
 A 2010 SOLAR ACCESS DIAGRAM 2D
 A 2011 SOLAR ACCESS DIAGRAM 3D
 A 2020 CROSS-VENTILATION DIAGRAM 2D
 A 2030 LANDSCAPE CALCULATION

A 2101 SHADOW DIAGRAM 9AM 21 JUNE
 A 2102 SHADOW DIAGRAM 12PM 21 JUNE
 A 2103 SHADOW DIAGRAM 3PM 21 JUNE

A 2201 MATERIAL SCHEDULE
 A 2202 MATERIAL SCHEDULE

FSR

SITE AREA: 282 m²
 PERMISSIBLE FSR: 3:1
 PERMISSIBLE GFA: 846 m²

TOTAL GFA: 827.31
 TOTAL FSR: 2.93:1

UNIT MIX

UNITS TOTAL: 12 SERVICED APARTMENTS
 OFFICES: 2
 RETAIL: 1



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AMENDED PLANS

**DA2017/138
 8 December 2017**

T. +612 9744 7025 | E. office@ghazia.com
 ACN: 67167131848
 LEVEL 2 UNIT 2
 14 RAILWAY PARADE
 BURWOOD NSW 2134



**GHAZI AL ALI
 ARCHITECT**
 PTY LTD
 NSW reg. no. 7542

PROPOSED MIXED-USE DEVELOPMENT
 4-10 Albert Road
 Strathfield

(a) Thermal Comfort			
Criteria	Show on DA plans	Show on CC/DCD plans & specs	Carifier check
(1) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable) all thermal performance specifications set out in the Assessment Certificate, and all aspects of the proposed development which will be used to calculate those specifications.			
(2) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessment Certificate, and in accordance with any aspects of the development application or application for a complying development certificate which will be used to calculate those specifications.		✓	✓
(3) Where there is an in-slab heating or cooling system, the applicant must:			
(a) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or	✓	✓	✓
(b) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(4) The applicant must construct the floor and walls in the development in accordance with the specifications listed in the table below.	✓	✓	✓

Derating no.	Thermal loads	
	Area adjusted heating load (in mW/m ²)	Area adjusted cooling load (in mW/m ²)
401	21.3	57.7
402	19.1	49.0
403	17.7	46.9
404	17.7	46.9
405	19.9	46.4
406	22.9	57.6
407	19.7	43.0
408	20.2	57.2
409	21.3	59.6
410	24.3	47.7
411	24.0	46.4
All other buildings	36.3	38.0

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(b) Common areas and central systems/facilities			
Criteria	Show on DA plans	Show on CC/DCD plans & specs	Carifier check
(1) Water			
(1) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then the item must meet the specifications listed for it in the table.		✓	✓
(2) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central energy systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(3) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table.	✓	✓	✓
(4) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.			
(5) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(6) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	4 star	no common facility

(c) Energy			
Criteria	Show on DA plans	Show on CC/DCD plans & specs	Carifier check
(1) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(2) If, in carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a combined lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(3) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area ventilation system		Common area lighting	
Common area	Ventilation system type	Primary type of artificial lighting	Lighting efficiency measure
Car park area (No. 1)	ventilation exhaust only	LED	no common facility

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Common area ventilation system		Common area lighting	
Common area	Ventilation system type	Primary type of artificial lighting	Lighting efficiency measure
Car park area (No. 1)	ventilation exhaust only	LED	no common facility
Car park area (No. 2)	ventilation exhaust only	LED	no common facility
Car park area (No. 3)	ventilation exhaust only	LED	no common facility
Car park area (No. 4)	ventilation exhaust only	LED	no common facility
Car park area (No. 5)	ventilation exhaust only	LED	no common facility
Car park area (No. 6)	ventilation exhaust only	LED	no common facility
Car park area (No. 7)	ventilation exhaust only	LED	no common facility
Car park area (No. 8)	ventilation exhaust only	LED	no common facility
Car park area (No. 9)	ventilation exhaust only	LED	no common facility
Car park area (No. 10)	ventilation exhaust only	LED	no common facility

Central energy systems		
Common area	Type	Specification
Car park area (No. 1)	Hydronic	Number of levels (excluding basement): 0
Car park area (No. 2)	Hydronic	Number of levels (excluding basement): 0

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4. Commitments for common areas and central systems/facilities for the development (non-building specific)			
(a) Common areas and central systems/facilities			
Criteria	Show on DA plans	Show on CC/DCD plans & specs	Carifier check
(1) Water			
(1) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then the item must meet the specifications listed for it in the table.		✓	✓
(2) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central energy systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(3) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table.	✓	✓	✓
(4) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.			
(5) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(6) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	4 star	no common facility

(c) Energy			
Criteria	Show on DA plans	Show on CC/DCD plans & specs	Carifier check
(1) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(2) If, in carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a combined lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(3) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

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Common area ventilation system		Common area lighting	
Common area	Ventilation system type	Primary type of artificial lighting	Lighting efficiency measure
Car park area (No. 1)	ventilation exhaust only	LED	no common facility

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Notes

- In this certificate, "applicant" means the person carrying out the development.
- The applicant must identify each dwelling, building and common area listed in the certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate, complying development certificate, or for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
- The main system of the proposed development includes the services of a building for both residential and non-residential purposes (or the change of use of a building to both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or development, apply only to that part of the building or development to be used for residential purposes.
- If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once unless it is separately listed as a commitment for that other dwelling or building.
- If a size or other rating is specified in a commitment, this is a minimum rating.
- All alternative water systems to be installed under the provisions of this certificate, must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or treated effluent water be used to irrigate other plants which are consumed raw, or that water be used for human consumption in areas with potable water supply.

Legend

- Comments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
- Comments identified with a ✓ in the "Show on CC/DCD plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate (if a construction certificate is to be lodged for the proposed development).
- Comments identified with a ✓ in the "Carifier check" column must be checked by a carrying authority as having been fulfilled. (This is a carrying authority must not issue an occupation certificate (other than a final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled.)

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DA2017/138
8 December 2017

SCALE 1:200 @ A3

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DA

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BCA:
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QUANTITY SURVEY:
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TRAFFIC:
FERREARO
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E: info@ferrearo.com.au

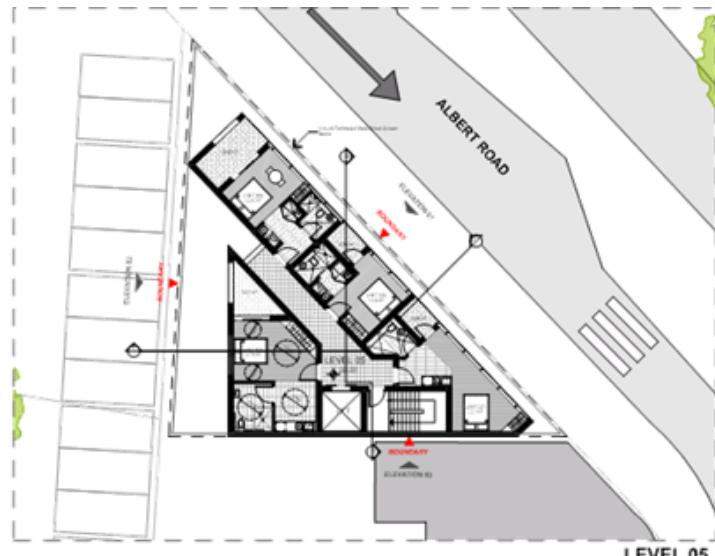
GHAZI AL ALI
ARCHITECTS
1/100-200, Northcotts Rd, 2017
E: info@ghazi.com.au

4-10 ALBERT RD, STRATHFIELD
REDFERN ACCOMMODATION P/L

PROJECT ARCHITECT: JAU PROJECT DESIGNER: GA

GENERAL NOTES / BASIC COMMITMENTS

DA A 0002 B



LEVEL 05



LEVEL 06



LEVEL 07

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DA2017/138
8 December 2017

UNIT SCHEDULE
SERVICED APARTMENTS (all units in m2)

LEVEL 05

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE
501	DOUBLE	25.67 m ²	3.06 m ²
502	DOUBLE	19.54 m ²	3.83 m ²
503	DOUBLE	23.42 m ²	8.30 m ²
504	DOUBLE	31.40 m ²	5.51 m ²

LEVEL 06

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE
601	DOUBLE	25.67 m ²	3.06 m ²
602	DOUBLE	19.54 m ²	3.83 m ²
603	DOUBLE	23.42 m ²	8.30 m ²
604	DOUBLE	31.40 m ²	5.51 m ²

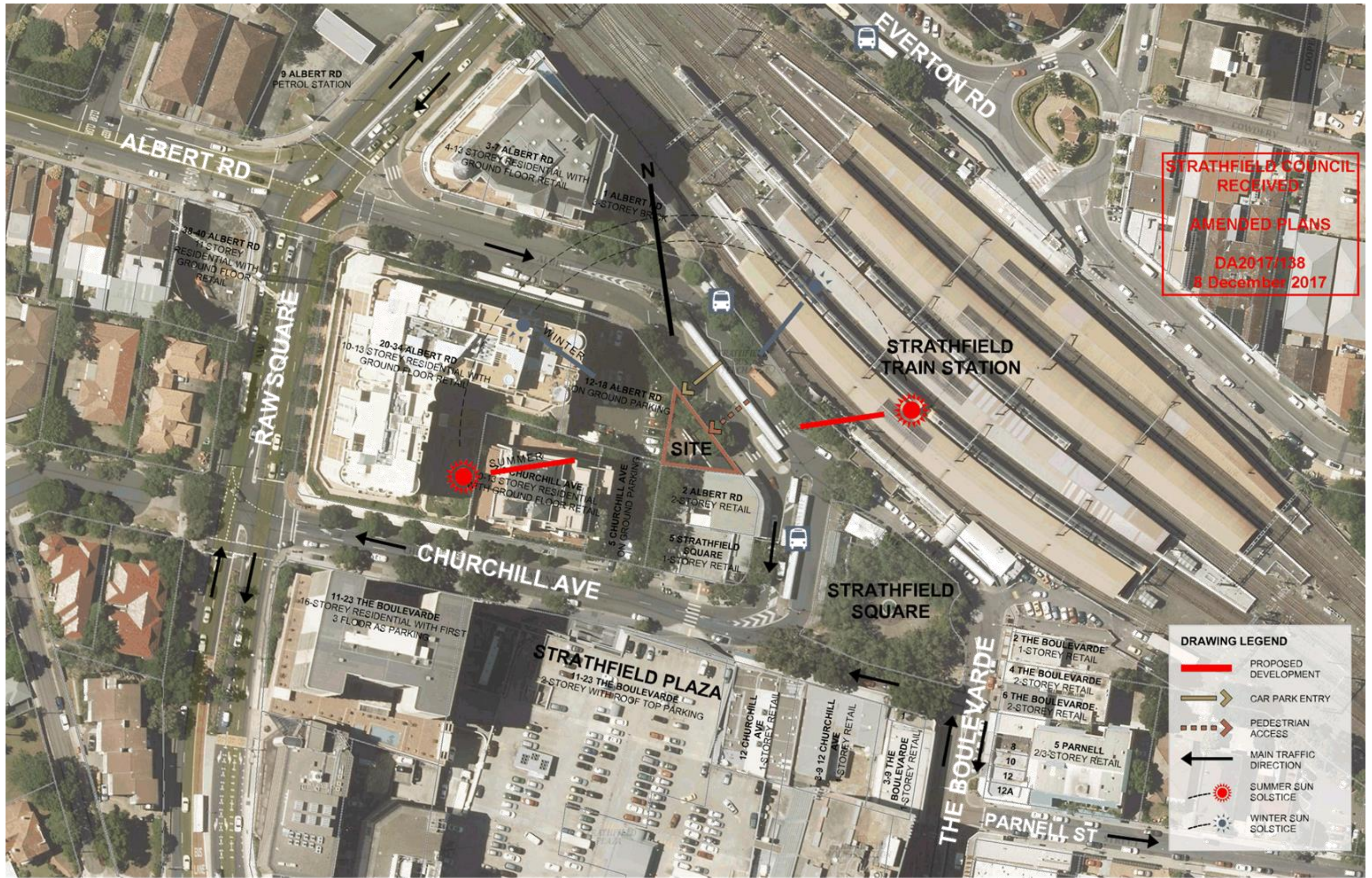
LEVEL 07

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE
701	DOUBLE	25.67 m ²	3.06 m ²
702	DOUBLE	19.54 m ²	3.83 m ²
703	DOUBLE	23.42 m ²	8.30 m ²
704	DOUBLE	31.40 m ²	5.51 m ²

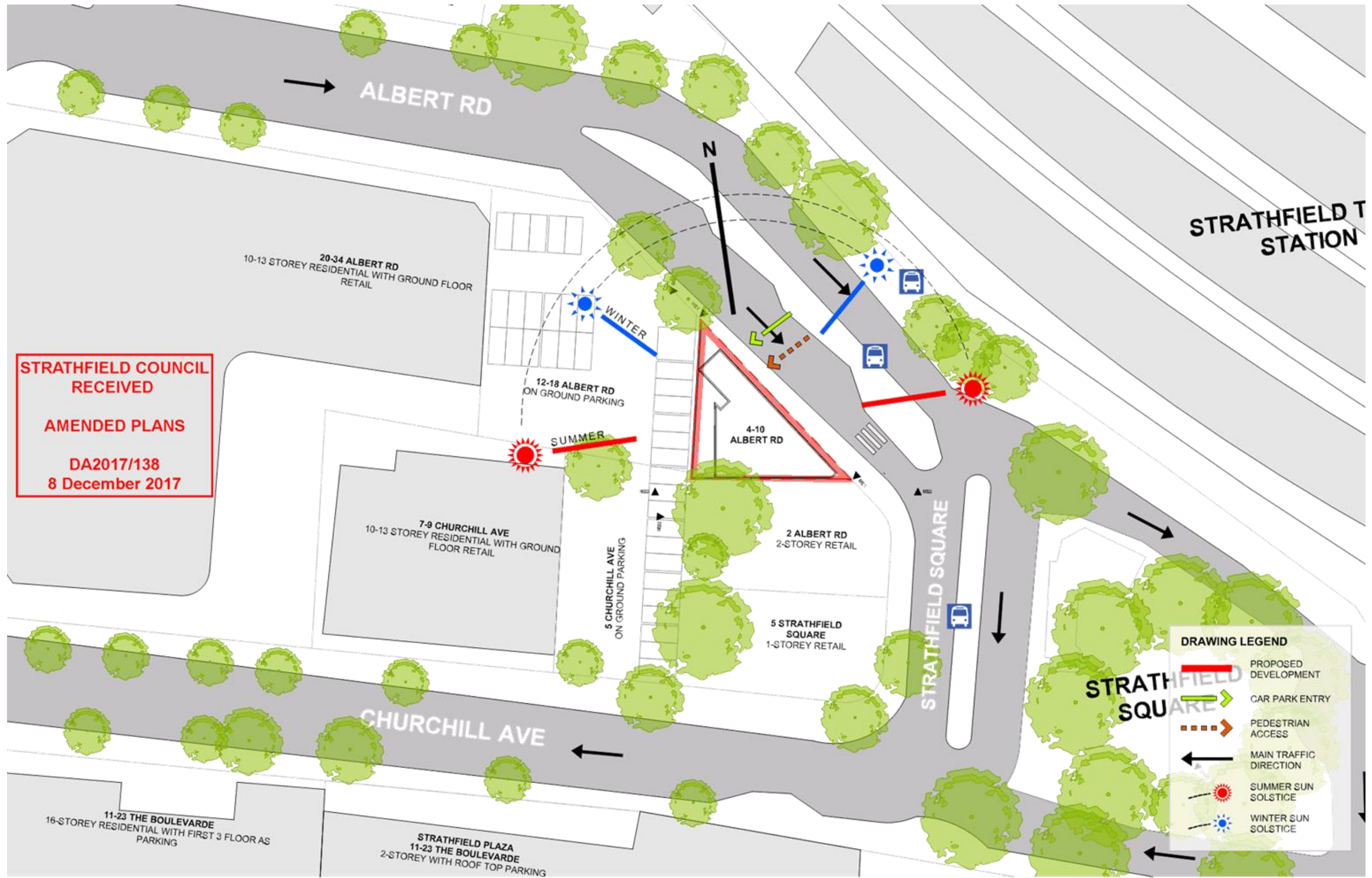
- External Walls:**
 -200mm plastered concrete block; R1.0 insulation; plasterboard lined
 -Curtain Wall: 5mm Glass; air gap: 5mm; glass; air gap: R2.0 insulation; 13mm; plasterboard lined.
- Internal Walls:**
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc; plasterboard lined (no insulation)
- Windows:**
 Aluminium; Double Glazed Air Fill High Solar Gain low-E -Clear; U = 4.30; SHGC = 0.53
- Ceiling:** Plasterboard (no insulation)
- Roof:** (units 501 - 504); Concrete slab 150mm - Tile walking surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)
- Floor:** Suspended Concrete slab; no insulation
- Floor Covering:** Ceramic tiles in wet areas and carpet elsewhere.
- Wall Exhaust fans & Downlights: must be sealed



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AMENDED PLANS

DA2017/138
8 December 2017

DRAWING LEGEND

- PROPOSED DEVELOPMENT
- CAR PARK ENTRY
- - - PEDESTRIAN ACCESS
- MAIN TRAFFIC DIRECTION
- ☀ SUMMER SUN SOLSTICE
- ☀ WINTER SUN SOLSTICE

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**DA2017/138
8 December 2017**

POTENTIAL FUTURE AMALGAMATION PATTERN - OPTIONS



OPTION 1

AREA : 2,850.83M²
 SUBJECT AREA : 282M²

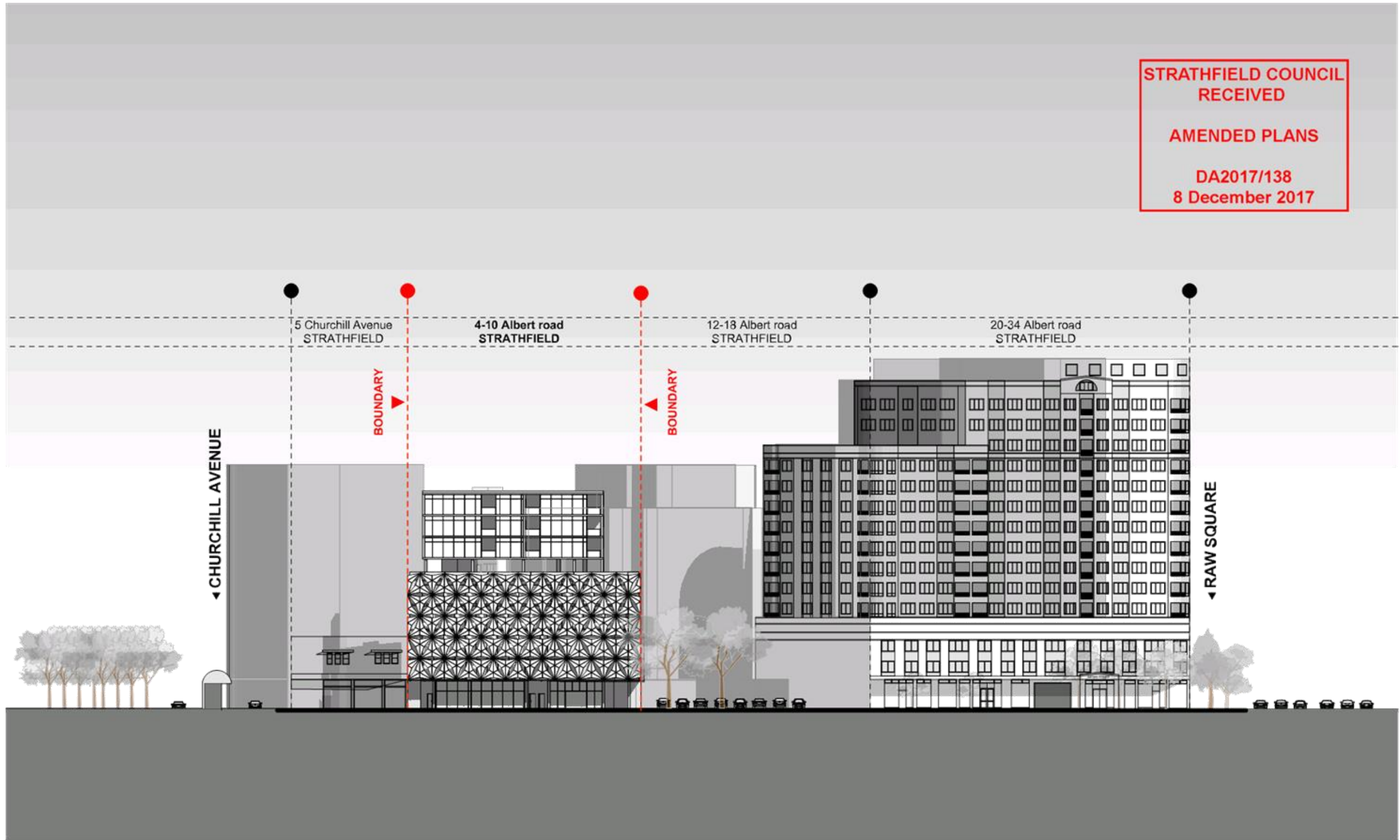


OPTION 2

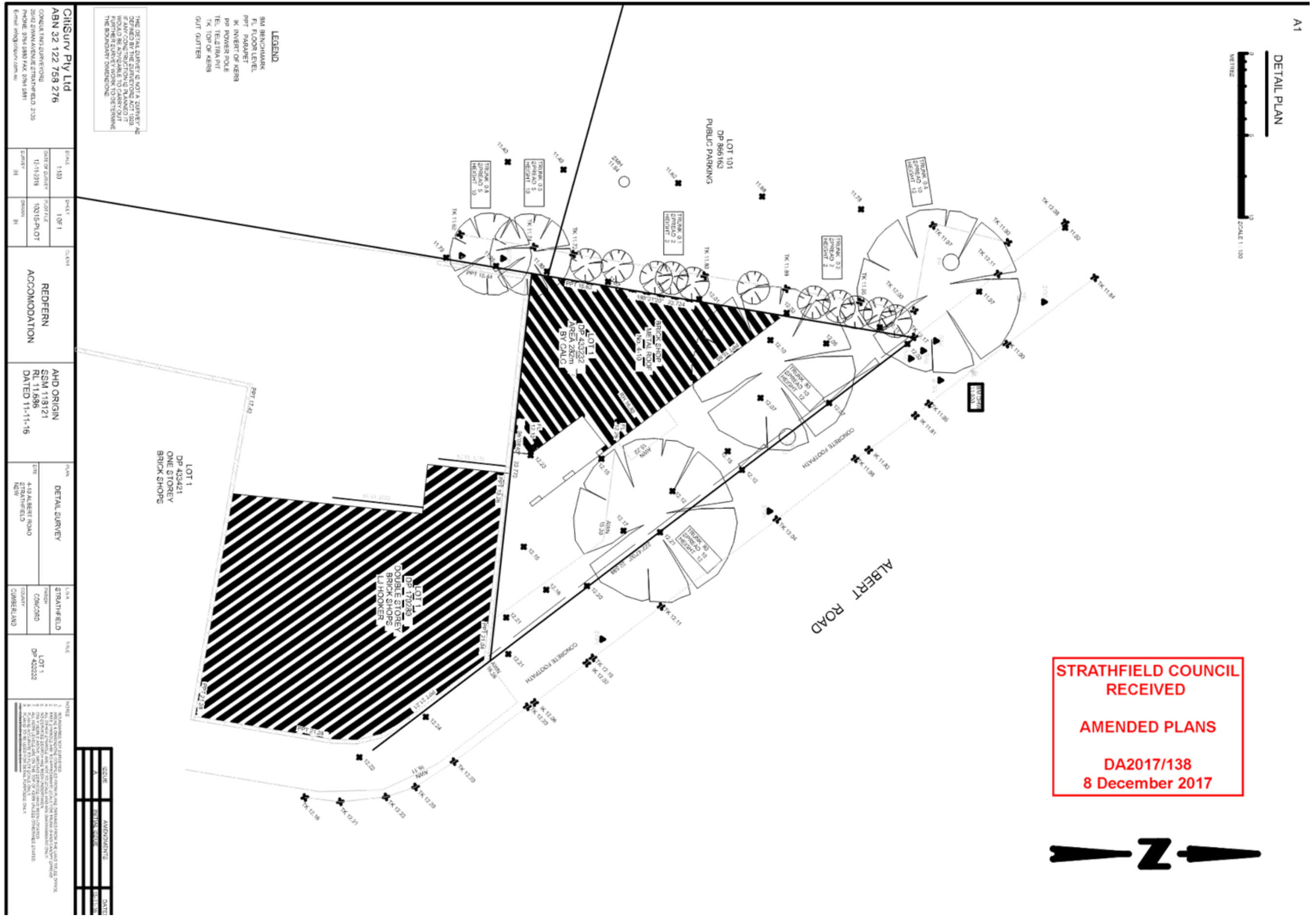
AREA A : 1,623.68M²
 AREA B : 935.82M²
 SUBJECT SITE : 282M²



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8 December 2017

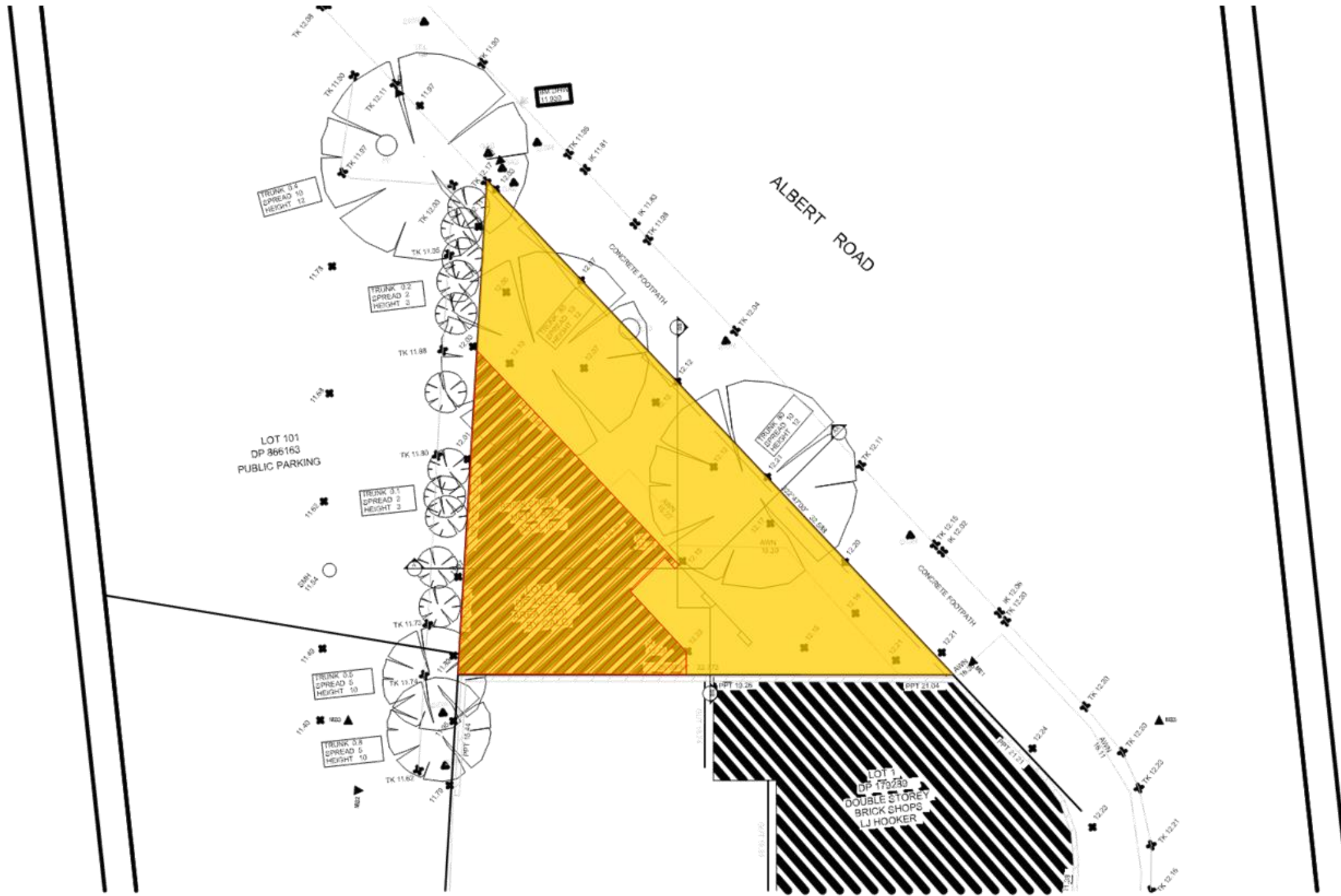


LEGEND

- BM BENCHMARK
- F.L FLOOR LEVEL
- PPT PARAPET
- IK INVERT OF KERB
- PP POWER POLE
- TEL TELEPHONE
- TK TOP OF KERB
- GUT GUTTER

THIS DETAIL SURVEY IS NOT A SURVEY AS DEFINED BY THE SURVEYS ACT 1959 AND IS FOR INFORMATION PURPOSES ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

Chisum Pty Ltd		ABN 32 122 758 276	
CONSULTANT SURVEYORS 20/42 STRATHFIELD STRATHFIELD 2135 PHONE: 0784 5880 FAX: 0784 5881 Email: info@chisum.com.au			
DATE OF SURVEY	11/10	SCALE	10:1
SURVEY	12-11-2016	PROJECT	10016-PROJECT
DATE OF SURVEY	12-11-2016	PROJECT	10016-PROJECT
REDFERN ACCOMMODATION		AHD ORIGIN SSM 119121 RL 11696 DATED 11-11-16	
DETAIL SURVEY		STRATHFIELD	
4-10 ALBERT ROAD STRATHFIELD NSW		COUNTY CHASELAND	
LOT 1		DP 433232	
NOTES: 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.			



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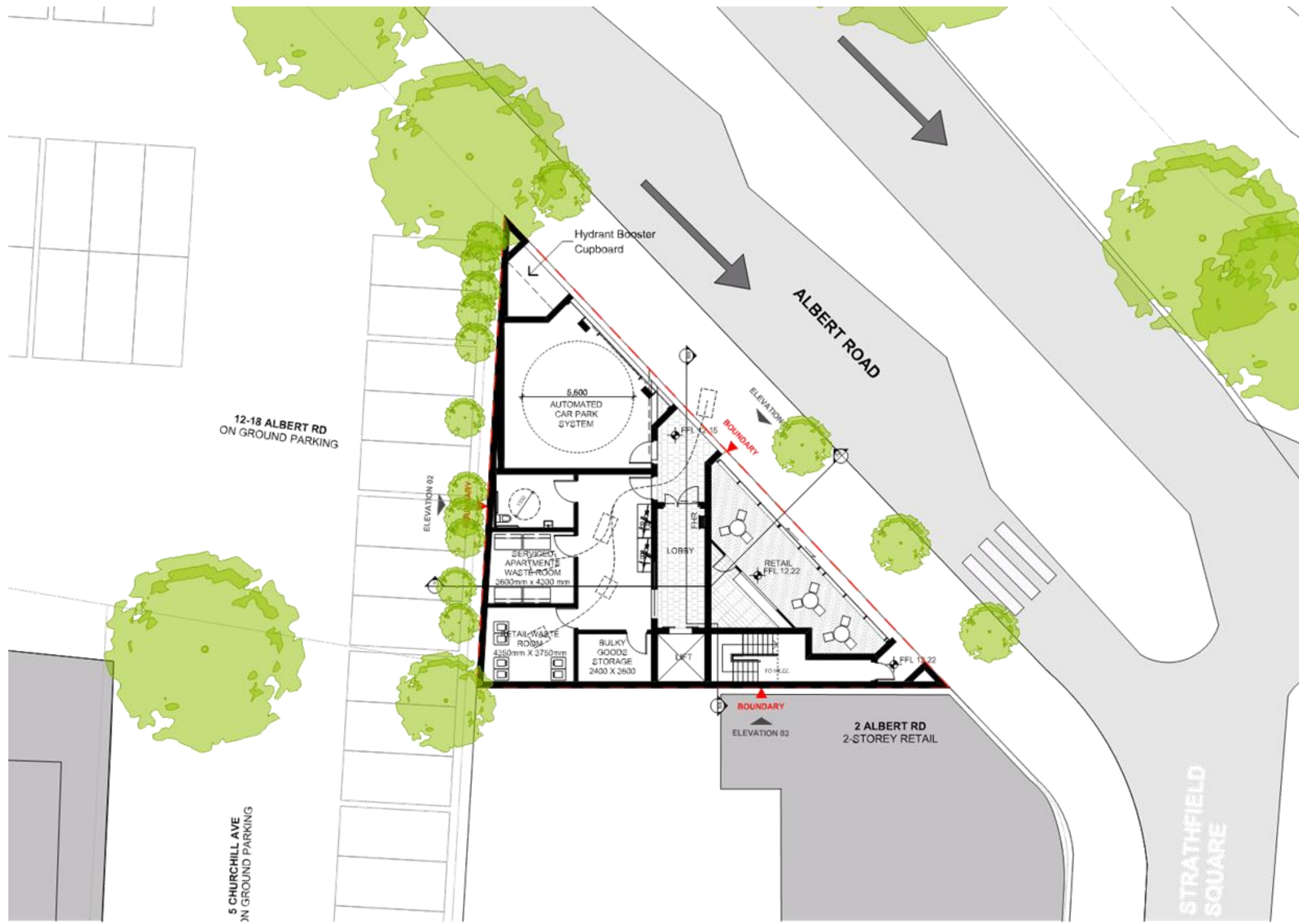
LEGEND

TO BE DEMOLISHED

PROPOSED DEVELOPMENT



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				<p>WASTE MANAGEMENT: Waste Management Solutions 1/175-177, Macquarie St, NSW 2000 T: 02 9550 4100 E: info@waste.com.au</p>	<p>HYDRAULIC: HYDRAULIC 1/175-177, Macquarie St, NSW 2000 T: 02 9550 4100 E: info@hydraulic.com.au</p>	<p>LANDSCAPE: CONCEPT 1/175-177, Macquarie St, NSW 2000 T: 02 9550 4100 E: info@landscape.com.au</p>	<p>PLANNING: URBAN ENVIRONMENTAL PLANNING 1/175-177, Macquarie St, NSW 2000 T: 02 9550 4100 E: info@urban.com.au</p>	<p>QUANTITY SURVEY: QUANTITY SURVEY CONSULTANTS 1/175-177, Macquarie St, NSW 2000 T: 02 9550 4100 E: info@quantity.com.au</p>	<p>TRAFFIC: TRAFFIC 1/175-177, Macquarie St, NSW 2000 T: 02 9550 4100 E: info@traffic.com.au</p>	<p>CLIENT: REDFERN ACCOMMODATION P/L</p>	<p>DATE: 8/12/2017</p>	<p>PROJECT ARCHITECT: JA</p>	<p>PROJECT ENGINEER: GA</p>



- External Walls:**
 - 200mm plastered concrete block: R1.0 insulation: plasterboard lined
 - Curtain Wall: 6mm Glass: air gap: 6mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.
- Internal Walls:**
 - Within Unit: Plasterboard on studs (R1.0 insul.)
 - Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)
- Windows:**
 - Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53
- Ceiling:** Plasterboard (no insulation)
- Roof:** (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)
- Floor:** Suspended Concrete slab: no insulation
- Floor Covering:** Ceramic tiles in wet areas and carpet elsewhere.
- Wall Exhaust fans & Downlights: must be sealed

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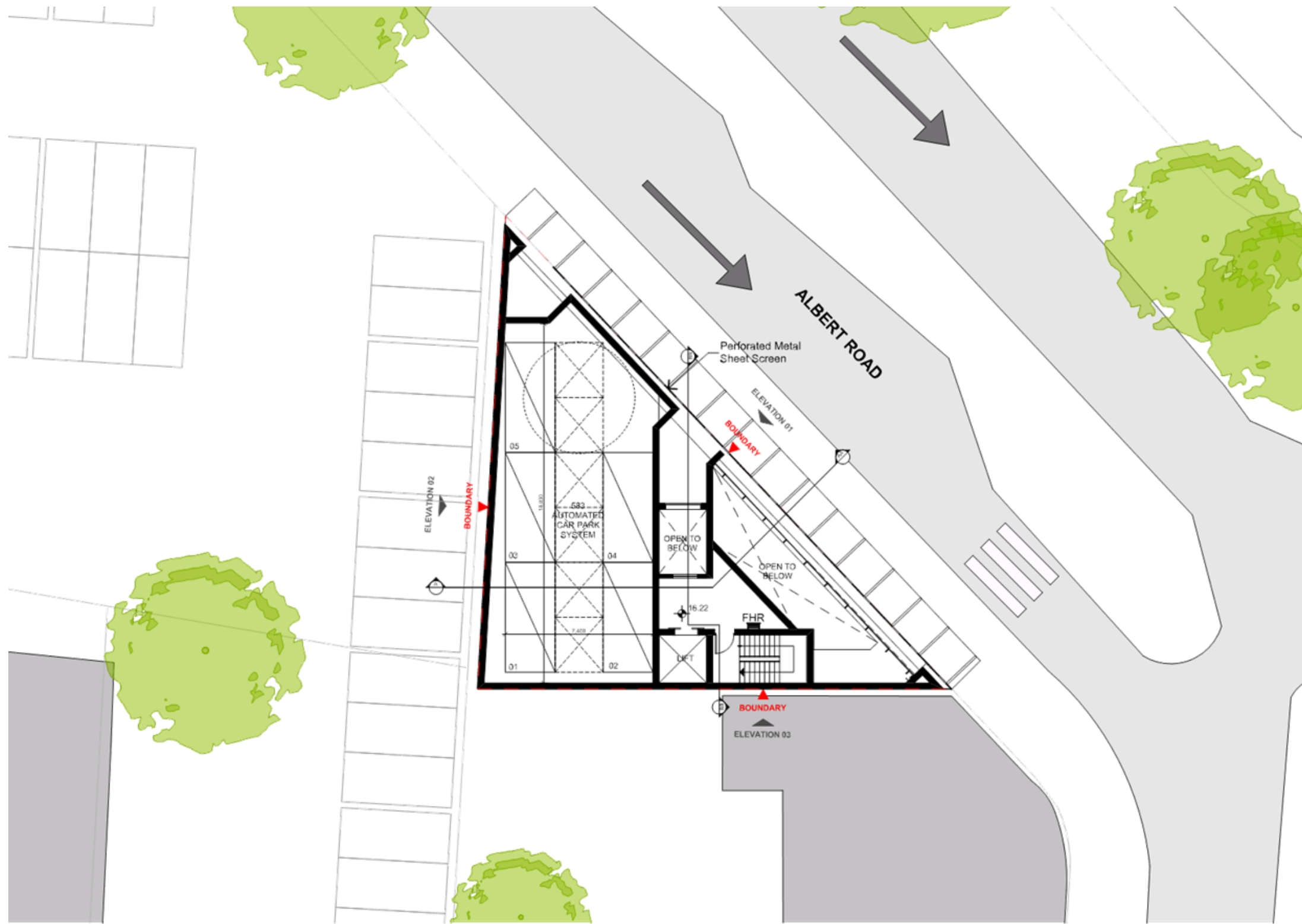
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GROUND FLOOR PLAN
1:200



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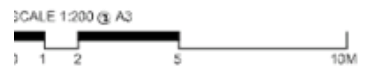
- External Walls:**
 - 200mm plastered concrete block: R1.0 insulation: plasterboard lined
 - Curtain Wall: 6mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.
- Internal Walls:**
 - Within Unit: Plasterboard on studs (R1.0 insul.)
 - Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)
- Windows:**
 - Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53
- Ceiling:** Plasterboard (no insulation)
- Roof:** (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)
- Floor:** Suspended Concrete slab: no insulation
- Floor Covering:** Ceramic tiles in wet areas and carpet elsewhere.
- Wall Exhaust fans & Downlights:** must be sealed

MEZZ FLOOR PLAN
1:200

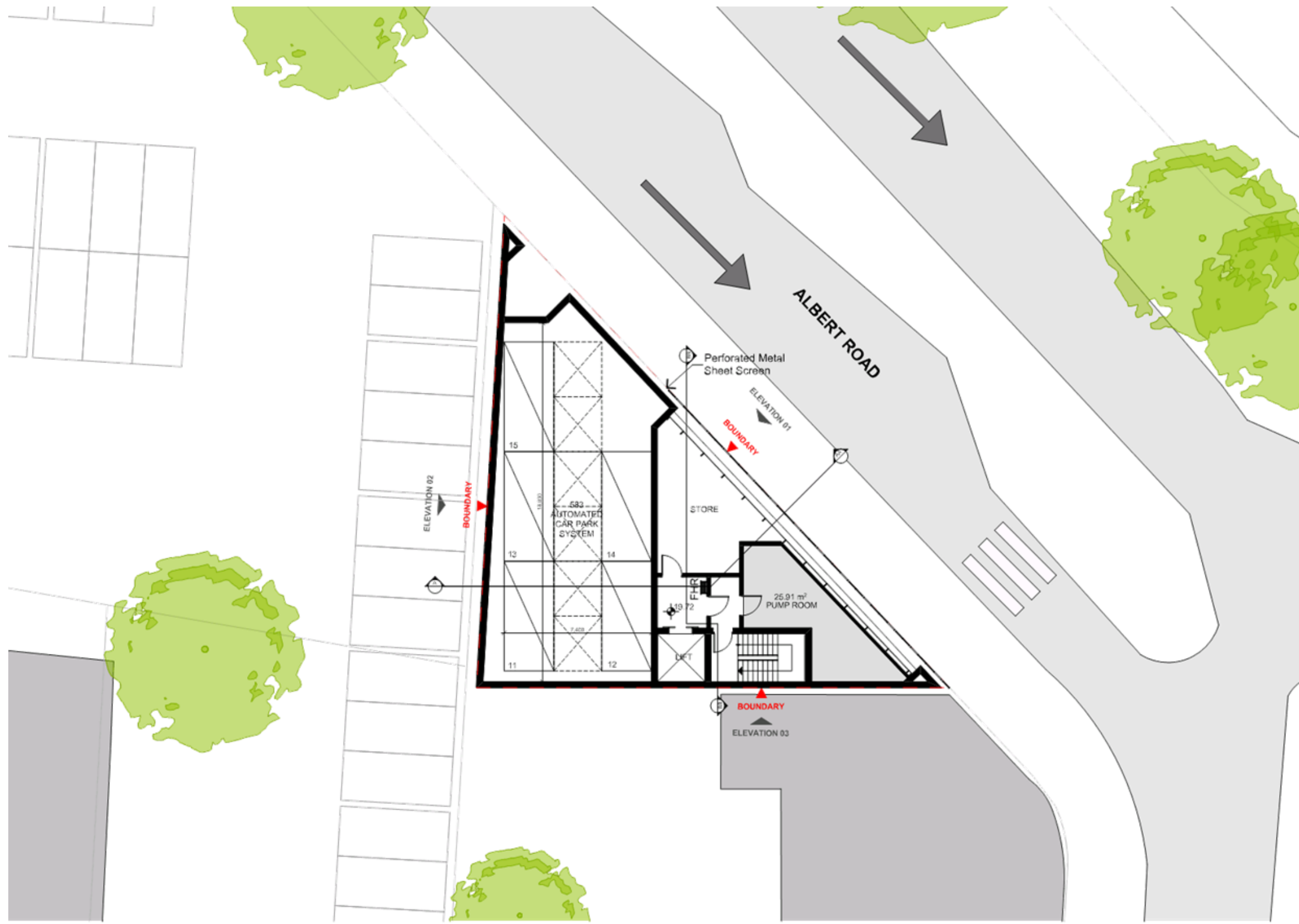
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External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

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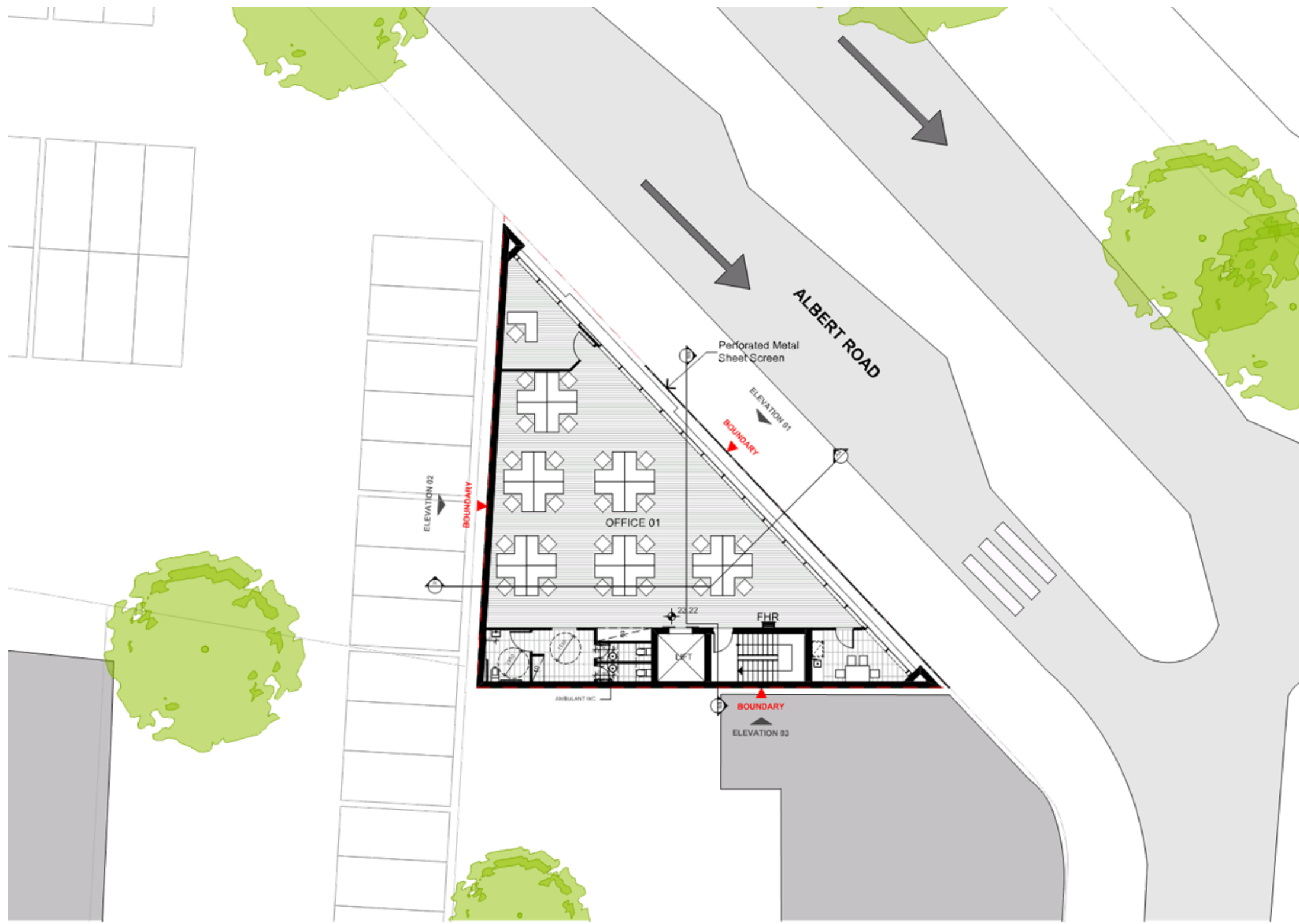
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**LEVEL 01 FLOOR PLAN
 1:200**



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External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

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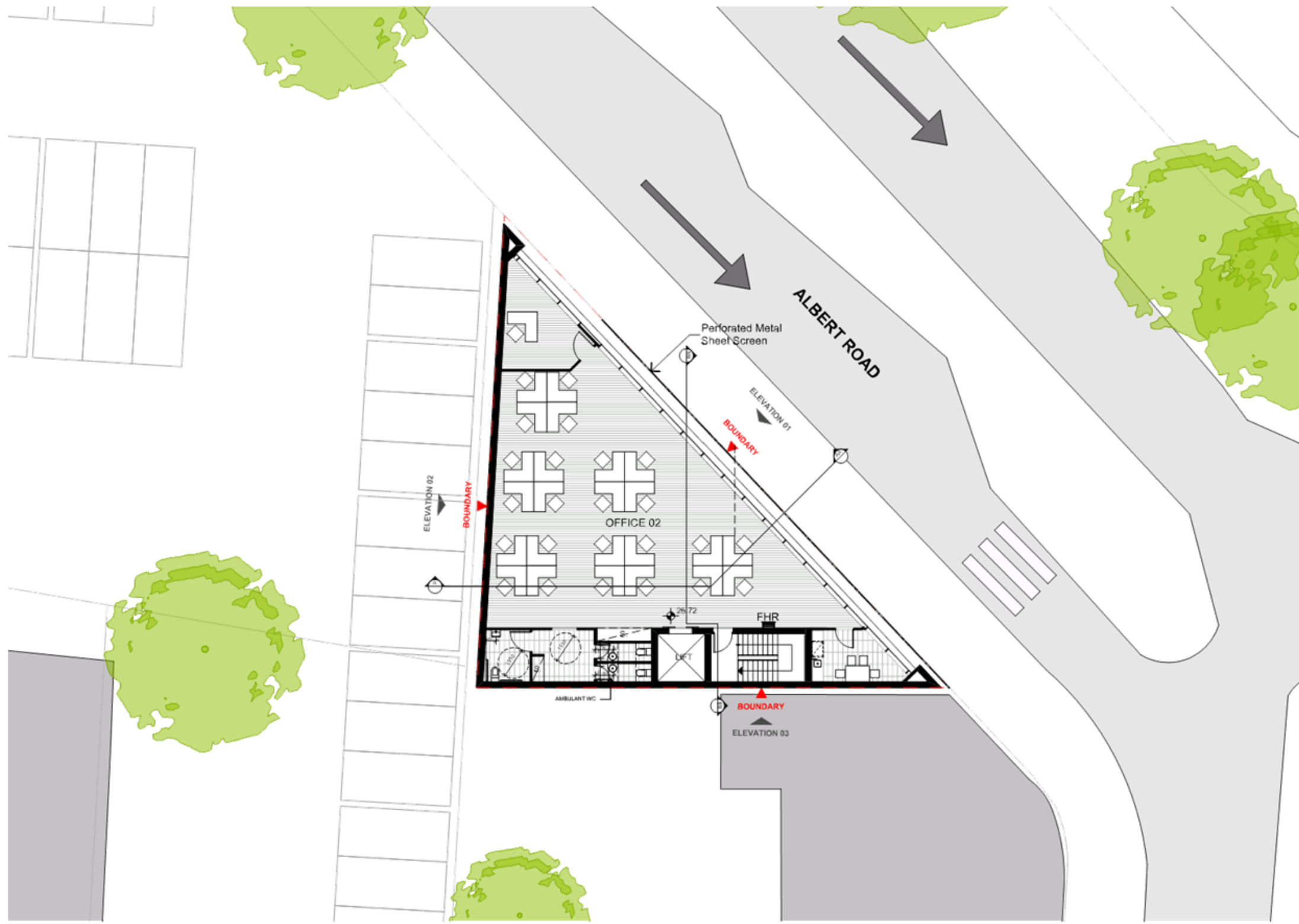
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**LEVEL 02 FLOOR PLAN
 1:200**



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External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

LEVEL 03 FLOOR PLAN
 1:200

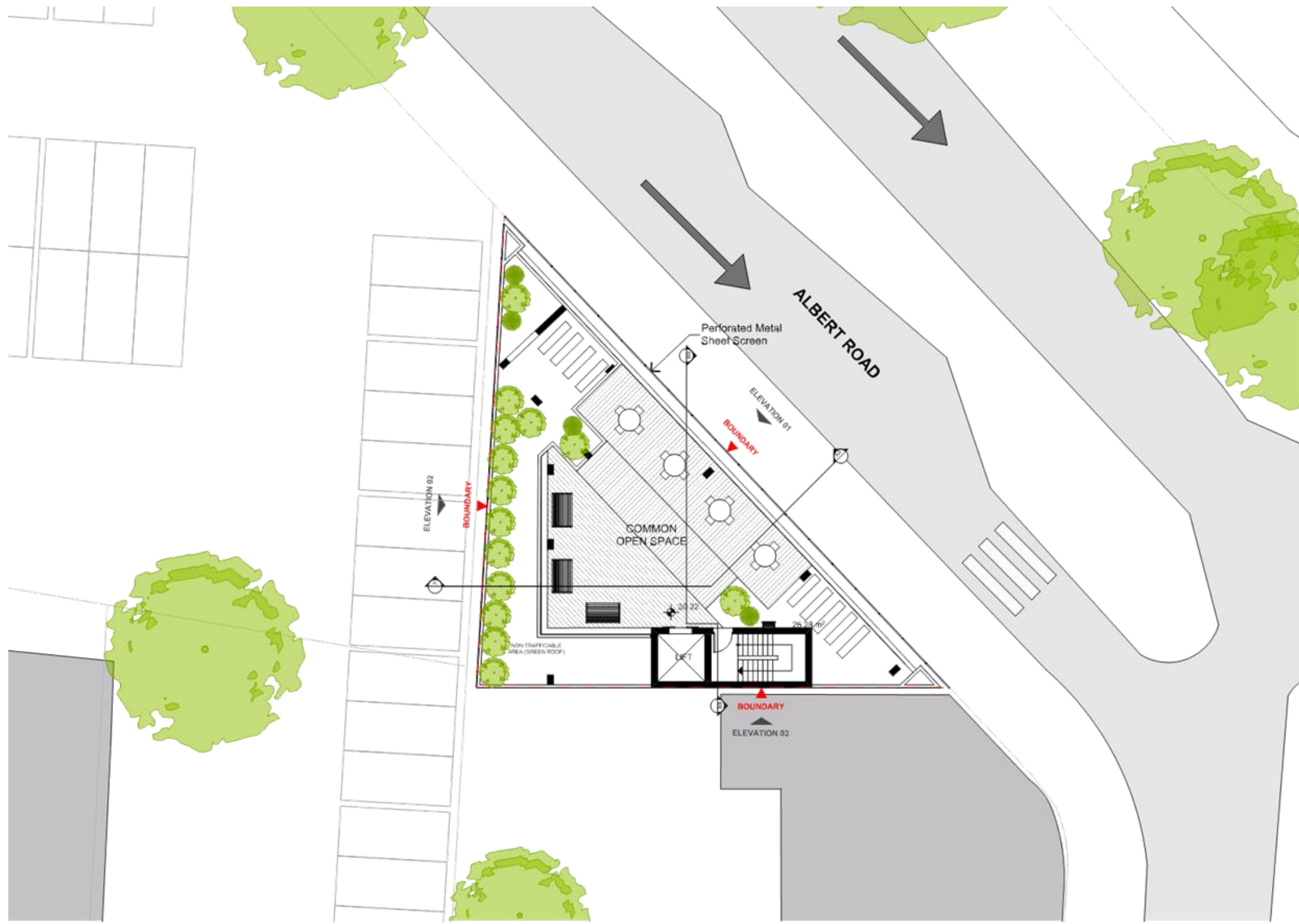
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				WASTE MANAGEMENT: Ecolab Waste Recycling Solutions 1/100-100, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9339 4400 F: 02 9339 4401 E: info@ecolab.com.au	HYDRAULIC: SOCE 1/100-100, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9339 4400 F: 02 9339 4401 E: info@soce.com.au	PLANNING: NUSE ENVIRONMENTAL PLANNING 1/100-100, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9339 4400 F: 02 9339 4401 E: info@nuse.com.au	LANDSCAPING: CONCEPT 1/100-100, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9339 4400 F: 02 9339 4401 E: info@concept.com.au	QUANTITY SURVEY: WMO-CONSTRUCTION CONSULTANTS 1/100-100, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9339 4400 F: 02 9339 4401 E: info@wmo.com.au	TRAFFIC: TRAFFIC 1/100-100, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9339 4400 F: 02 9339 4401 E: info@traffic.com.au			



External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

LEVEL 04 FLOOR PLAN
1:200

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				WASTE MANAGEMENT: (Sydney's First Recycling Solution) 1/100, 100, Waverley, NSW 2039 T: 02 9439 4100 F: 02 9439 4101 E: info@waste.com.au	HYDRAULIC: 1/100, 100, Waverley, NSW 2039 T: 02 9439 4100 F: 02 9439 4101 E: info@hydraulic.com.au	LANDSCAPE: CONCEPT: 1/100, 100, Waverley, NSW 2039 T: 02 9439 4100 F: 02 9439 4101 E: info@landscape.com.au	PLANNING: NSW ENVIRONMENTAL PLANNING 1/100, 100, Waverley, NSW 2039 T: 02 9439 4100 F: 02 9439 4101 E: info@planning.com.au	QUANTITY SURVEY: QUANTITY SURVEYING CONSULTANTS 1/100, 100, Waverley, NSW 2039 T: 02 9439 4100 F: 02 9439 4101 E: info@quantity.com.au	TRAFFIC: 1/100, 100, Waverley, NSW 2039 T: 02 9439 4100 F: 02 9439 4101 E: info@traffic.com.au				



External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

LEVEL 05 FLOOR PLAN
1:200

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External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 6mm Glass: air gap: 6mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 601 - 604): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

LEVEL 06 FLOOR PLAN
1:200



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				WASTEWATER: Hydraulics & Sewerage Solutions Suite 2/110-112, Warrumbungle Hwy, 2813 T: 02 9551 5300 E: info@hss.com.au	HYDRAULIC: SOCE 1/120-122, Warrumbungle Hwy, 2813 T: 02 9551 5300 E: info@soce.com.au	LANDSCAPE: CONCEPT Suite 1/120-122, Warrumbungle Hwy, 2813 T: 02 9551 5300 E: info@concept.com.au	PLANNING: NEUSE ENVIRONMENTAL PLANNING Suite 1/120-122, Warrumbungle Hwy, 2813 T: 02 9551 5300 E: info@neuse.com.au	QUANTITY SURVEY: HMO CONSTRUCTION CONSULTANTS Suite 1/120-122, Warrumbungle Hwy, 2813 T: 02 9551 5300 E: info@hmo.com.au	TRAFFIC: TRAC 10/110-112, Warrumbungle Hwy, 2813 T: 02 9551 5300 E: info@trac.com.au				



External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 6mm Glass: air gap: 6mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

LEVEL 07 FLOOR PLAN
1:200

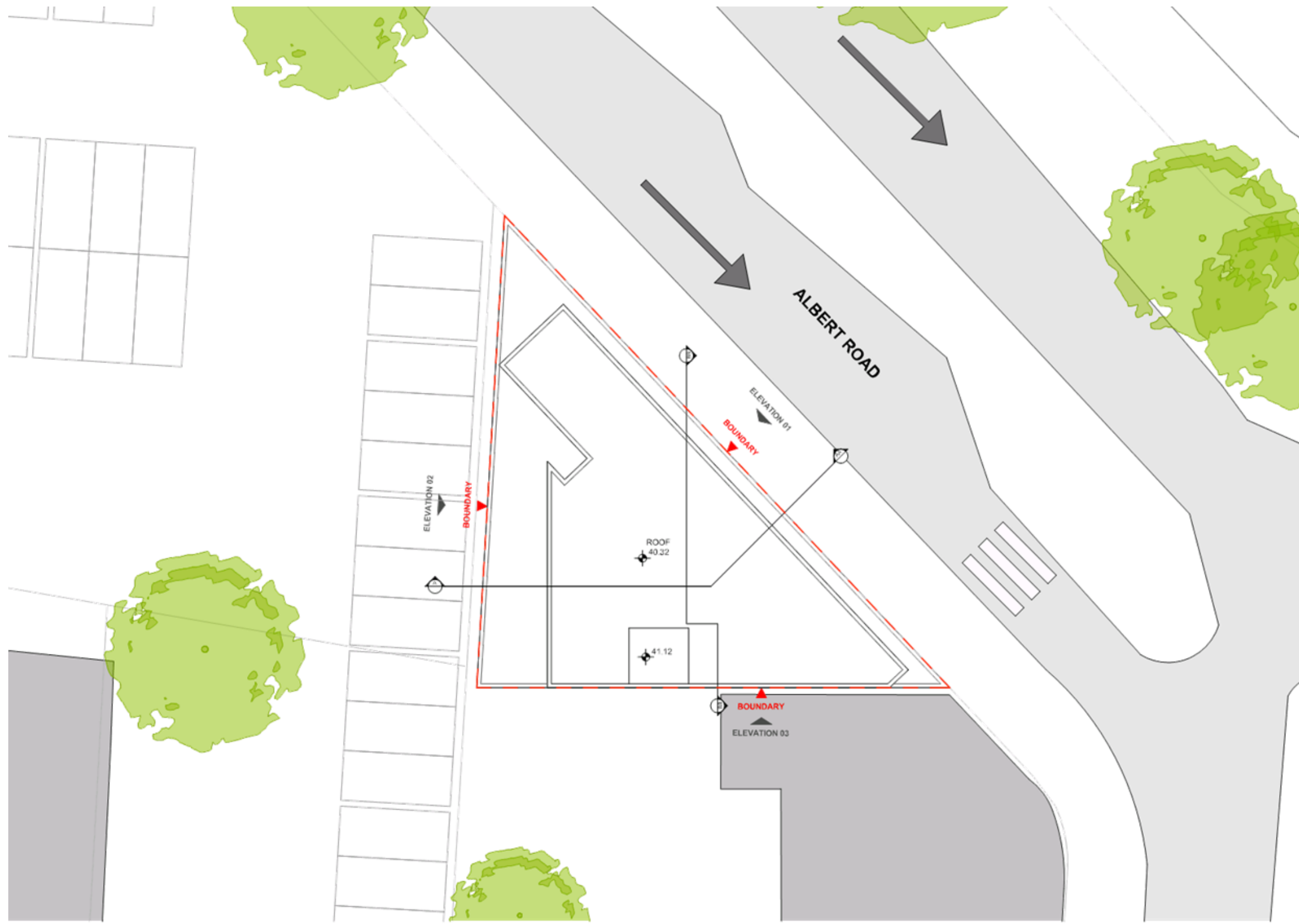
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External Walls:
 -200mm plastered concrete block: R1.0 insulation:
 plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap:
 R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r
 insulation)

Windows:
 Aluminium: Double Glazed Air Fill High Solar Gain low-E -
 Clear: U = 4.30: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walki
 surface - R2.0 insulation under slab - Susp. Ceiling under
 (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet
 elsewhere.

Wall Exhaust fans & Downlights: must be sealed

ROOF FLOOR PLAN
1:200

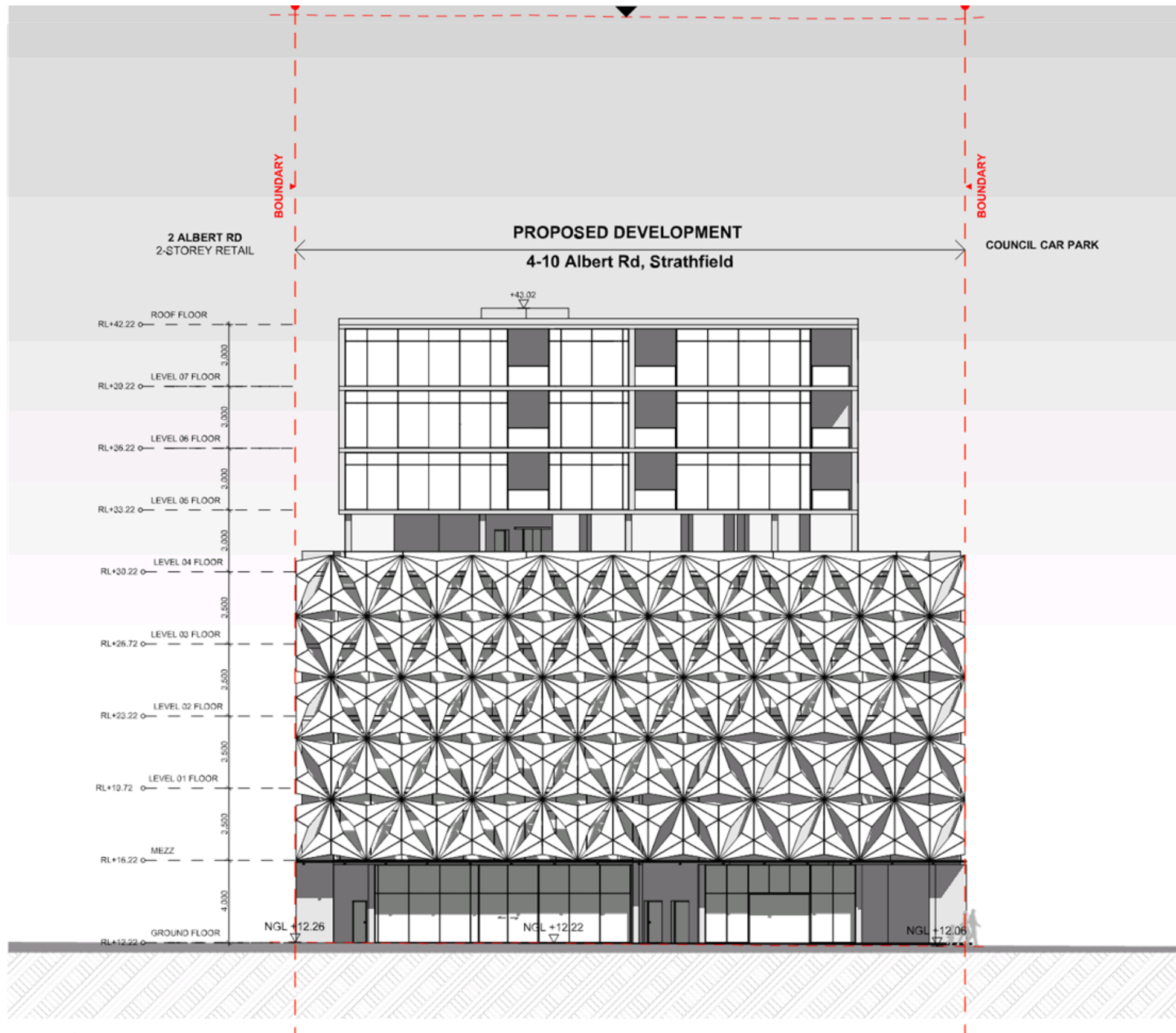
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External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

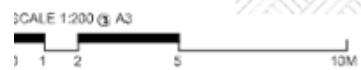
Wall Exhaust fans & Downlights: must be sealed

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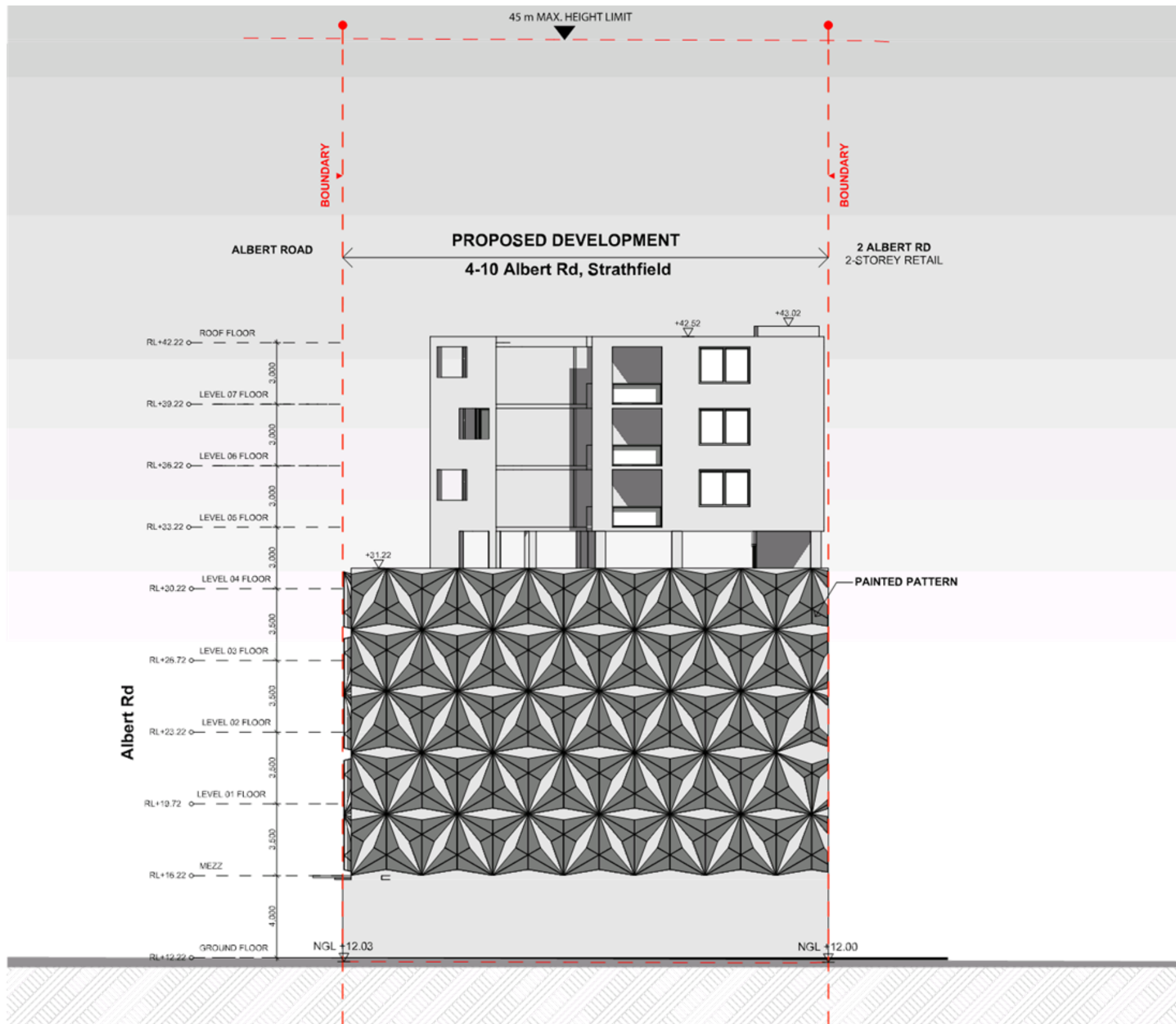
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ELEVATION 01
 1:200



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External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

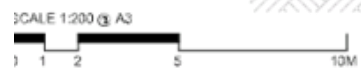
Wall Exhaust fans & Downlights: must be sealed

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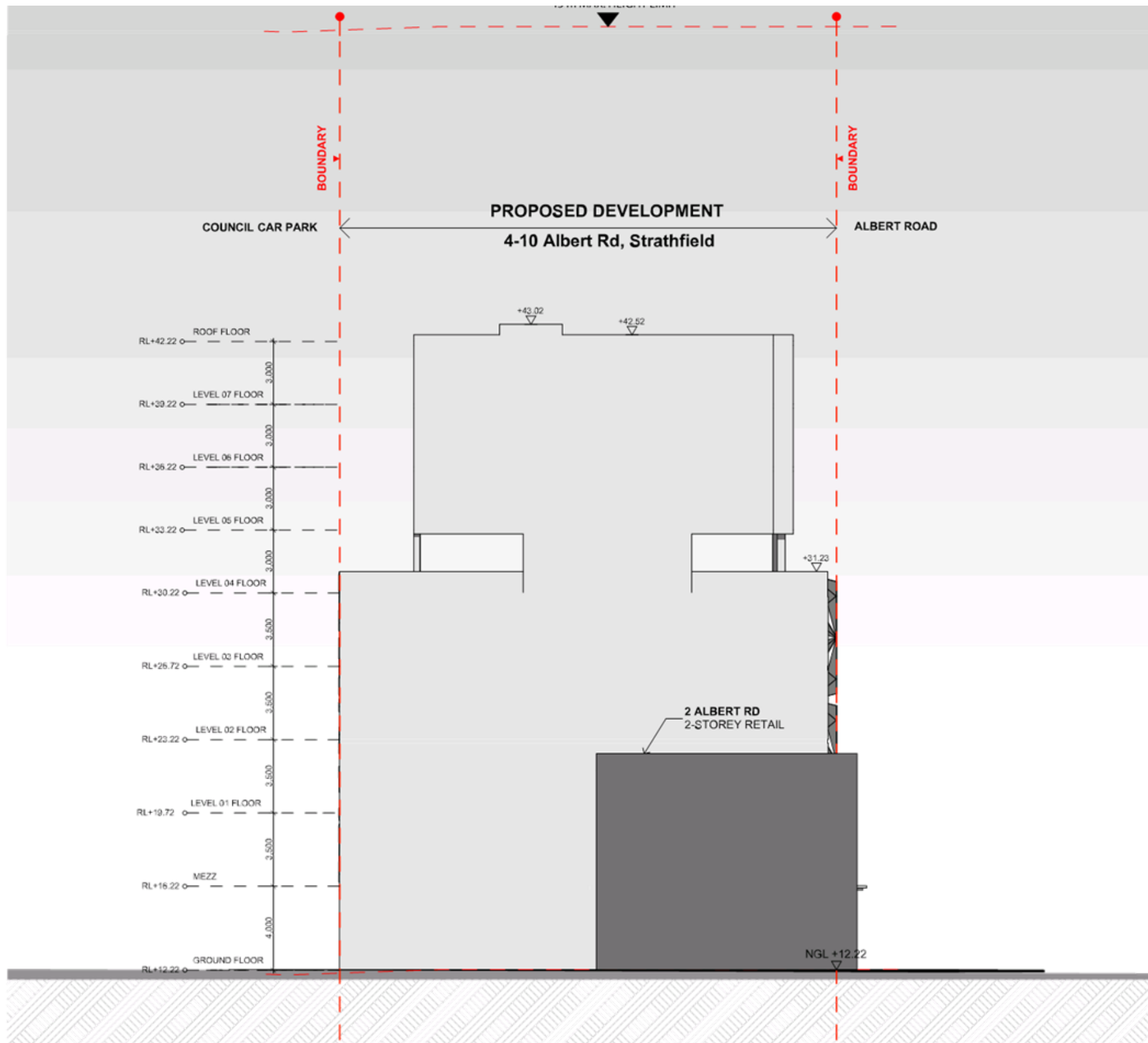
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ELEVATION 02
1:200



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- External Walls:**
 - 200mm plastered concrete block: R1.0 insulation: plasterboard lined
 - Curtain Wall: 6mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.
- Internal Walls:**
 - Within Unit: Plasterboard on studs (R1.0 insul.)
 - Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)
- Windows:**
 - Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53
- Ceiling:** Plasterboard (no insulation)
- Roof:** (units 501 - 504): Concrete slab 150mm - Tile walki surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)
- Floor:** Suspended Concrete slab: no insulation
- Floor Covering:** Ceramic tiles in wet areas and carpet elsewhere.
- Wall Exhaust fans & Downlights: must be sealed

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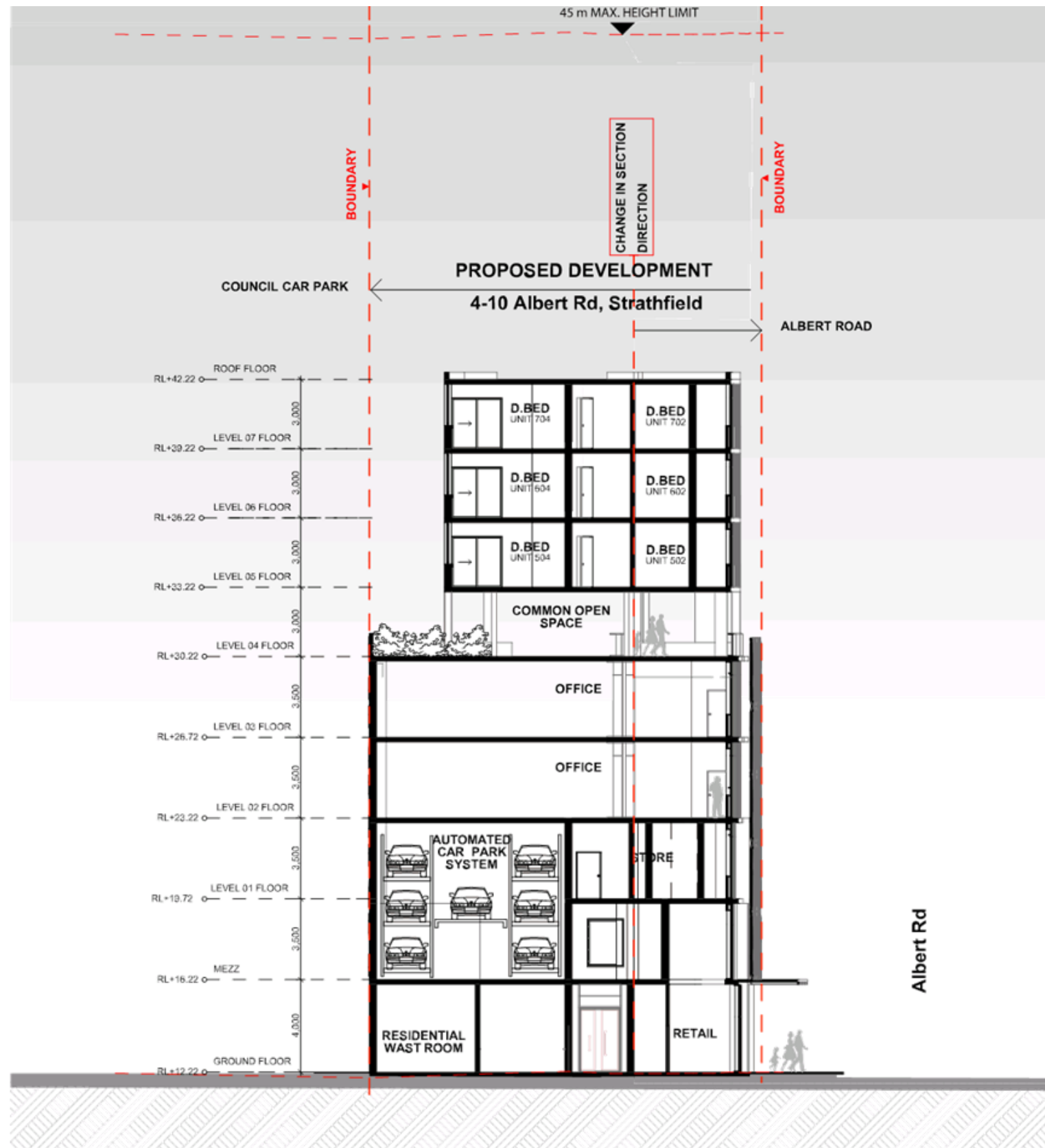
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ELEVATION 03
1:200



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- External Walls:**
 - 200mm plastered concrete block: R1.0 insulation: plasterboard lined
 - Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.
- Internal Walls:**
 - Within Unit: Plasterboard on studs (R1.0 insul.)
 - Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)
- Windows:**
 - Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53
- Ceiling:** Plasterboard (no insulation)
- Roof:** (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)
- Floor:** Suspended Concrete slab: no insulation
- Floor Covering:** Ceramic tiles in wet areas and carpet elsewhere.
- Wall Exhaust fans & Downlights: must be sealed

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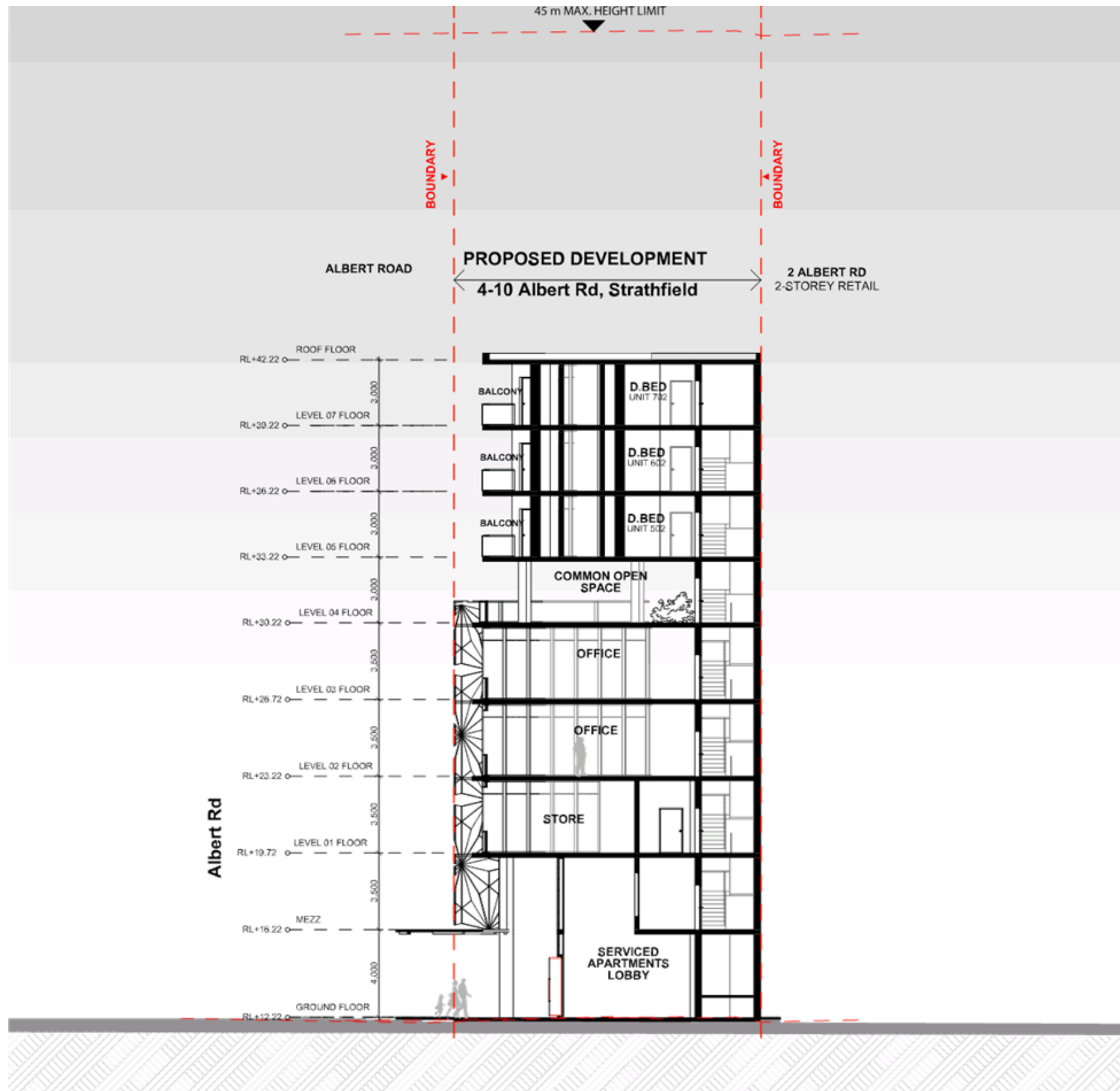
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SECTION AA
1:200



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External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 6mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

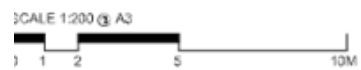
Wall Exhaust fans & Downlights: must be sealed

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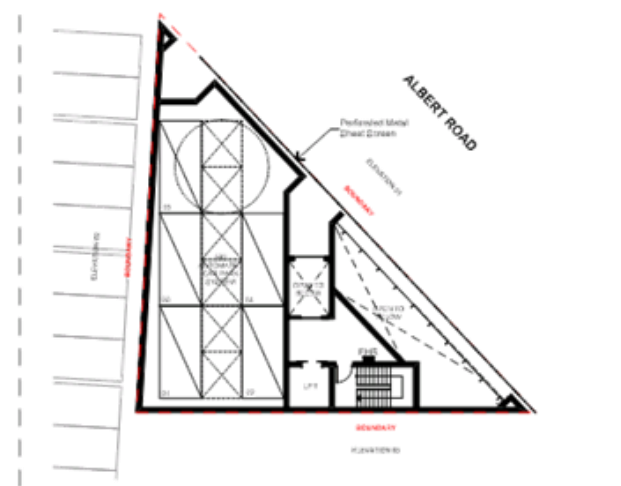
SECTION BB
1:200



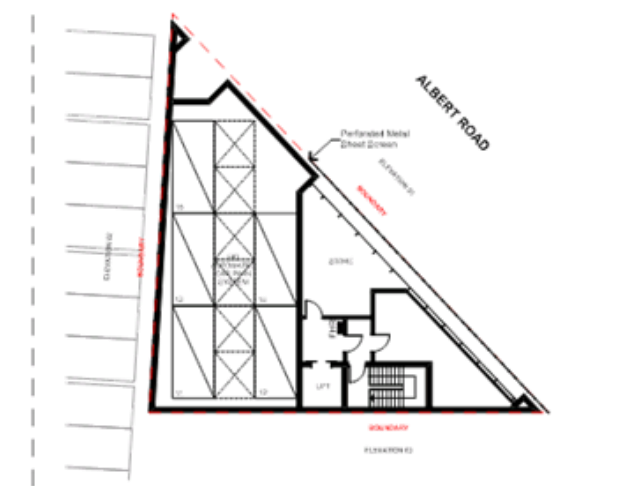
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39.16 SQM GROUND FLOOR PLAN 1:400



0 SQM MEZZ FLOOR PLAN 1:400



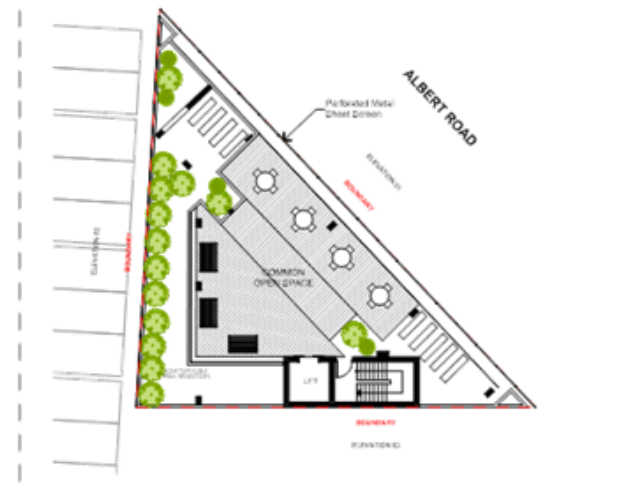
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208.99 SQM LEVEL 02 FLOOR PLAN 1:400



208.99 SQM LEVEL 03 FLOOR PLAN 1:400



0 SQM LEVEL 04 FLOOR PLAN 1:400



123.39 SQM LEVEL 05 FLOOR PLAN 1:400



123.39 SQM LEVEL 06 FLOOR PLAN 1:400



123.39 SQM LEVEL 07 FLOOR PLAN 1:400

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GFA CALCULATION

SITE AREA: 282 SQM
 PERMISSIBLE FSR: 3:1
 PERMISSIBLE GFA: 846 SQM

823.66 SQM

TOTAL GFA: 827.31
 TOTAL FSR: 2.93:1

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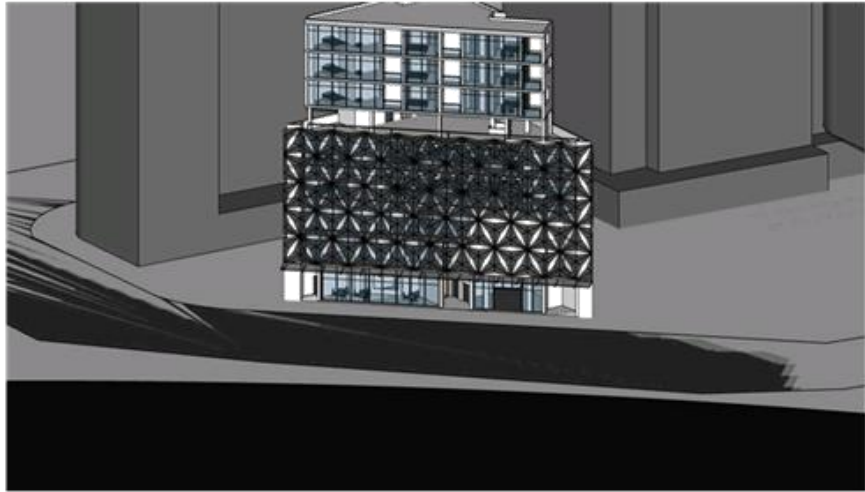
SOLAR ACCESS STUDY

- ≥ 2H SOLAR ACCESS
- NO SOLAR ACCESS
- NO DIRECT SUNLIGHT

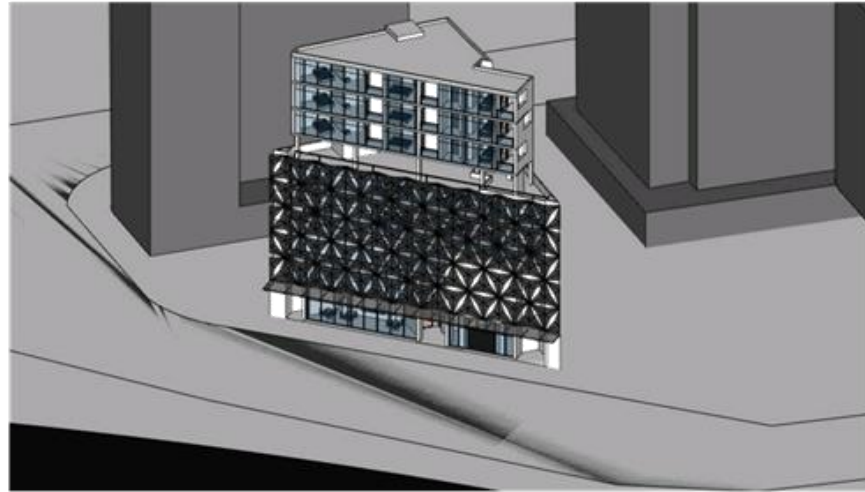
SOLAR ACCESS ≥ 2 HRS: 12 (100%)
 LIMITED SOLAR ACCESS: 0 (0%)
 NO DIRECT SUNLIGHT: 0 (0%)
 TOTAL NUMBER OF UNITS: 12



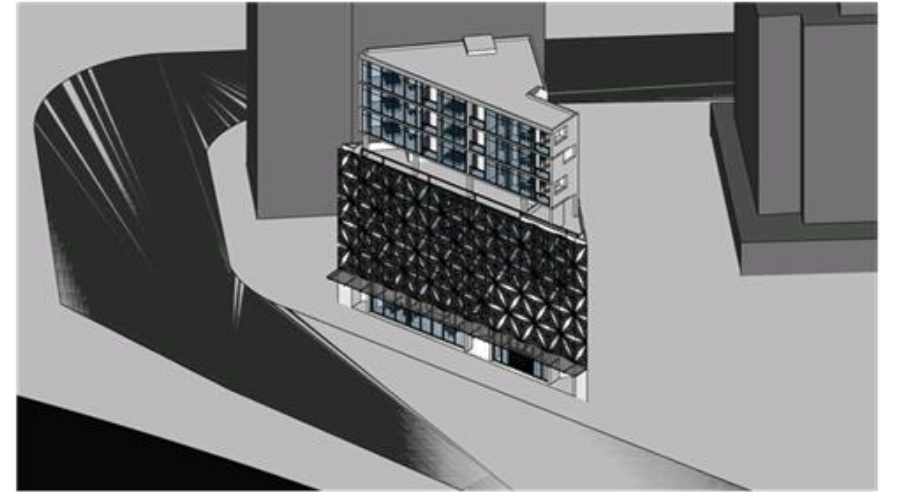
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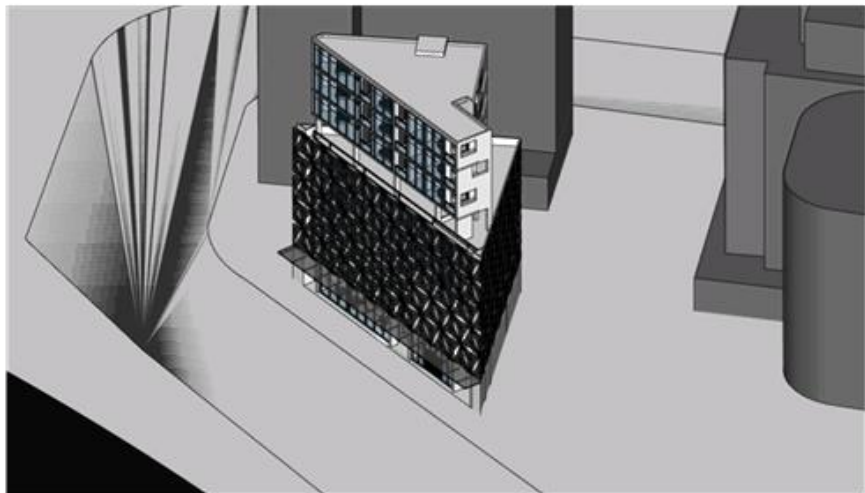
9 AM



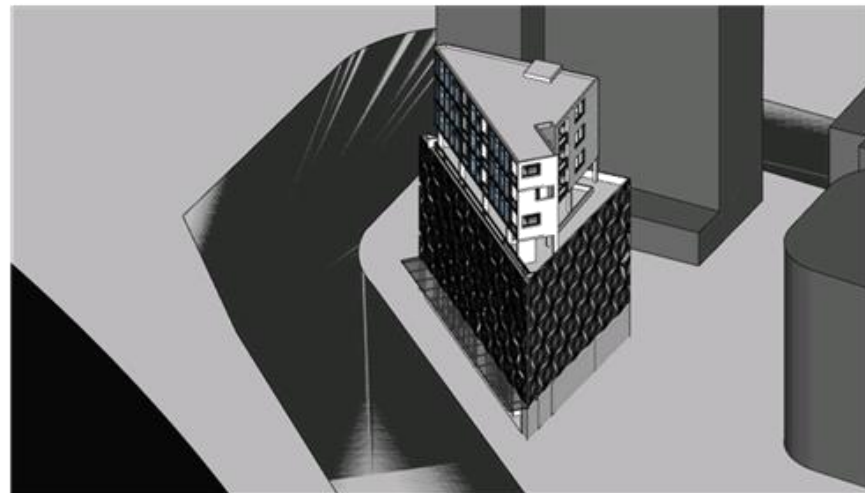
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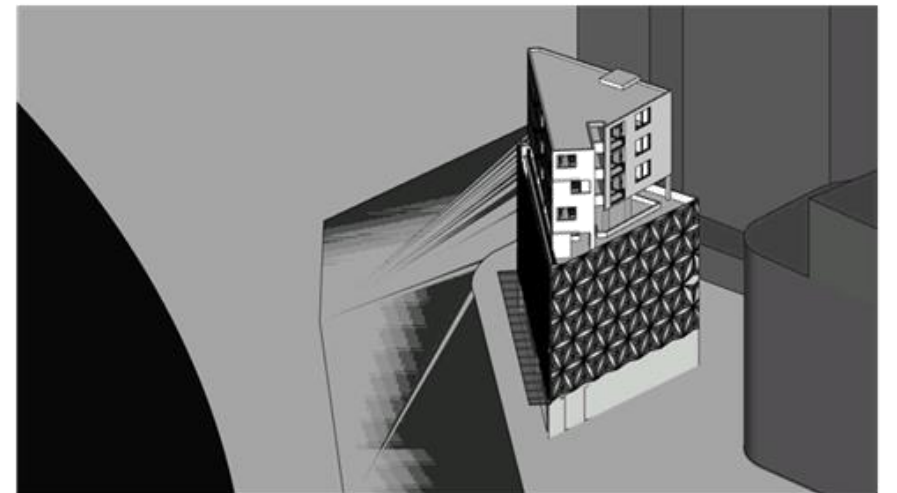
11 AM



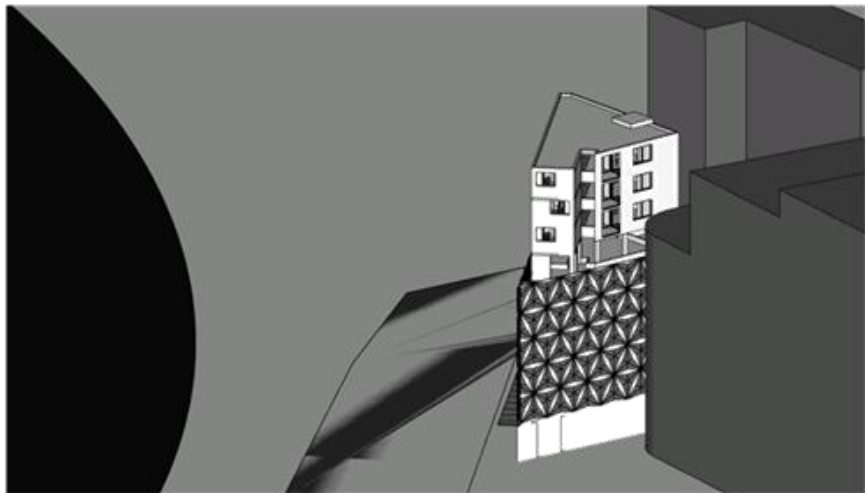
12 PM



1 PM



2 PM



3 PM

SOLAR ACCESS STUDY

SOLAR ACCESS TO LIVING ROOMS AND PRIVATE OPEN SPACES

SOLAR ACCESS ≥ 2 HRS: 12 (100%)
 LIMITED SOLAR ACCESS: 0 (0%)
 NO DIRECT SUNLIGHT: 0 (0%)
 TOTAL NUMBER OF UNITS: 12

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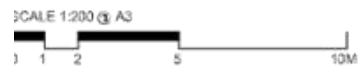
AMENDED PLANS

DA2017/138
8 December 2017

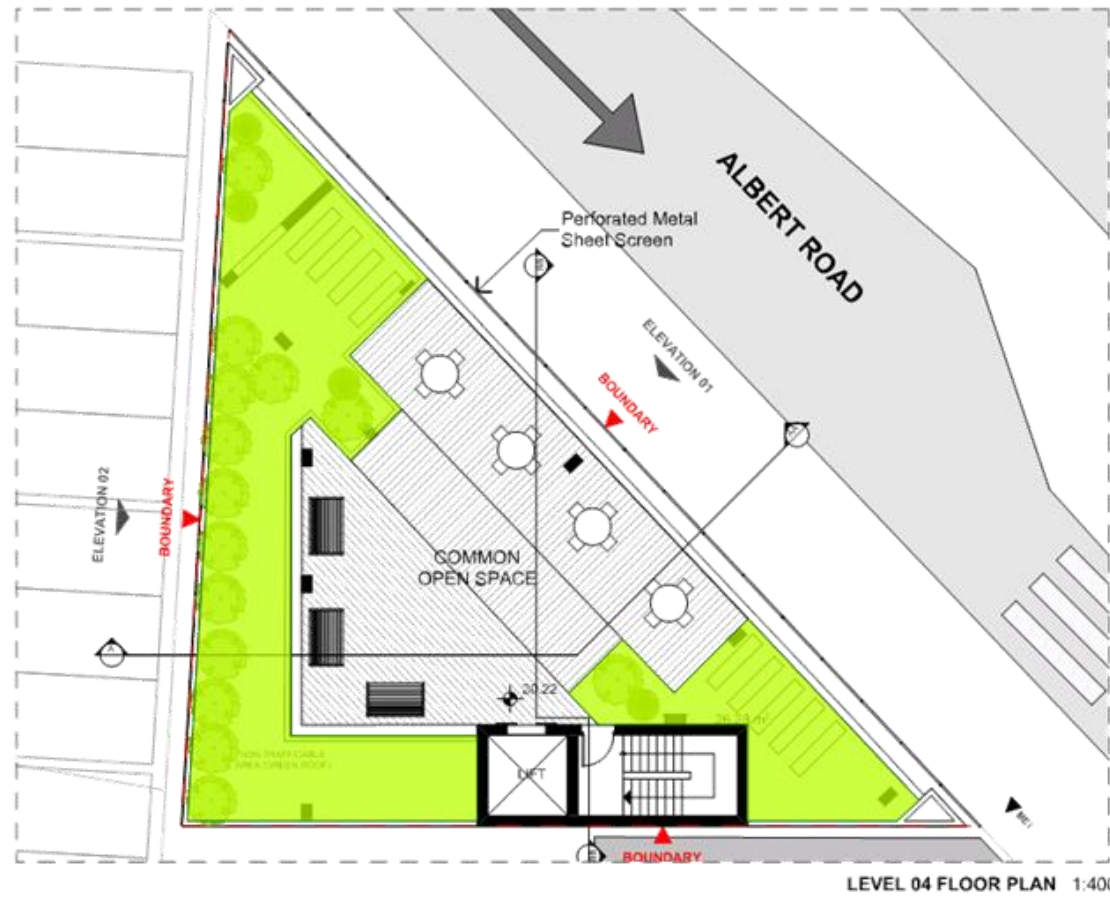
CROSS-VENTILATION STUDY

- CROSS-VENTILATED
- NOT CROSS-VENTILATED

CROSS VENTILATED: 6 (50%)
NOT CROSS VENTILATED: 6 (50%)
TOTAL NUMBER OF UNITS: 12



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LANDSCAPE CALCULATION

- DEEP SOIL
- LANDSCAPING

DEEP SOIL: 0 SQM (0%)
 LANDSCAPING: 115 SQM (40.78%)

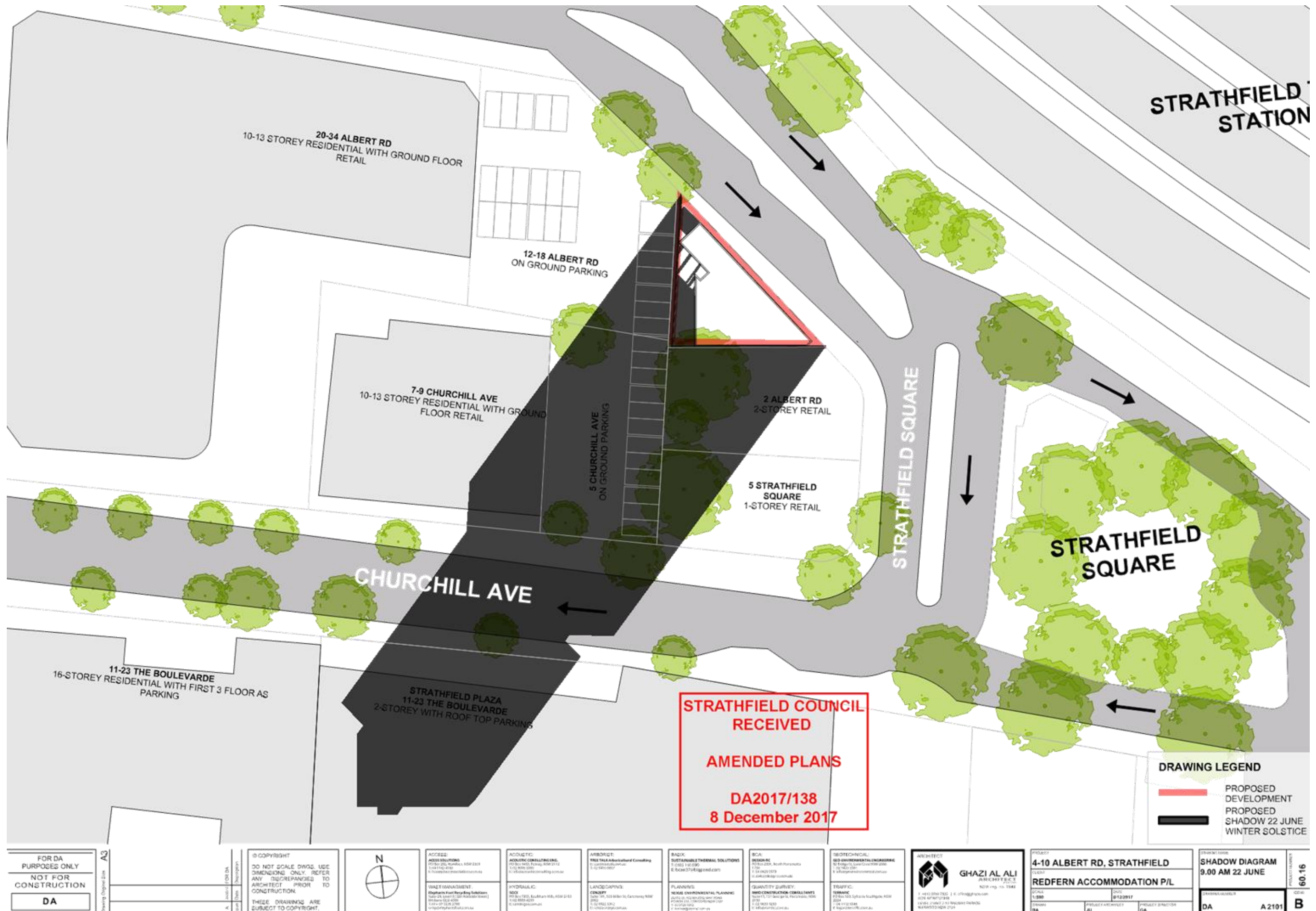
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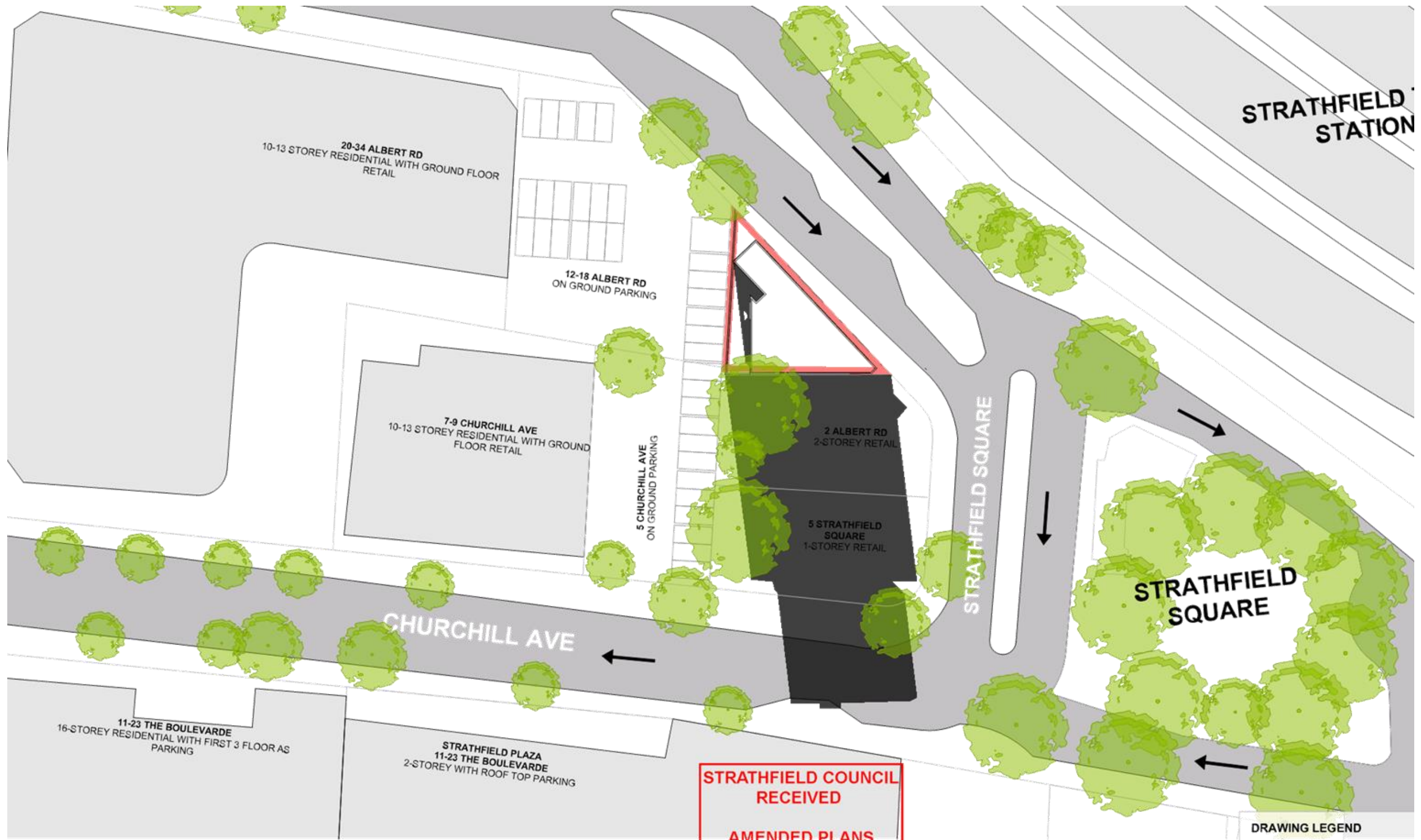
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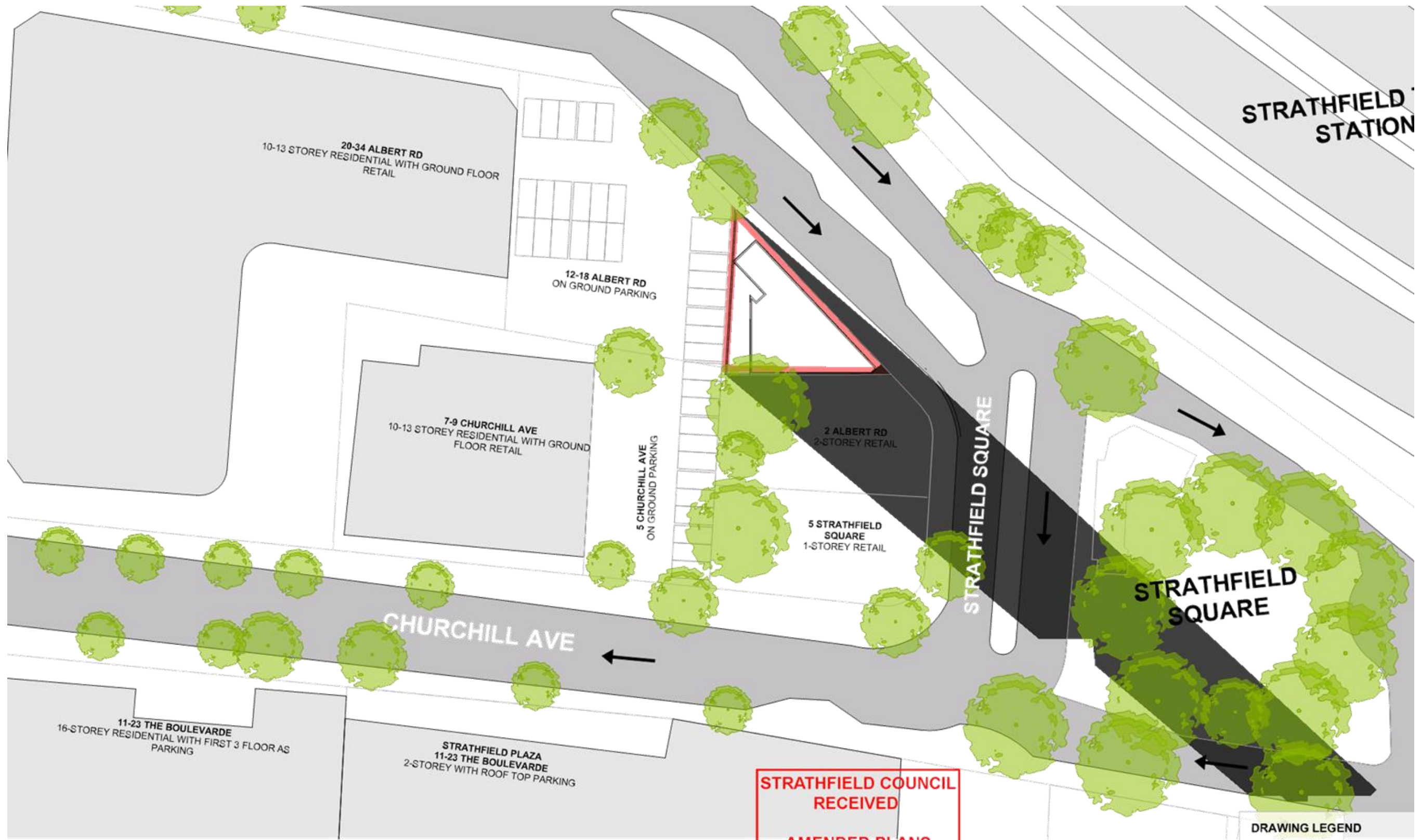
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DRAWING LEGEND

- PROPOSED DEVELOPMENT
- PROPOSED SHADOW 22 JUNE WINTER SOLSTICE

SCALE 1:200 @ A3
 1 2 3 10M

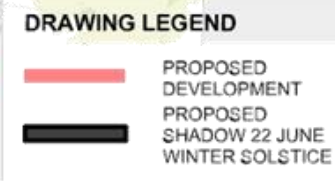
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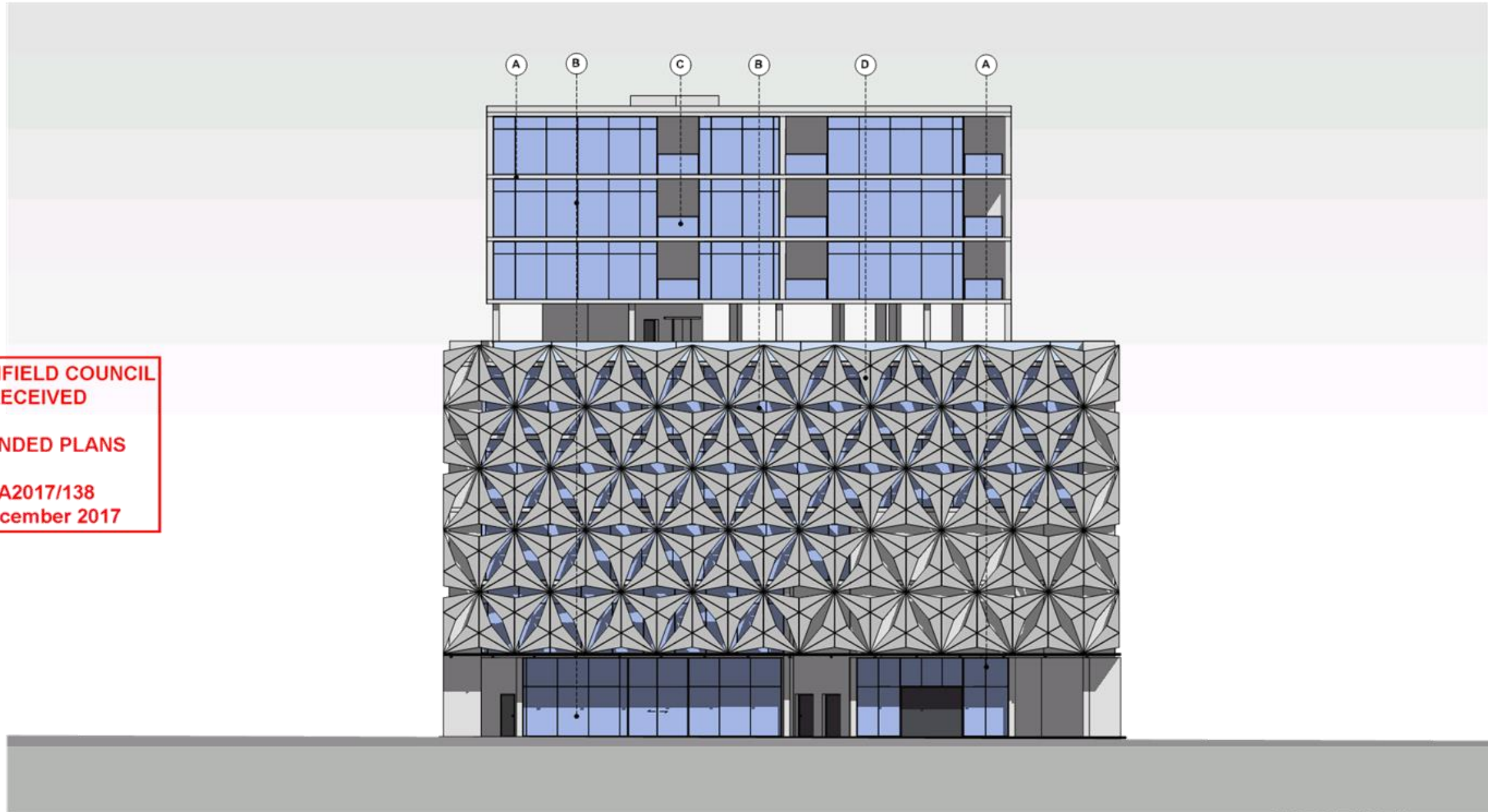
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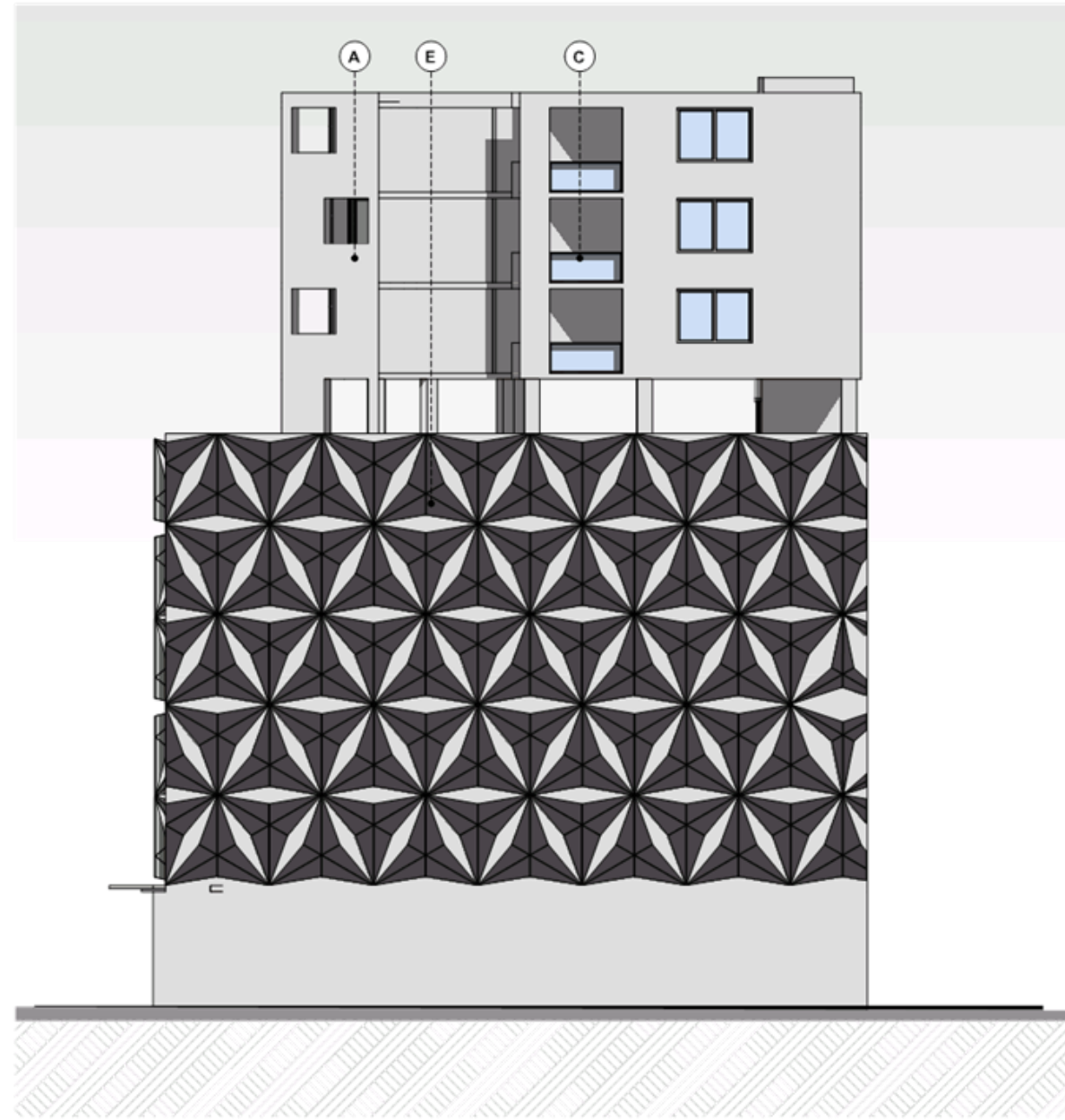
**DA2017/138
8 December 2017**

ELEVATION 01
1:200

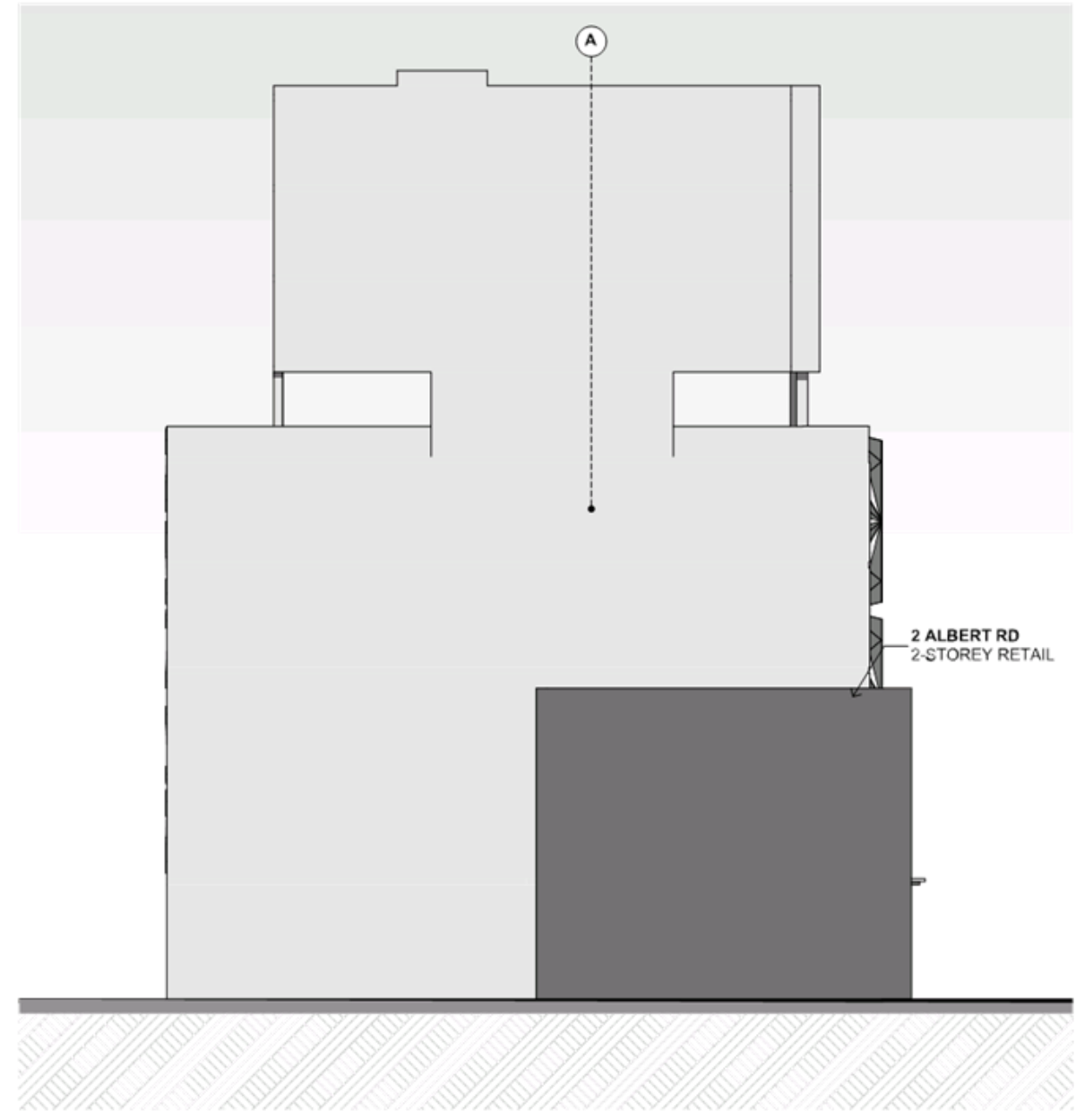
SCALE 1:200 @ A3
1 2 5 10M



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			<p>LANDSCAPE: LANDSCAPE 1/175-201, Waverley, NSW 2021 T: 02 9339 4100 E: helen@accesssolutions.com.au</p>	<p>PLANNING: URBAN ENVIRONMENTAL PLANNING 1/175-201, Waverley, NSW 2021 T: 02 9339 4100 E: helen@accesssolutions.com.au</p>	<p>QUANTITY SURVEY: QUANTITY SURVEY 1/175-201, Waverley, NSW 2021 T: 02 9339 4100 E: helen@accesssolutions.com.au</p>	<p>TRAFFIC: TRAFFIC 1/175-201, Waverley, NSW 2021 T: 02 9339 4100 E: helen@accesssolutions.com.au</p>	<p>PROJECT ARCHITECT: PROJECT ARCHITECT</p>	<p>PROJECT ARCHITECT: PROJECT ARCHITECT</p>				



ELEVATION 02
1:200

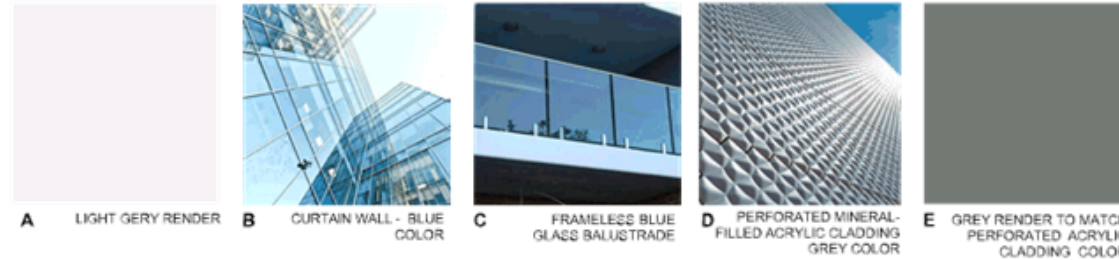


ELEVATION 03
1:200

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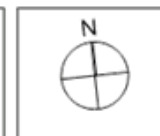
DA2017/138
8 December 2017



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A3
Drawing
A. Area of Work
B. Date
C. Description

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ARCHITECT:
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T: 02 9515 4142
E: info@ghazialali.com.au

PROJECT:
4-10 ALBERT RD, STRATHFIELD
REDFERN ACCOMMODATION P/L
PROJECT ARCHITECT: GH
PROJECT DESIGNER: GA

DRAWING TITLE:
MATERIAL SCHEDULE
DRAWING NUMBER:
DA
PROJECT NUMBER:
A 2202
SCALE:
60:16
DATE:
B

STATEMENT OF ENVIRONMENTAL EFFECTS

DEMOLITION OF EXISTING DEVELOPMENT AND ERECTION OF A
MIXED USE DEVELOPMENT

Nos.4-10 ALBERT ROAD

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STRATHFIELD **DA2017/138
14 September 2017**



STATEMENT OF ENVIRONMENTAL EFFECTS

DEMOLITION OF EXISTING DEVELOPMENT AND ERECTION OF A MIXED USE
DEVELOPMENT

Nos.4-10 ALBERT ROAD

STRATHFIELD

13 September 2017

Prepared by:
Nexus Environmental Planning Pty Ltd
Suite 29, 103 Majors Bay Road
PO Box 212
CONCORD NSW 2137
Tel: (02) 9736 1313
Fax: (02) 9736 1306
Email: kennan@ozemail.com.au

B3239

Table of Contents

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2.	The Site	1
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4.4	Strathfield Development Control Plan No.13 - Strathfield Town Centre	15
5.	Conclusion	21

Attachment 1: Reduced copy of the site survey.

Attachment 2: Reduced copies of plans of the proposed development.

1. INTRODUCTION

Nexus Environmental Planning Pty Ltd has been requested by Redfern Accommodation (**the Applicant**) to prepare a Statement of Environmental Effects (**SEE**) to accompany a Development Application to Strathfield Council (**the Council**) for demolition of the existing development and erection of a mixed use development at Nos.4-10 Albert Road, Strathfield (**the Site**). The location of the Site is shown on **Figure 1**.

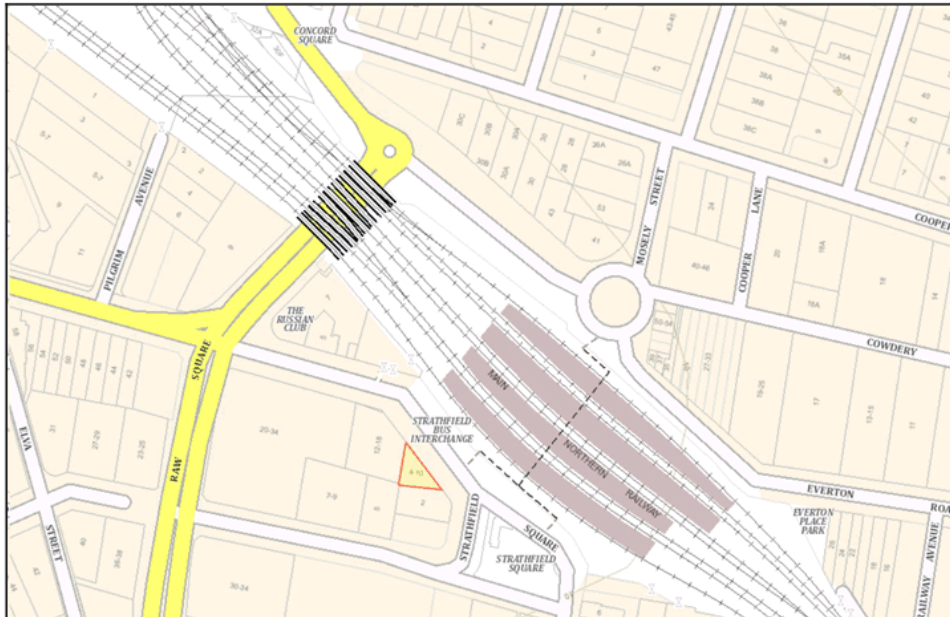


Figure 1: Location of the Site with the Site highlighted in yellow. © SIX Maps

2. THE SITE

The Site has an area of 282m² and is legally defined as:

Lot 1, DP 433232
Nos.4-10 Albert Road
STRATHFIELD

An extract from an aerial photograph of the Site is at **Figure 2**.

A cadastral map of the Site and the surrounding area is at **Figure 3**.

A photograph of the frontage of the Site is at **Photograph 1**.

An extract from the survey of the Site is at **Figure 4**. A copy of the Site survey is at **Attachment 1**.

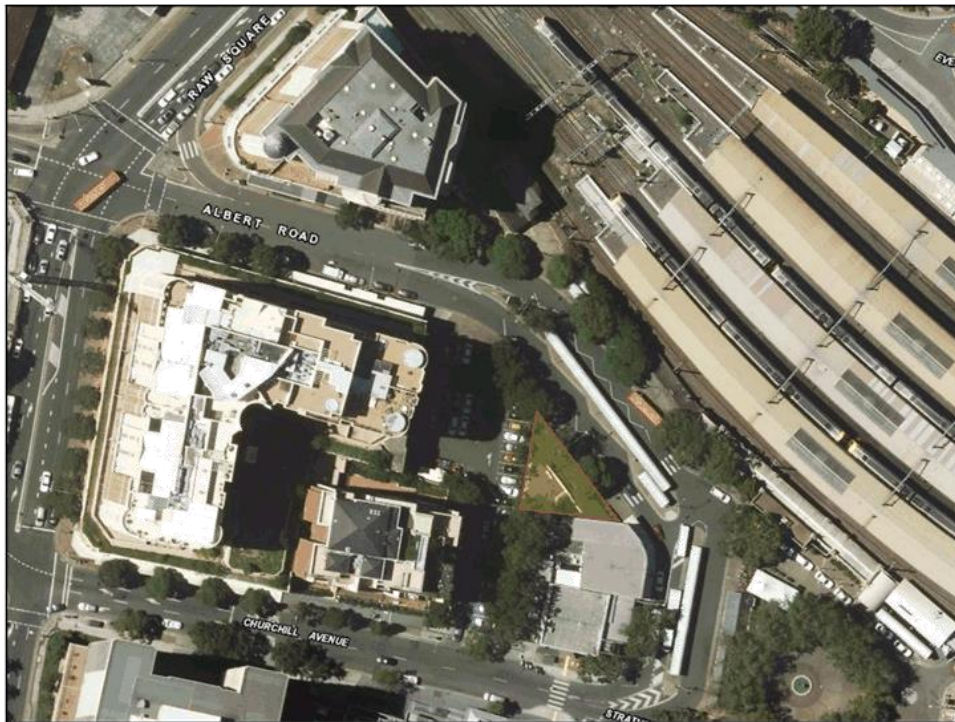


Figure 2: Extract from an aerial photograph with the Site highlighted in yellow. © SIX Maps

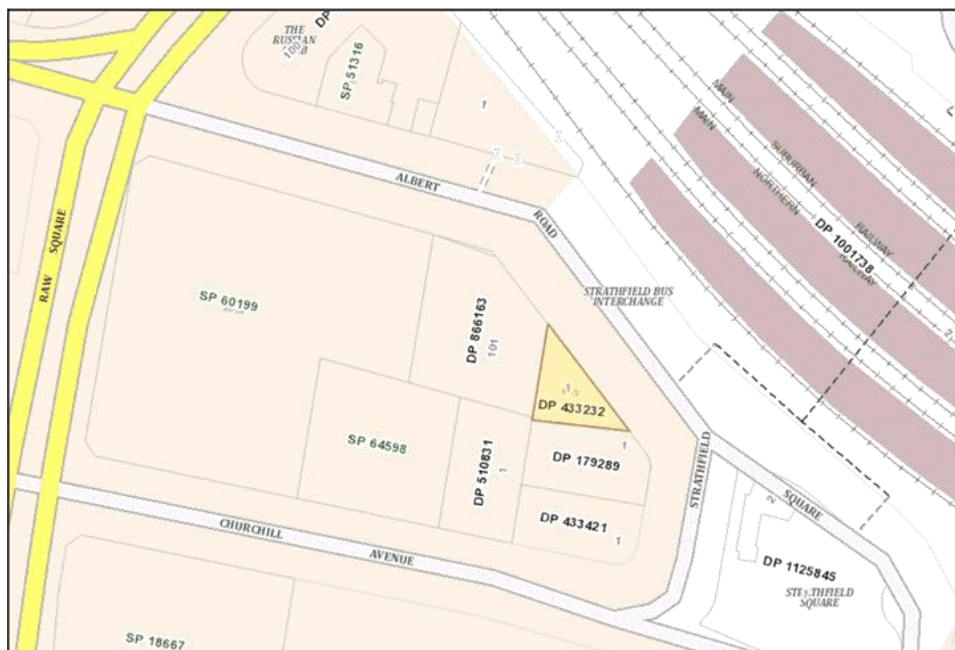


Figure 3: Cadastral map with the Site highlighted in yellow. © SIX Maps

Nexus Environmental Planning Pty Ltd



Photograph 1: Photograph of the Site looking south along Albert Road.

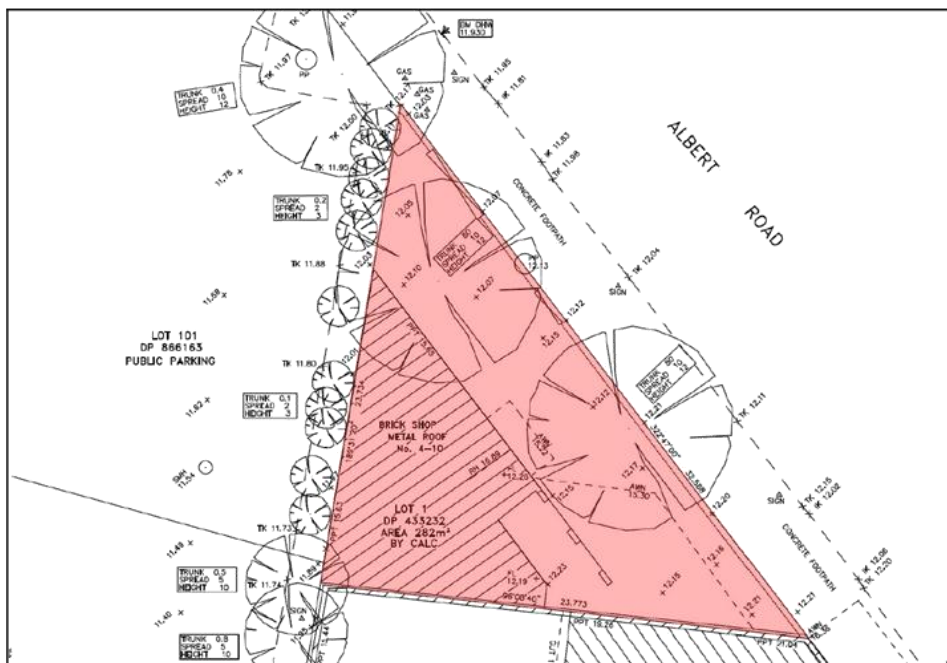


Figure 4: Extract from the survey of the locality with the Site highlighted in red.

The Site is currently occupied by the Pumpkin restaurant.

Opposite the Site in Albert Road is a bus terminal (refer **Photograph 2**), and Strathfield Station.



Photograph 2: Existing bus terminal opposite the Site.

Adjoining development comprises an at grade Council car park and shops/offices.

3. PROPOSED DEVELOPMENT

The proposed development is a "***mixed use development***" which is defined in *Strathfield Local Environmental Plan 2012* as:

mixed use development means a building or place comprising 2 or more different land uses.

The proposed development comprises:

- Commercial development at the ground floor level Albert Road frontage of the Site.
- Office accommodation at Level 2 and Level 3.
- Serviced apartments at Levels 4, 5 and 6.
- Car parking for five (5) vehicles including one (1) disabled car parking space located at the Mezzanine Level and Level 1.
- Car lift, lobby and waste storage areas at Ground Floor Level.

Commercial premises are defined as:

commercial premises means any of the following:

- (a) *business premises,*
- (b) *office premises,*
- (c) *retail premises.*

Serviced apartments are defined as:

serviced apartment means a building (or part of a building) providing self-contained

accommodation to tourists or visitors on a commercial basis and that is regularly serviced or cleaned by the owner or manager of the building or part of the building or the owner's or manager's agents.

The commercial premises component at the Ground Floor Level has an area of 49.77m² at the Albert Road frontage of the Site.

Office space is 419.60m² distributed as follows:

Level 2 - 209.80m²

Level 3 -209.80m².

Table 1 provides a summary of the serviced apartments in the proposed development.

Table 1: Summary of serviced apartments in the proposed development.

	Apartment Type	GFA Area (m ²)	Total
Level 4	4 x Double	123.57	4
Level 5	4 x Double	126.10	4
Level 6	4 x Double	122.84	4
TOTAL		372.51	12

Table 2 provides details of the Gross Floor Area of the individual units.

Table 2: Gross Floor Area of the individual serviced apartments.

Level 4	Level 5	Level 6
401 - 24.85m ²	501 - 26.99m ²	601 - 24.85m ²
402 - 21.23m ²	502 - 24.28m ²	602 - 21.23m ²
403 - 26.06m ²	503 - 23.55m ²	603 - 26.06m ²
404 - 27.34m ²	504 - 27.34m ²	604 - 26.69m ²

Plans of the proposed development have been prepared by Ghazi Al Ali Architect, reduced copies of which are at **Attachment 2**.

The Gross Floor Area of the development is 846m² which results in a Floor Space Ratio of 2.994:1.

The proposal also provides landscaping of 46.01m² (16.3% of the Site area) located at Level 4.

The height of the proposed development is 25.5 metres.

Access to the proposed development is provided for pedestrians from the Albert Road frontage of the Site and then by way of a lift to all levels of the proposed development.

Vehicular access is gained by way of a vehicular access point in Albert Road and by vehicular lift

to the car parking on the Mezzanine Level and Level 1.

4. ENVIRONMENTAL IMPACT OF PROPOSED DEVELOPMENT

This section provides an analysis of the proposed development in terms of its impact on the environment. Specific reference is made to the relevant heads of consideration contained in Section 79C of the *Environmental Planning and Assessment Act 1979*. The relevant Section 79C head is shown in italics with comments as appropriate.

Section 79C(1)(a)(i) (a) *the provisions of:-*
(i) *any environmental planning instrument.*

4.1 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 has established a scheme to encourage sustainable residential development under which:

- (a) *an application for a development consent, complying development certificate or construction certificate in relation to certain kinds of residential development must be accompanied by a list of commitments by the applicant as to the manner in which the development will be carried out, and*
- (b) *the carrying out of residential development pursuant to the resulting development consent, complying development certificate or construction certificate will be subject to a condition requiring such commitments to be fulfilled.*

BASIX Certificate No.820762M has been issued for the proposed development, copies of which have been submitted with the development application.

4.2 State Environmental Planning Policy No.55 - Remediation of Land

State Environmental Planning Policy No.55 - Remediation of Land (SEPP 55) aims:

.... to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment.

Clause 7 of SEPP 55 states:

7. (1) *A consent authority must not consent to the carrying out of any development on land unless:*
- (a) *it has considered whether the land is contaminated, and*
 - (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
 - (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*
- (2) *Before determining an application for consent to carry out development that would involve a change of use on any of the land specified in subclause (4), the consent authority must consider a report specifying the findings of a preliminary investigation of the land concerned carried out in accordance with the contaminated land planning guidelines.*
- (3) *The applicant for development consent must carry out the investigation required by subclause (2) and must provide a report on it to the consent authority. The consent authority may require the applicant to carry out, and provide a report on, a detailed investigation (as referred to in the contaminated land planning guidelines) if it considers that the findings of the preliminary investigation warrant such an investigation.*
- (4) *The land concerned is:*
- (a) *land that is within an investigation area,*
 - (b) *land on which development for a purpose referred to in Table 1 to the contaminated land planning guidelines is being, or is known to have been, carried out,*
 - (c) *to the extent to which it is proposed to carry out development on it for residential, educational, recreational or child care purposes, or for the purposes of a hospital land:*
 - (i) *in relation to which there is no knowledge (or incomplete knowledge) as to whether development for a purpose referred to in Table 1 to the contaminated land planning guidelines has been carried out, and*
 - (ii) *on which it would have been lawful to carry out such development during any period in respect of which there is no knowledge (or incomplete knowledge).*

An extract from the 1943 aerial photograph of the locality (refer **Figure 5**) shows that the Site

was used as parkland/open space with the surrounding locality being residential and parkland. The Site and the locality has evolved since that time to its present largely retail/commercial land uses. It is unlikely that any land use has occurred on the Site to result in the land being contaminated.

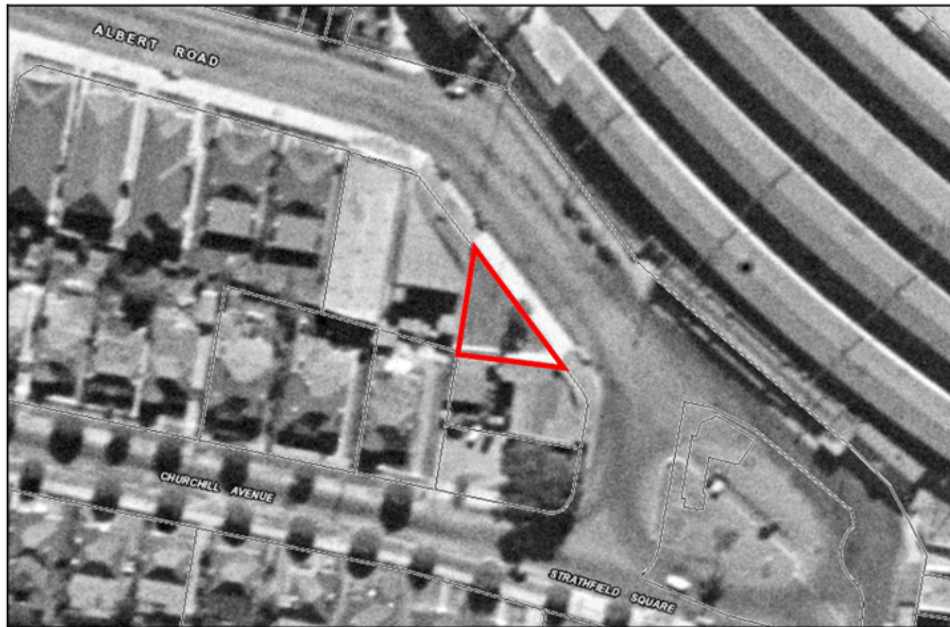


Figure 5: Extract from the 1943 aerial photograph of the locality with the Site outlined in red. © SIX Maps

Notwithstanding, a Stage 1 Preliminary Site Investigation (**PSI**) has been conducted by Geo-Environmental Engineering, a copy of which has been submitted with the Development Application.

The scope of the PSI was:

- A review of the environmental and physical setting in which the Site lies, including geology, hydrogeology and topography.
- A review of the history of the Site using available records including historical land titles and historical aerial photographs.
- A detailed Site inspection for potential sources of contamination.
- Field investigations including:
 - The drilling of three boreholes (BH4 to BH6) at readily accessible areas of the Site, and
 - Sampling of soil from the boreholes.
- Laboratory analysis of selected soil samples for a broad suite of potential contaminants.

The conclusions of the PSI are:

The review of the site’s history revealed no evidence of significant contaminating activities such as those listed in Table 1 of SEPP 55 (reference 2). The main potential for contamination is the presence of fill material beneath the site. When sourced from an unknown origin, the quality of the fill is also unknown and potentially contaminated. The limited sampling and analysis program, which targeted fill material at accessible locations across the site, identified no significant contamination. In this regard, the site is currently considered to be suitable for the proposed development and associated land-use.

4.3 Strathfield Local Environmental Plan 2012 (LEP 2012)

The Site is zoned B3 Commercial Core pursuant to LEP 2012.

An extract from the LEP 2012 Map is at **Figure 5**.

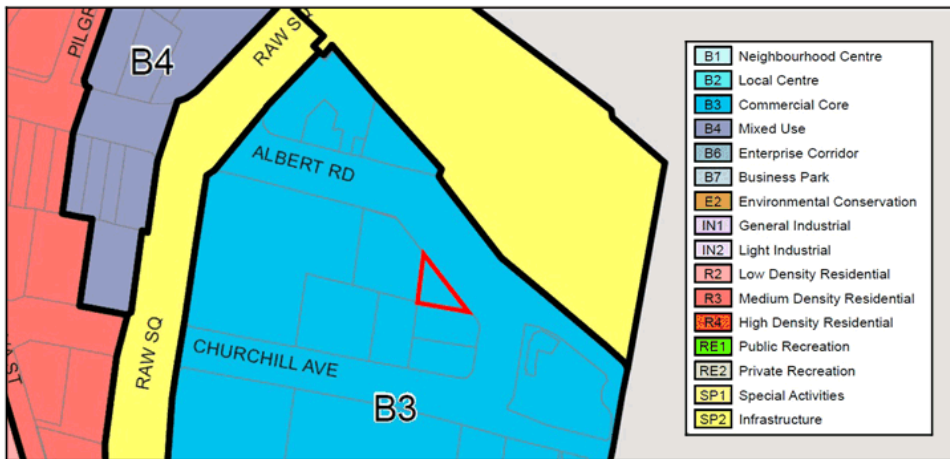


Figure 5: Extract from the LEP 2012 Zone Map with the Site outlined in red.

The proposed development is for demolition and construction of a mixed use development which is permissible, with the consent of the Council, in the zone.

Sub-clause 2.3(2) of LEP 2012 states:

- (2) *The consent authority must have regard to the objectives for development in a zone when determining a development application in respect of land within the zone.*

The objectives of the B3 Commercial Core zone are:

- *To provide a wide range of retail, business, office, entertainment, community and other suitable land uses that serve the needs of the local and wider*

community.

- To encourage appropriate employment opportunities in accessible locations.
- To maximise public transport patronage and encourage walking and cycling.

The proposed development would:

- provide for the temporary housing needs of tourists and visitors to Sydney in the form of serviced apartments, and
- facilitate development which is commercial and/or retail which would serve the needs of visitors to both the proposed development and the surrounding area.
- provide for commercial and serviced apartment development immediately adjoining a public transport hub.

The proposal would be consistent with the objectives of the B3 Commercial Core zone.

Clause 4.3 deals with the height of buildings and states:

- (1) *The objectives of this clause are as follows:*
 - (a) *to ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area,*
 - (b) *to encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area,*
 - (c) *to achieve a diversity of small and large development options.*
- (2) *The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.*

The Height of Buildings Map of LEP 2012 indicates that a maximum height of 45 metres applies to the Site.

The plans of the proposed development (refer **Attachment 2**) indicate that the proposed development, being 25.5 metres in height, fits comfortably within the maximum 45 metre height limit.

Clause 4.4 deals with floor space ratio and states:

- (1) *The objectives of this clause are as follows:*
 - (a) *to ensure that dwellings are in keeping with the built form character of the local area,*
 - (b) *to provide consistency in the bulk and scale of new dwellings in residential areas,*

- (c) *to minimise the impact of new development on the amenity of adjoining properties,*
 - (d) *to minimise the impact of development on heritage conservation areas and heritage items,*
 - (e) *in relation to Strathfield Town Centre:*
 - (i) *to encourage consolidation and a sustainable integrated land use and transport development around key public transport infrastructure, and*
 - (ii) *to provide space for the strategic implementation of economic, social and cultural goals that create an active, lively and people-orientated development,*
 - (f) *in relation to Parramatta Road Corridor—to encourage a sustainable consolidation pattern that optimises floor space capacity in the corridor.*
- (2) *The maximum floor space ratio for a building on any land is not to exceed the floor space ratio shown for the land on the Floor Space Ratio Map.*

The maximum floor space ratio for the Site is 3:1 with bonus floor space ratio if the site area is a minimum 1,500m². Amalgamation of the Site with adjoining development is discussed below with the conclusion that the area of the Site cannot meet the 1,500m² minimum lot size to take advantage of the bonus floor space ratio. The proposed development, with a floor space ratio of 2.9941, complies with the 3:1 floor space ratio development standard for the Site.

Clause 6.1 deals with acid sulfate soils. The Site is classified as containing Class 5 acid sulfate soils. The Site is not located within 500 metres of Class 1, 2, 3 or 4 acid sulfate soils and, as such, there is no requirement for further work relating to acid sulfate soils.

Clause 6.4 deals with essential services and states:

- (1) *Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the proposed development are available or that adequate arrangements have been made to make them available when required:*
- (a) *the supply of water,*
 - (b) *the supply of electricity,*
 - (c) *the disposal and management of sewage,*
 - (d) *the disposal and recycling of waste,*
 - (e) *stormwater drainage or on-site conservation,*
 - (f) *suitable vehicle access.*

There is adequate water and electricity supply to service the proposed development and the Site is connected to a reticulated sewerage system. Consultant reports have been submitted with the application which deal with the issues of stormwater and suitable road access to the proposed development. A waste management plan has been submitted with the development application.

Clause 6.7 deals with Design Excellence and states:

- (1) *The objective of this clause is to deliver the highest standard of architectural and urban design.*
- (2) *This clause applies to development involving the erection of a new building or external alterations to an existing building on land identified as "Area 2" on the Floor Space Ratio Map.*
- (3) *Development consent must not be granted for development to which this clause applies unless the consent authority considers that the development exhibits design excellence.*
- (4) *In considering whether the development exhibits design excellence, the consent authority must be satisfied that the applicant has demonstrated and documented that the proposal:*
 - (a) *has a high standard of architectural, landscape and urban design, will be constructed with quality materials and has a high standard of detailing that reflects the building type, location and the surrounding buildings, and*
 - (b) *will significantly improve the quality and amenity of the public domain through the form, external appearance and ground level detailing of the development that addresses any heritage or streetscape issues, and*
 - (c) *will not detrimentally impact on the amenity of the surrounding area, nor on any view corridors, vistas or landmark locations, and*
 - (d) *will not detrimentally impact on pedestrian movements and experience, but will reinforce the public transport interchange as the focal point of movement for the area and facilitate the ease of such movement, and*
 - (e) *is designed to encourage an integrated land use mix that reflects the desired future high quality town centre that supports a vibrant economic location, a lively social and community hub, and a diversity of public open spaces at the ground level, as well as the roof and other levels of the building, and*
 - (f) *includes building massing, modulation and bulk that is appropriate in the context of surrounding buildings in terms of its separation, setback, building street height and amenity and its relationship to such buildings, and*

- (g) *has achieved a high level of ecologically sustainable design, including low-energy or passive design, and minimises environmental impacts such as overshadowing, wind effects and reflectivity, and*
 - (h) *supports designed sustainable urban mobility through a high quality pedestrian environment, high quality provision for cycling infrastructure, high quality service access, circulation and vehicular design.*
- (5) *Development consent must not be granted to the following development on land to which this clause applies unless an architectural design competition that is consistent with the Design Excellence Guidelines has been held in relation to the development:*
 - (a) *development that is, or will be, higher than 30 metres in height,*
 - (b) *development having a capital value of more than \$20,000,000,*
 - (c) *development for which the applicant has chosen to have such a competition to improve the quality of design offered to the community.*
- (6) *Subclause (5) does not apply if the consent authority is satisfied that the development:*
 - (a) *only involves alterations or additions to an existing building, and*
 - (b) *does not increase either the height or gross floor space of the existing building by more than 10%, and*
 - (c) *does not have an adverse impact on any adjoining building or the adjoining public domain, and*
 - (d) *does not significantly alter any aspect of the building when viewed from a public place.*
- (7) *In determining whether to grant consent to the development application, the consent authority must take into account the results of the architectural design competition.*
- (8) *In this clause:*

architectural design competition means a competitive process conducted in accordance with the Design Excellence Guidelines.

Design Excellence Guidelines means the Design Excellence Guidelines adopted by the Council before the commencement of this Plan, or if none have been adopted by the Council, the Design Excellence Guidelines issued by the Director-General and in force as at the commencement of this Plan.

The Site is located in "Area 2" on the Floor Space Ratio Map. Sub-clauses (5), (6), (7) and (8)

above do not apply due to the proposed development being less than 30 metres in height with a capital value less than \$20 million.

With regard to design excellence, the proposed development:

- although not be reflective of the type of buildings surrounding the Site, displays a high standard of architecture, landscaping and urban design and, as shown in the materials schedule, will be developed using quality materials.
- will significantly improve the existing quality and amenity of the public domain by substituting the existing anomalous development on the Site with a development form which will provide for a more appropriate external appearance than that which is current available on the Site.
- will not have any adverse impact on the amenity of the surrounding area, view corridors, vistas or landmarks.
- will significantly reinforce the public transport interchange provided by the Strathfield Town Centre because the development will attract commercial and short term residential uses to the centre.
- will encourage a mix of land uses which will attract new commercial development to the locality while at the same time allowing the establishment of serviced apartments which will attract short term residential occupancy with commensurate use of associated facilities to boost the economy of the locality.
- would provide for a development which achieves massing and modulation consistent with the 3:1 floor space ratio which applies to the Site. The proposed development would integrate with any redevelopment of adjoining land.
- would provide for a sustainable development in accordance with the BASIX Certificate which has been issued for the development.

There are no other provisions of LEP 2012 which are considered relevant to the proposed development.

Section 79C(1)(a)(ii)

(a) *the provisions of:*

(ii) *any proposed instrument.*

There are no proposed instruments affecting the proposed development of which the writer is aware.

Section 79C(1)(a)(iii)

(a) *the provisions of:*

(iii) *any development control plan.*

4.4 Strathfield Development Control Plan No.13 - Strathfield Town Centre

The Strathfield Development Control Plan No.13 - Strathfield Town Centre (**DCP 13**) is used by Council to assess development applications submitted under the Strathfield LEP 2012 which are located in the Strathfield Town Centre.

In assessing a development application, Council is to have regard to **Sub-clause 79C(3A)** which states:

(3A) **Development control plans**

If a development control plan contains provisions that relate to the development that is the subject of a development application, the consent authority:

- (a) *if those provisions set standards with respect to an aspect of the development and the development application complies with those standards-is not to require more onerous standards with respect to that aspect of the development, and*
- (b) *if those provisions set standards with respect to an aspect of the development and the development application does not comply with those standards-is to be flexible in applying those provisions and allow reasonable alternative solutions that achieve the objects of those standards for dealing with that aspect of the development, and*
- (c) *may consider those provisions only in connection with the assessment of that development application.*

In this subsection, standards include performance criteria.

The principal objectives of DCP 13 are:

- a) *To provide guidelines for future development.*
- b) *To strengthen the Strathfield Town Centre's role as the municipality's major retail and commercial centre.*
- c) *To facilitate and support the existing retail core of the Centre.*
- d) *To improve upon the Centre's form, function and amenity wherever possible.*
- e) *To conserve, complement and build upon the Centre's remaining heritage attributes.*
- f) *To ensure that all new development considers and respects existing built form and amenity levels, both in the Centre itself and surrounding areas.*

- g) *To recognise and facilitate the Centre's secondary function as a transport interchange.*

The special objectives of DCP 13 are:

- a) *To accommodate or modify new development in order to respect existing Centre elements and strengthen Centre function.*
- b) *To achieve a high quality of design of the built environment.*
- c) *To enhance the street environment and general visual appearance of the Centre.*
- d) *To promote buildings with human scale, detailing and materials.*
- e) *To encourage sympathetic infill development and restoration of original detail whenever possible.*
- f) *To encourage improvement of existing building performance or appearance where redevelopment is not achievable.*
- g) *To ensure development complements Council improvements within public road reservations.*
- h) *To protect buildings and places of heritage significance (not only statutory items under LEP30) and ensure that new development complements rather than detracts from that significance.*
- i) *To provide sufficient and appropriate facilities for buses and taxis.*
- j) *To improve pedestrian access, movement and amenity to and within the Town centre.*
- k) *To provide access for disabled.*
- l) *To ensure that new development provides for sufficient car parking within the Centre to accommodate any likely future demand.*
- m) *To ensure adequate provision of loading, service and emergency vehicle access.*
- n) *To encourage more streetfront retail development within the Centre of a type providing a service to the public.*
- o) *To encourage diversity of use, pedestrian activity and vibrancy within the Centre including its public spaces.*
- p) *To ensure appropriate levels of sunlight access to public spaces and protection from adverse elements such as wind, rain, noise and fumes.*
- q) *To ensure any development of railway land complies with the objectives of this Plan.*

- r) To ensure that all new developments comply with the Sydney Electricity policy for undergrounding or bundles overhead cabling of electricity services.

Part 4 of DCP 13 deals with development controls over land bounded by Albert Road, Raw Square, Churchill Avenue and Strathfield Square. While many of the controls of Part 4 of DCP 13 remain relevant to the current planning for the area, many controls have been developed in conjunction with Local Environmental Plans which have been superseded by LEP 2012 and relate to Section 90 of the *Environmental Planning and Assessment Act 1979* which been repealed and replaced by Section 79C of the Act.

The controls in Part 4 have been developed on the general assumption that consolidation of land in this part of the Strathfield Town Centre would occur and that large scale development in the form of tower development would result.

The potential amalgamation of land in the locality is limited in that there is not a significant number of options for amalgamation, those being:

Option 1

Amalgamation of the Site with Nos.12-18 Albert Road, No.5 Churchill Avenue, No.2 Albert Road and No.5 Strathfield Square.

Option 2

Development the Site in isolation which would leave Nos.12-18 Albert Road, No.5 Churchill Avenue, No.2 Albert Road and No.5 Strathfield Square to be developed either individually or as an amalgamated parcel.

The above options are shown in **Figure 6**.

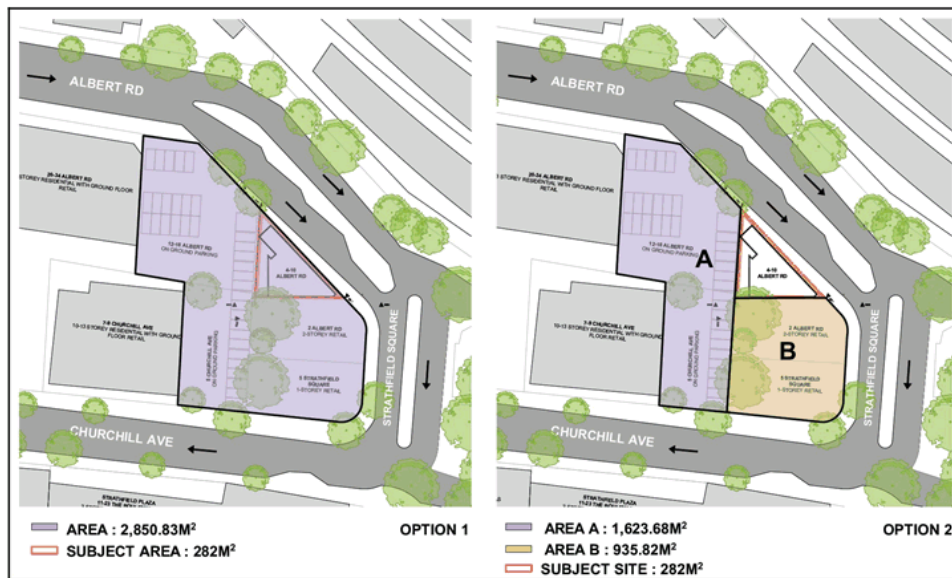


Figure 6: Plan showing Option 1 and Option 2 for amalgamation of the Site with adjoining land.

The Applicant has advised that negotiations have been undertaken with the owners of No.2 Albert Road and No.5 Strathfield Square with the view to amalgamation to form one development lot, however, the landowners have not been willing to entertain such an amalgamation. Notwithstanding, even if such an amalgamation were to occur, the bonus floor space ratio provision of LEP 2012 would not apply as the total parcel would be less than 1,500m² in area.

Advice from Council is that amalgamation of Nos.12-18 Albert Road and No.5 Churchill Avenue (which are owned by the Council) to form a development site shown in Option 1 or amalgamation with No.2 Albert Road and No.5 Strathfield Square would not be considered.

As such, the only option currently available to the Applicant is to submit the subject development application for the Site in isolation.

Although the development of the Site in isolation does not accord with a number of the control elements of Part 4 of DCP 13, the merits of the proposed development should be assessed having regard to the s.79C(3A)(b) which states:

.... if those provisions set standards with respect to an aspect of the development and the development application does not comply with those standards- [the consent authority] is to be flexible in applying those provisions and allow reasonable alternative solutions that achieve the objects of those standards for dealing with that aspect of the development.

While not achieving the maximum development potential as far as height and floor space ratio are concerned, the proposal has been designed to account for the isolated nature of the Site and has achieved a design which is in keeping with the desired future character of the Strathfield Town Centre. As such, there is sufficient scope to approve the development pursuant to s.79C(3A)(b).

Section 79C(1)(a)(iiia)

(a) the provisions of:

(iiia) any planning agreement or draft planning agreement.

There are no planning agreements or draft planning agreements relating to the proposed development.

Section 79C(1)(a)(iv)

(a) the provisions of:

(iv) the regulations.

There are no specific requirements of the *Environmental Planning and Assessment Regulation 2000* which relate to this development application.

Section 79C(1)(a)(v)

(a) the provisions of:

(v) *any coastal management plan.*

Not applicable.

Section 79C(1)(b)

(b) *the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.*

Impacts to the natural and built environment

The proposed development would have no adverse impact to the built environment.

There will, however, be a need for demolition activities to be undertaken as part of the proposed development. Those activities would be carried out in accordance with the provisions of *Australian Standard AS 2601 - 1991: The Demolition of Structures*.

Social Impacts

There would be a significant and positive social impact resulting from the proposed development in that new commercial development and short term residential development would be constructed, both of which would be a positive for the social environment and assist in the provision of development which would enhance the special quality of the Strathfield Town Centre.

Economic Impact

The economic impact associated with the proposed development would be that employment opportunities would be available during both the demolition of the existing development on the Site and the construction of the proposed development. Employment opportunities would also be available associated with the commercial/office tenancies.

The establishment of serviced apartments on the Site would also assist in bolstering the local economy through employment opportunities associated with the serviced apartments and also from the spending by the short term residents in the locality.

Traffic and Parking Impacts

An assessment of the impact the proposed development would have in terms of traffic and parking has been undertaken by TRAFFIX and provided with the development application. The conclusion of the TRAFFIX report is:

- *The subject proposal seeks approval to construct a mixed-use development containing 12 serviced apartments, 438m² gross floor area of office space and 47m² of retail space, with access to Albert Road.*
- *On-site parking for the proposed development has been assessed with respect for the Strathfield Development Control Plan 2005, with a collective requirement*

for 28 parking spaces. In response, provision of five (5) parking spaces has been made, with two (2) spaces allocated for use by the serviced apartment component and the remaining three (3) spaces allocated for commercial use.

- The shortfall in parking is considered acceptable given the excellent availability of public transport services and public parking situated directly adjacent to the site.
- The traffic generation of the proposed development has been assessed as a net increase over existing conditions, which is for an additional nine (9) vehicle trips per hour during the AM peak period and three (3) vehicle trips per hour during the PM peak period. These volumes are expected to have minimal impact on the surrounding road network.
- The site is considered to be severely constrained and will not physically allow for basement ramps or adequate aisle widths. In this regard, proposed car lift and turntable installations have been tested with a swept path analysis with the internal design of the car park assessed to operate satisfactorily in accordance with AS2890.

In light of the above, the proposed development is supported on traffic planning grounds and will operate satisfactorily.

Section 79C(1)(c) (c) the suitability of the site for the development.

The Site is within and very small section of the B3 Commercial Core zone where the existing predominant built form is local retail/commercial development and associated Council owned car parking. The planning controls clearly envisage a change in the development form for the Site and the other small sections of the B3 Commercial Core zone.

The proposed development is permitted in the zone and the Site is suitable for the proposed development.

Section 79C(1)(d) (d) any submissions made.

Not applicable.

Section 79C(1)(e) (e) the public interest.

The public interest is an overarching requirement, which includes the consideration of matters discussed in this SEE. Implicit to the public interest is the achievement of future built outcomes adequately responding to and respecting the future desired outcomes expressed in environmental planning instruments and development control plans.

The proposed development is considered to have satisfactorily addressed Council's criteria and would provide a development outcome that, on balance, would result in a positive impact for the community.

The proposed development would have negligible impact on the environment and would be consistent with the envisaged future character of the area.

Accordingly, it is considered that the approval of the proposal would be in the public interest.

5. CONCLUSION

It is proposed to demolish the existing development on the Site and erect a mixed use development comprising of retail/commercial tenancies and serviced apartments.

It has been demonstrated that the proposal would have no unacceptable impact to the environment of the Site.

The Site is located within the B3 Commercial Core zone and the proposed development is permitted with the consent of the Council.

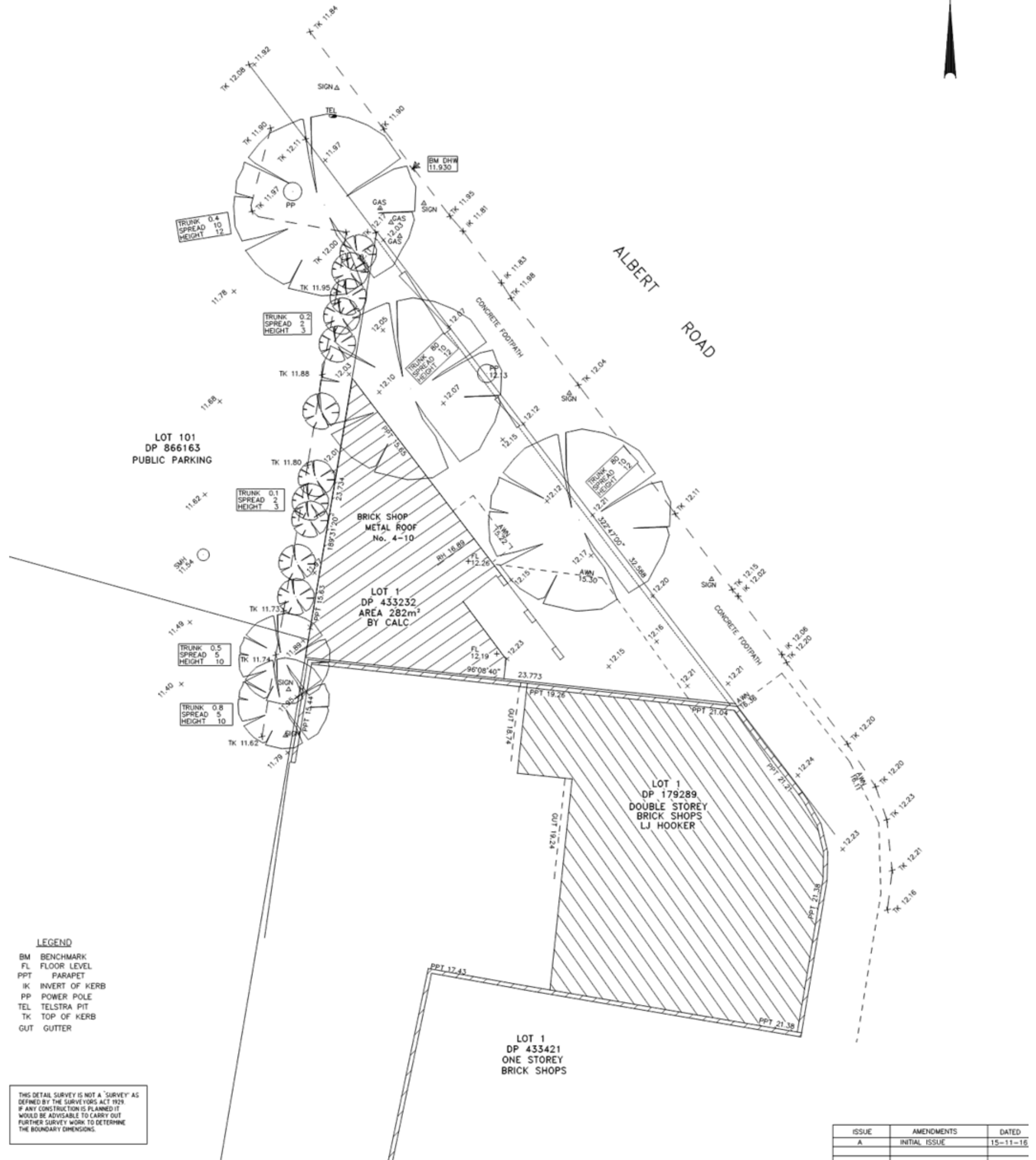
The development has planning merit and should be approved by the Council.

Attachment 1

Reduced copy of the site survey

A1

DETAIL PLAN



THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYORS ACT 1923. IF ANY CONSTRUCTION IS PLANNED IT WOULD BE ADVISABLE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

CitiSurv Pty Ltd
 ABN 32 122 758 276
 CONSULTING SURVEYORS
 35/42 SWAN AVENUE STRATHFIELD, 2135
 PHONE: 9764 5880 FAX: 9764 5881
 E-mail: info@citisurv.com.au

SCALE 1:100	SHEET 1 OF 1	CLIENT REDFERN ACCOMODATION	AHD ORIGIN SSM 118121 RL 11.686 DATED 11-11-16	PLAN DETAIL SURVEY	LGA STRATHFIELD	TITLE LOT 1 DP 433232
DATE OF SURVEY 12-11-2016	PLOT FILE 10315-PL0T			SITE 4-10 ALBERT ROAD STRATHFIELD NSW	PARISH CONCORD	COUNTY CUMBERLAND

ISSUE	AMENDMENTS	DATED
A	INITIAL ISSUE	15-11-16

NOTES
 1. BOUNDARIES NOT SURVEYED.
 2. AREAS & DIMENSIONS COMPILED FROM PLANS OBTAINED FROM THE LAND TITLES OFFICE.
 3. TREE SYMBOLS ARE TO APPROXIMATE SCALE FOR TRUNK & CANOPY SPREAD.
 4. ALL OTHER SYMBOLS ARE NOT TO SCALE AND ARE DIAGRAMMATIC ONLY.
 5. NO SERVICES SEARCH HAS BEEN UNDERTAKEN.
 6. ONLY VISIBLE ABOVE GROUND SERVICES HAVE BEEN LOCATED.
 7. ALL KERB LEVELS ARE ON THE TOP OF KERB UNLESS OTHERWISE STATED.
 8. PLAN IS ACCURATE TO PLOT SCALE ONLY.
 9. PLAN IS TO BE USED FOR DETAIL PURPOSES ONLY.

Attachment 2

Reduced copies of the development plans

DRAWING SCHEDULE

- A 0000 TITLE PAGE
- A 0001 GENERAL NOTES / BASIX COMMITMENTS
- A 0002 GENERAL NOTES / BASIX COMMITMENTS
- A 0020 UNIT SCHEDULE

- A 1000 SITE ANALYSIS
- A 1010 SITE PLAN
- A 1020 FUTURE CONTEXT / SITE AMALGAMATION
- A 1050 STREETScape ANALYSIS

- A 1100 SURVEY PLAN
- A 1110 DEMOLITION PLAN

- A 1200 GROUND FLOOR PLAN
- A 1201 MEZZANINE
- A 1202 LEVEL 01
- A 1203 LEVEL 02
- A 1204 LEVEL 03
- A 1205 LEVEL 04
- A 1206 LEVEL 05
- A 1207 LEVEL 06
- A 1208 ROOF PLAN

- A 1301 ELEVATION 01
- A 1302 ELEVATION 02
- A 1303 ELEVATION 03

- A 1401 SECTION AA
- A 1402 SECTION BB

- A 2001 GFA CALCULATION
- A 2010 SOLAR ACCESS DIAGRAM 2D
- A 2011 SOLAR ACCESS DIAGRAM 3D
- A 2020 CROSS-VENTILATION DIAGRAM 2D
- A 2030 LANDSCAPE CALCULATION

- A 2101 SHADOW DIAGRAM 9AM 21 JUNE
- A 2102 SHADOW DIAGRAM 12PM 21 JUNE
- A 2103 SHADOW DIAGRAM 3PM 21 JUNE

- A 2201 MATERIAL SCHEDULE
- A 2202 MATERIAL SCHEDULE

FSR

SITE AREA: 282 m²
 PERMISSIBLE FSR: 3:1
 PERMISSIBLE GFA: 846 m²

GFA: 844.34
 TOTAL FSR: 2.994:1

UNIT MIX

UNITS TOTAL: 12 SERVICED APARTMENTS
 OFFICES: 2
 COMMERCIAL: 1



T. +612 9744 7025 | E. office@ghazia.com
 ACN: 67167121848
 LEVEL 2 UNIT 2
 14 RAILWAY PARADE
 BURWOOD NSW 2134



GHAZI AL ALI
 ARCHITECT
 PTY LTD
 NSW reg. no. 7542

PROPOSED MIXED-USE DEVELOPMENT
 4-10 Albert Road
 Strathfield



Building Sustainability Index www.basix.nsw.gov.au

Project summary table with columns for Project name, Street address, Local Government Area, etc.

This is not a valid certificate

Version: 2.1 (02/06/2016)

Page: 1/13

Description of project

Table with columns for Project address, Common area landscape, Assessor details, Project type, Site details, and Project score.

This is not a valid certificate

Version: 2.1 (02/06/2016)

Page: 2/13

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Building 1, 12 dwellings, 8 storeys above ground

Table with columns for Dwelling no., No. of bedrooms, No. of bathrooms, etc., for multiple dwellings.

This is not a valid certificate

Version: 2.1 (02/06/2016)

Page: 3/13

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of unit building - Building 1

Table with columns for Common area, Floor area (m²), Common area, Floor area (m²), etc.

Common areas of the development (non-building specific)

Table with columns for Common area, Floor area (m²)

This is not a valid certificate

Version: 2.1 (02/06/2016)

Page: 4/13

Schedule of BASIX commitments

- 1. Commitments for Residential flat buildings - Building 1
(a) Dwellings
(i) Water
(ii) Energy
(iii) Thermal Comfort
(b) Common areas and central systems/facilities
(i) Water
(ii) Energy
2. Commitments for multi-dwelling houses
3. Commitments for single dwelling houses
4. Commitments for common areas and central systems/facilities for the development (non-building specific)
(i) Water
(ii) Energy

This is not a valid certificate

Version: 2.1 (02/06/2016)

Page: 5/13

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or occupancy development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building 1

Table with columns for (a) Dwellings, (i) Water, (ii) Energy, (iii) Thermal Comfort, and (iv) Alternative water supply systems.

This is not a valid certificate

Version: 2.1 (02/06/2016)

Page: 6/13

Table with columns for Dwelling no., Alternative water supply systems, Features, Appliances, Individual pool, Individual spa, Alternative water source, and Energy.

This is not a valid certificate

Version: 2.1 (02/06/2016)

Page: 7/13

Table with columns for 60 Energy, 60 Water, 60 Kitchen, 60 Laundry, and 60 Thermal Comfort.

This is not a valid certificate

Version: 2.1 (02/06/2016)

Page: 8/13

Table with columns for Dwelling no., Cooling, Heating, Artificial lighting, Natural lighting, Individual pool, Individual spa, Appliances & other efficiency measures, Thermal Comfort, and Energy.

This is not a valid certificate

Version: 2.1 (02/06/2016)

Page: 9/13

Footer area containing various logos, copyright notices, and project information including 'FOR DA PURPOSES ONLY NOT FOR CONSTRUCTION', 'DA', 'GENERAL NOTES / BASIX COMMITMENTS', and 'A 0001'.

(g) Thermal Comfort	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(1) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable) all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which are used to calculate those specifications.			
(2) The applicant must comply with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which are used to calculate those specifications.			
(3) Where there is an in-slab heating or cooling system, the applicant must: (a) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (b) On a suspended slab, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(4) The applicant must control the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads	
Dwelling size	Area adjusted heating load (in MJ/m ² /yr)
60*	21.3
62*	19.7
63*	19.7
64*	19.7
65*	19.7
66*	19.7
67*	19.7
68*	19.7
69*	19.7
70*	19.7
71*	19.7
72*	19.7
73*	19.7
74*	19.7
75*	19.7
76*	19.7
77*	19.7
78*	19.7
79*	19.7
80*	19.7
81*	19.7
82*	19.7
83*	19.7
84*	19.7
85*	19.7
86*	19.7
87*	19.7
88*	19.7
89*	19.7
90*	19.7
All other dwellings	19.7

(h) Common areas and central systems/facilities	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(i) Water			
(1) If, in complying with the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.			
(2) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(3) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table.	✓	✓	✓
(4) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.	✓	✓	✓
(5) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.	✓	✓	✓
(6) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.	✓	✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	4 star	no common facility

(i) Energy	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(1) If, in complying with the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.			
(2) In complying with the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. The lighting must meet the efficiency measure specified. The applicant must also install a certified lighting control system or Building Management System (BMS) for the common area, where specified.	✓	✓	✓
(3) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area (No. 1)	ventilation exhaust only	CAFM INDOOR WORKER + VED fan	fluorescent	time clock and motion sensors	no

Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Lift car (No.1)	-	-	compact fluorescent	connected to lift call button	no
Lift car (No.2)	-	-	compact fluorescent	connected to lift call button	no
Garage area (No. 1)	ventilation exhaust only	-	compact fluorescent	manual on / manual off	no
Room or service room (No. 1)	ventilation exhaust only	slate 4, continuous	compact fluorescent	manual on / manual off	no
Ground floor lobby area (No. 1)	no mechanical ventilation	-	compact fluorescent	time clock and motion sensors	no
Highway/lobby area (No. 1)	no mechanical ventilation	-	compact fluorescent	time clock and motion sensors	no

Central energy systems	Type	Specification
Lift (No. 1)	hydraulic	Number of levels (including basement): 8
Lift (No. 2)	hydraulic	Number of levels (including basement): 3

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(i) Water	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(1) If, in complying with the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.			
(2) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(3) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table.	✓	✓	✓
(4) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.	✓	✓	✓
(5) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.	✓	✓	✓
(6) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.	✓	✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	4 star	no common facility

(i) Energy	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(1) If, in complying with the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.			
(2) In complying with the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. The lighting must meet the efficiency measure specified. The applicant must also install a certified lighting control system or Building Management System (BMS) for the common area, where specified.	✓	✓	✓
(3) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

(i) Common areas and central systems/facilities	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(1) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable) all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which are used to calculate those specifications.			
(2) The applicant must comply with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which are used to calculate those specifications.			
(3) Where there is an in-slab heating or cooling system, the applicant must: (a) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (b) On a suspended slab, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(4) The applicant must control the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	4 star	no common facility

(i) Energy	Show on DA plans	Show on CC/DCD plans & specs	Certifier check
(1) If, in complying with the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.			
(2) In complying with the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. The lighting must meet the efficiency measure specified. The applicant must also install a certified lighting control system or Building Management System (BMS) for the common area, where specified.	✓	✓	✓
(3) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

- In these commitments, "applicant" means the person carrying out the development.
- The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate (or complying development certificate), for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
- This certificate is the proposed development includes the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building at the development, apply only to that part of the building or development to be used for residential purposes.
- If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once unless it is separately listed as a commitment for that other dwelling or building.
- If a star or other rating is specified in a commitment, this is a minimum rating.
- All alternative water systems to be installed under these commitments, if any, must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NBSM must not necessarily be stainless steel or plastic drink water used to irrigate edible plants which are consumed raw, or that solarium be used for human consumption in areas with potable water supply.

Legend

- Commitments identified with a in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
- Commitments identified with a in the "Show on CC/DCD plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
- Commitments identified with a in the "Certifier check" column must be verified by a certifying authority as having been fulfilled. (Note a certifying authority must not issue an occupation certificate (other than a final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled.)



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PROJECT:
4-10 ALBERT RD, STRATHFIELD
REDFERN ACCOMMODATION P/L

GENERAL NOTES / BASIC COMMITMENTS
DA
A 0002
A

60.16



LEVEL 04



LEVEL 05



LEVEL 06

UNIT SCHEDULE
SERVICED APARTMENTS (all units in m3)

LEVEL 04

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	TOTAL
401	DOUBLE	24.85 m ²	3.06 m ²	27.91 m ²
402	DOUBLE	21.23 m ²	3.83 m ²	25.06 m ²
403	DOUBLE	26.06 m ²	10.59 m ²	36.65 m ²
404	DOUBLE	27.34 m ²	4.10 m ²	31.44 m ²

LEVEL 05

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	TOTAL
501	DOUBLE	26.99 m ²	4.61 m ²	31.60 m ²
502	DOUBLE	24.28 m ²	3.30 m ²	27.58 m ²
503	DOUBLE	23.55 m ²	6.82 m ²	30.37 m ²
504	DOUBLE	27.34 m ²	4.75 m ²	32.09 m ²

LEVEL 06

UNIT NO.	UNIT TYPE	INTERNAL AREA	PRIVATE OPEN SPACE	TOTAL
601	DOUBLE	24.85 m ²	3.06 m ²	27.91 m ²
602	DOUBLE	21.23 m ²	3.83 m ²	25.06 m ²
603	DOUBLE	26.06 m ²	10.59 m ²	36.65 m ²
604	DOUBLE	26.69 m ²	4.75 m ²	31.44 m ²

External Walls:
 -200mm plastered concrete block; R1.0 insulation; plasterboard lined
 -Curtain Wall: 5mm Glass; air gap: 5mm; glass; air gap: R2.0 insulation; 13mm; plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc; plasterboard lined (no insulation)

Windows:
 Aluminium. Double Glazed Air Fill High Solar Gain low-E -Clear; U = 4.30; SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504); Concrete slab 150mm - Tile walking surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

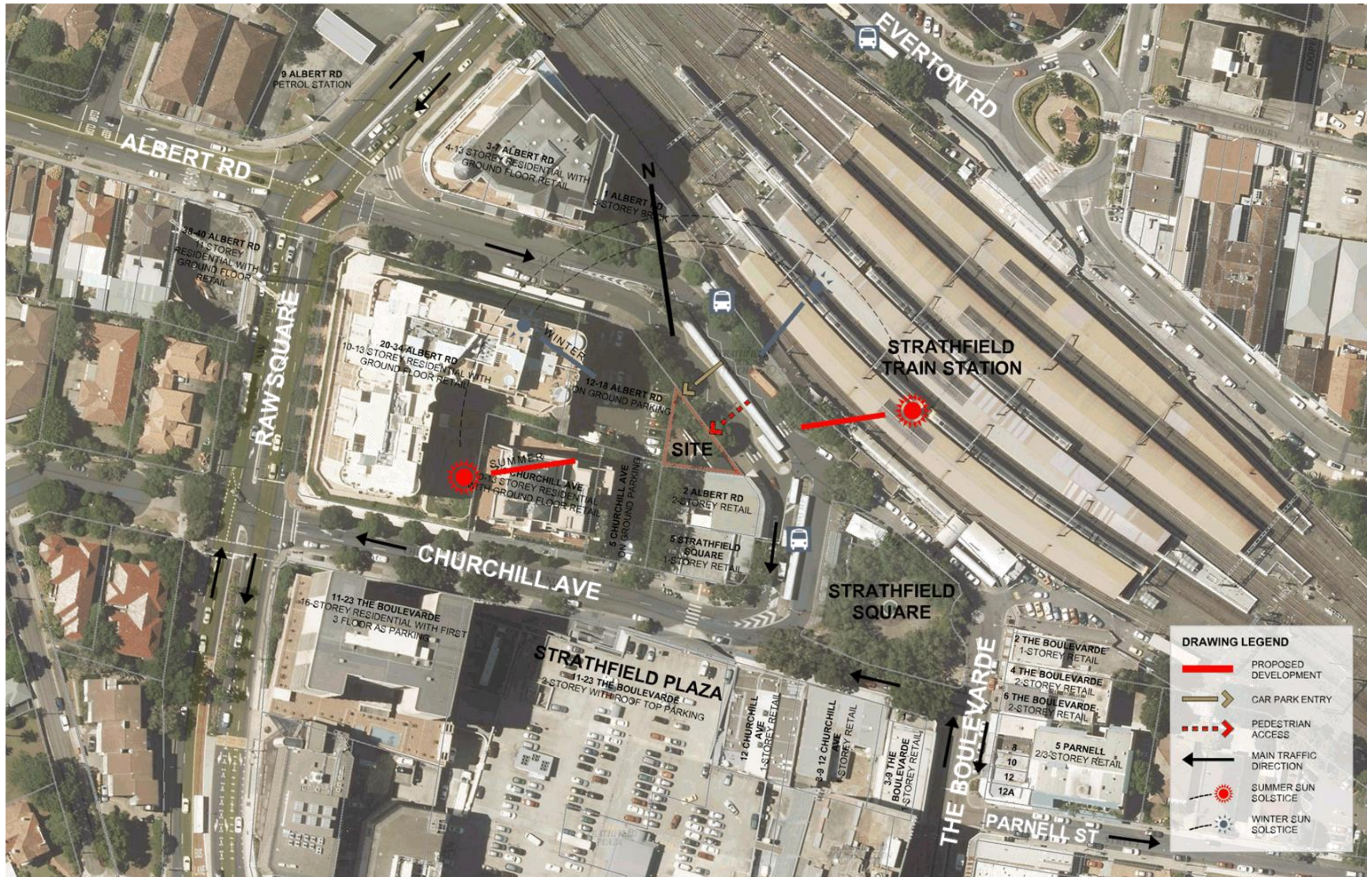
Floor: Suspended Concrete slab; no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

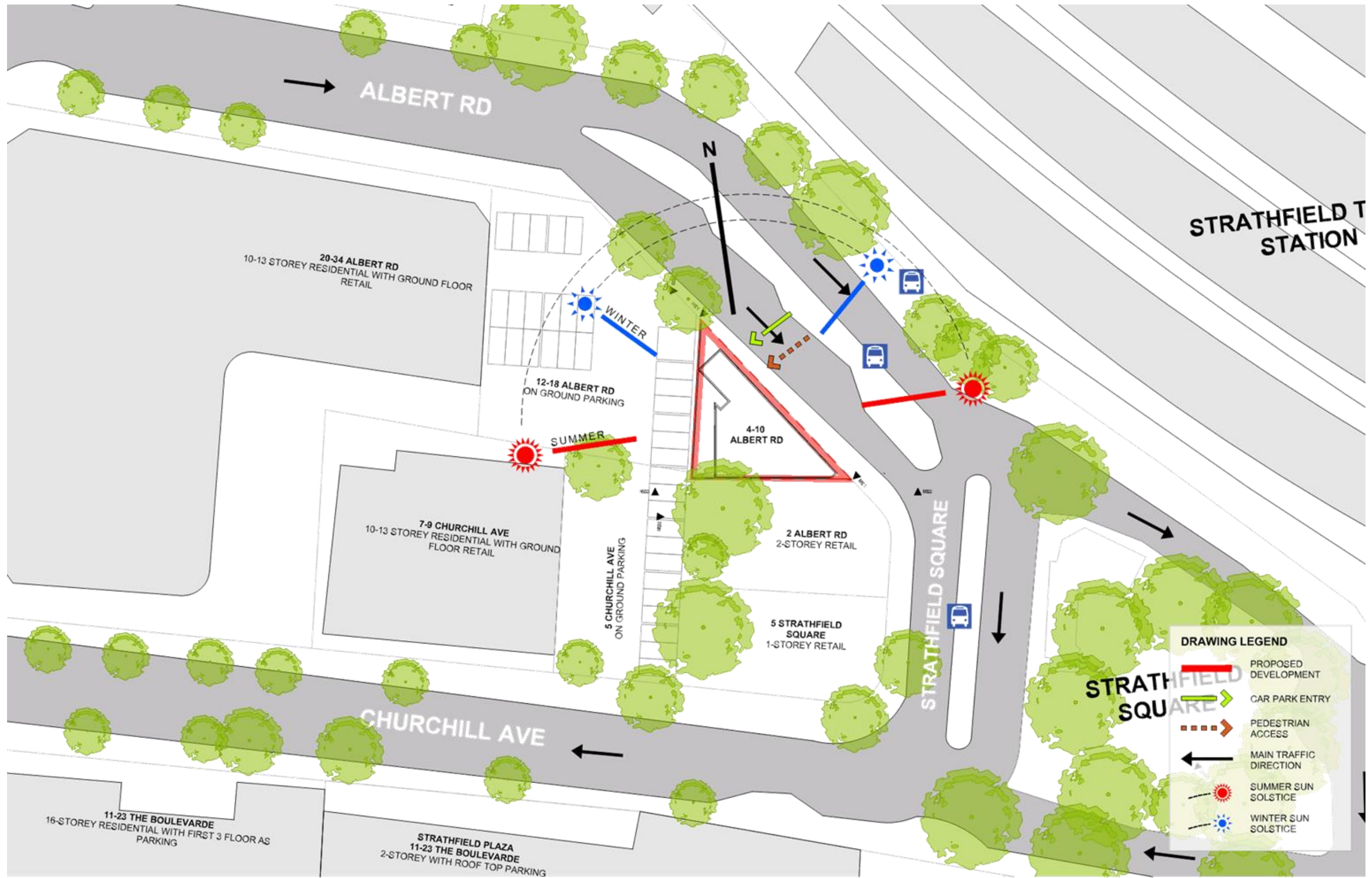
Wall Exhaust fans & Downlights: must be sealed



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				LANDSCAPE: LANDSCAPE ARCHITECTURE 10/11/1013-1013 10/11/1013-1013	PLANNING: URBAN ENVIRONMENTAL PLANNING 10/11/1013-1013 10/11/1013-1013	QUANTITY SURVEY: QUANTITY SURVEYERS 10/11/1013-1013 10/11/1013-1013	TRAFFIC: TRAFFIC ENGINEERS 10/11/1013-1013 10/11/1013-1013	PROJECT ARCHITECT: GA						



DRAWING LEGEND

- PROPOSED DEVELOPMENT
- CAR PARK ENTRY
- - - PEDESTRIAN ACCESS
- ← MAIN TRAFFIC DIRECTION
- ☀ SUMMER SUN SOLSTICE
- ☀ WINTER SUN SOLSTICE

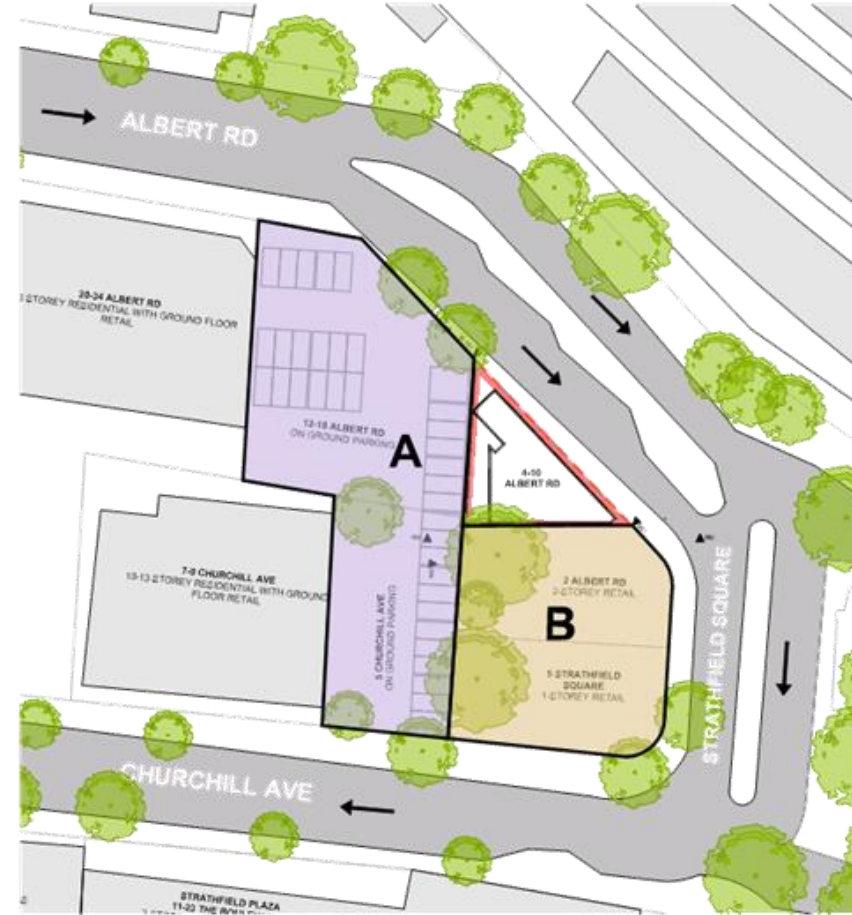
FOR DA PURPOSES ONLY NOT FOR CONSTRUCTION DA	A3 Drawing Original Size	© COPYRIGHT DO NOT SCALE DWGS. USE DIMENSIONS ONLY. REFER ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT.	NORTH N	ACCESS SOLUTIONS 10/10 St. Strathfield NSW 2135 T: 02 9515 4100 E: info@accessolutions.com.au	ARCHITECT ACQUICCI CONSULTING INC. 10/10 St. Strathfield NSW 2135 T: 02 9515 4100 E: info@acquicci.com.au	LANDSCAPE ARCHITECT SUSAN TALA Architecture Consulting 10/10 St. Strathfield NSW 2135 T: 02 9515 4100 E: susan@sttala.com.au	PLANNING SUSTAINABLE THERMAL SOLUTIONS 1/10 St. Strathfield NSW 2135 T: 02 9515 4100 E: info@sttsolutions.com.au	STRUCTURAL ENGINEER GEO-ENVIRONMENTAL ENGINEERING 10/10 St. Strathfield NSW 2135 T: 02 9515 4100 E: info@geoenvironmental.com.au	ARCHITECT GHAZI AL ALI ARCHITECTS 10/10 St. Strathfield NSW 2135 T: 02 9515 4100 E: info@ghazialali.com.au	PROJECT 4-10 ALBERT RD, STRATHFIELD REDFERN ACCOMMODATION P/L DATE: 29/06/2017 SCALE: 1:500 DRAWN BY: RA CHECKED BY: JU PROJECT ARCHITECT: GA PROJECT DIRECTOR: GA	DRAWING CODE SITE PLAN DRAWING NUMBER DA SCALE A 1010 DATE A	PROJECT NUMBER 60.16
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POTENTIAL FUTURE AMALGAMATION PATTERN - OPTIONS



AREA : 2,850.83M²
 SUBJECT AREA : 282M²

OPTION 1

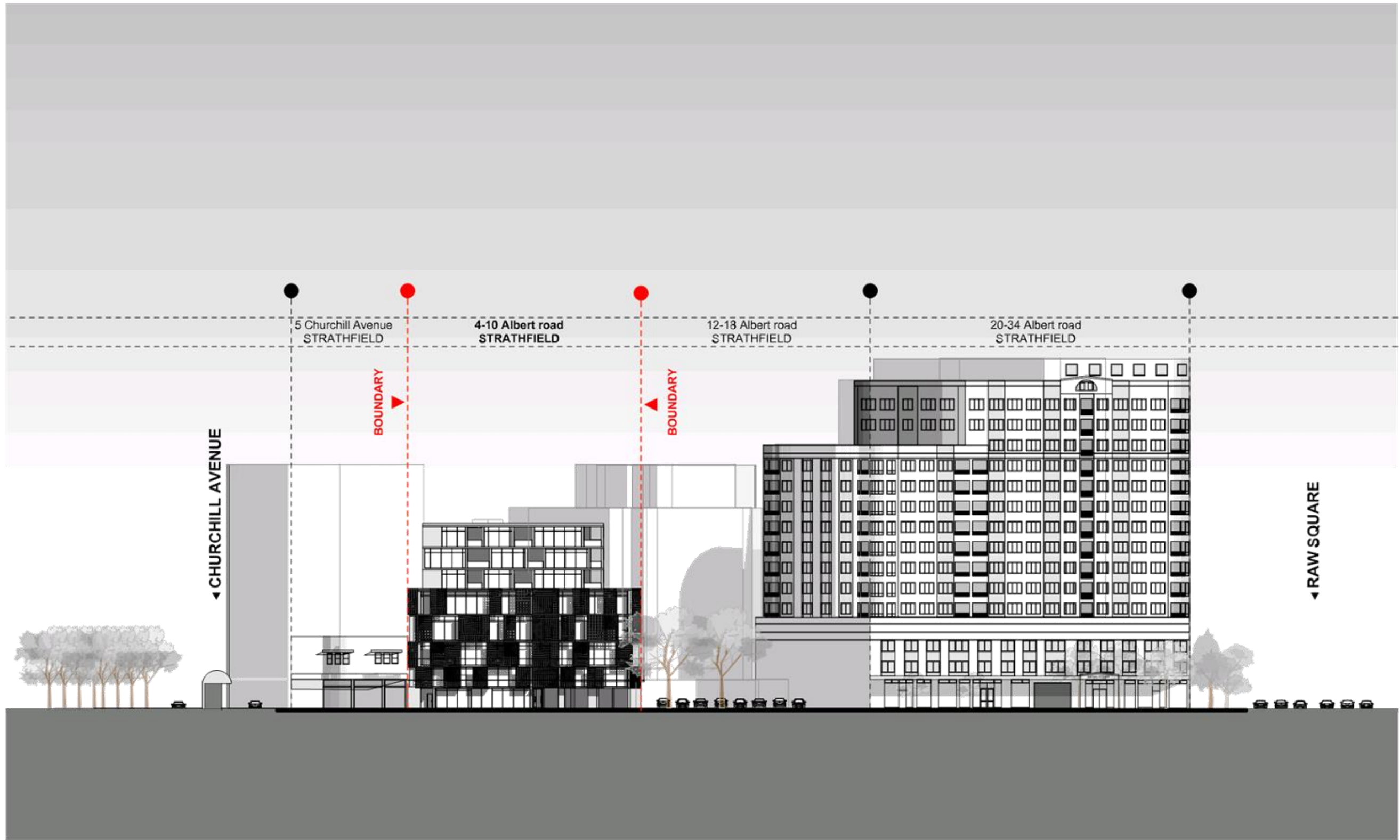


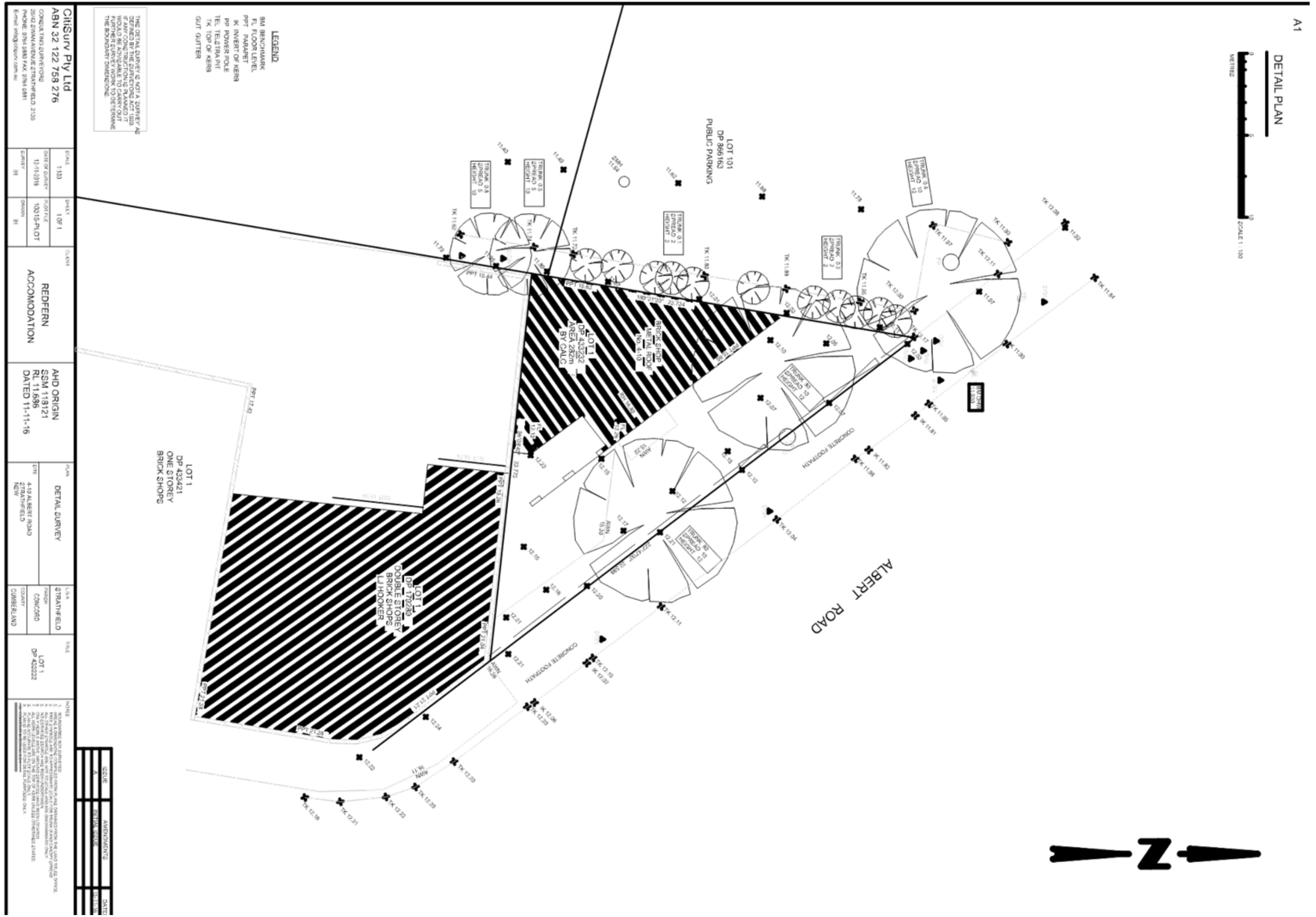
AREA A : 1,623.68M²
 AREA B : 935.82M²
 SUBJECT SITE : 282M²

OPTION 2



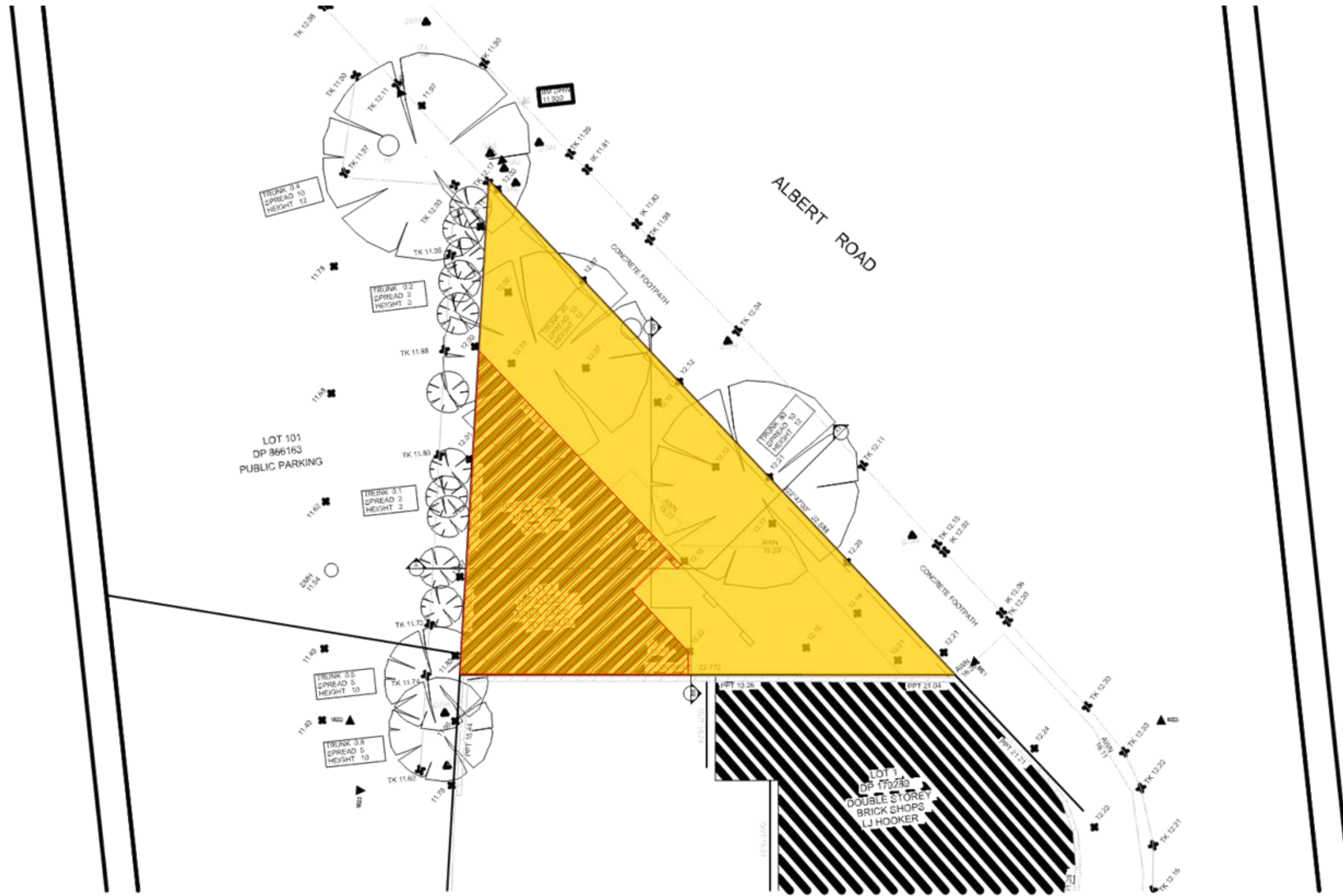
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CHISUR Pty Ltd ABN 32 122 758 276 CONSULTING SURVEYORS 2042 STRATHFIELD STRATHFIELD 2135 PHONE: 9784 5880 FAX: 9784 5881 Email: info@chisur.com.au		SCALE 1:100	DATE OF SURVEY 12-11-2016	PROJECT 10016-PL01	CLIENT REDFERN ACCOMMODATION	PLAN DETAIL SURVEY 4-10 ALBERT ROAD STRATHFIELD NEW	LGA STRATHFIELD COUNCIL	NOTE THIS DETAIL SURVEY IS NOT A SURVEY AS DEFINED BY THE SURVEY ACT 1958 AND IS FOR INFORMATION PURPOSES ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.
DATE OF SURVEY 12-11-2016	PROJECT 10016-PL01	CLIENT REDFERN ACCOMMODATION	AHD ORIGIN SSM 119121 RL 11.696 DATED 11-11-16	PLAN DETAIL SURVEY 4-10 ALBERT ROAD STRATHFIELD NEW	LGA STRATHFIELD COUNCIL	NOTE THIS DETAIL SURVEY IS NOT A SURVEY AS DEFINED BY THE SURVEY ACT 1958 AND IS FOR INFORMATION PURPOSES ONLY. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.		

SCALE	AMENDMENTS	DATE
A	INITIAL ISSUE	12-11-16



LEGEND

 TO BE DEMOLISHED
 PROPOSED DEVELOPMENT

SCALE 1:200 @ A3
 1 2 5 10M

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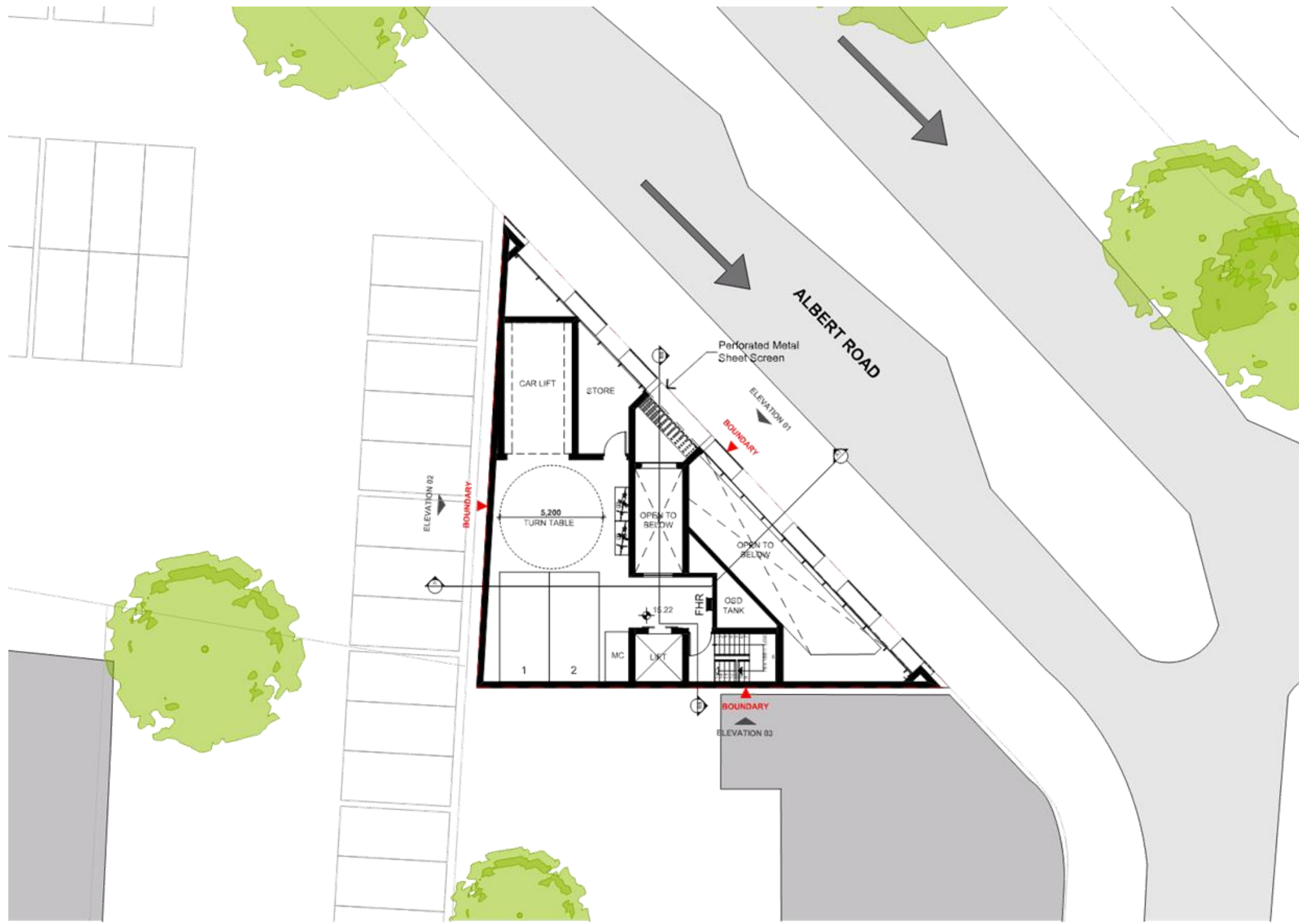


- External Walls:**
 - 200mm plastered concrete block: R1.0 insulation: plasterboard lined
 - Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.
- Internal Walls:**
 - Within Unit: Plasterboard on studs (R1.0 insul.)
 - Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)
- Windows:**
 - Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53
- Ceiling:** Plasterboard (no insulation)
- Roof:** (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)
- Floor:** Suspended Concrete slab: no insulation
- Floor Covering:** Ceramic tiles in wet areas and carpet elsewhere.
- Wall Exhaust fans & Downlights:** must be sealed

GROUND FLOOR PLAN
1:200



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				WASTE MANAGEMENT: WASTE MANAGEMENT SOLUTIONS 1/175-175/175 1/175-175/175 1/175-175/175	HYDRAULIC: HYDRAULIC CONSULTING 1/175-175/175 1/175-175/175 1/175-175/175	LANDSCAPE: LANDSCAPE ARCHITECTURE 1/175-175/175 1/175-175/175 1/175-175/175	PLANNING: URBAN ENVIRONMENTAL PLANNING 1/175-175/175 1/175-175/175 1/175-175/175	QUANTITY SURVEY: QUANTITY SURVEYING 1/175-175/175 1/175-175/175 1/175-175/175	TRAFFIC: TRAFFIC CONSULTANTS 1/175-175/175 1/175-175/175 1/175-175/175	PROJECT NO: 60.16 SCALE: A 1200 DATE: A			



External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

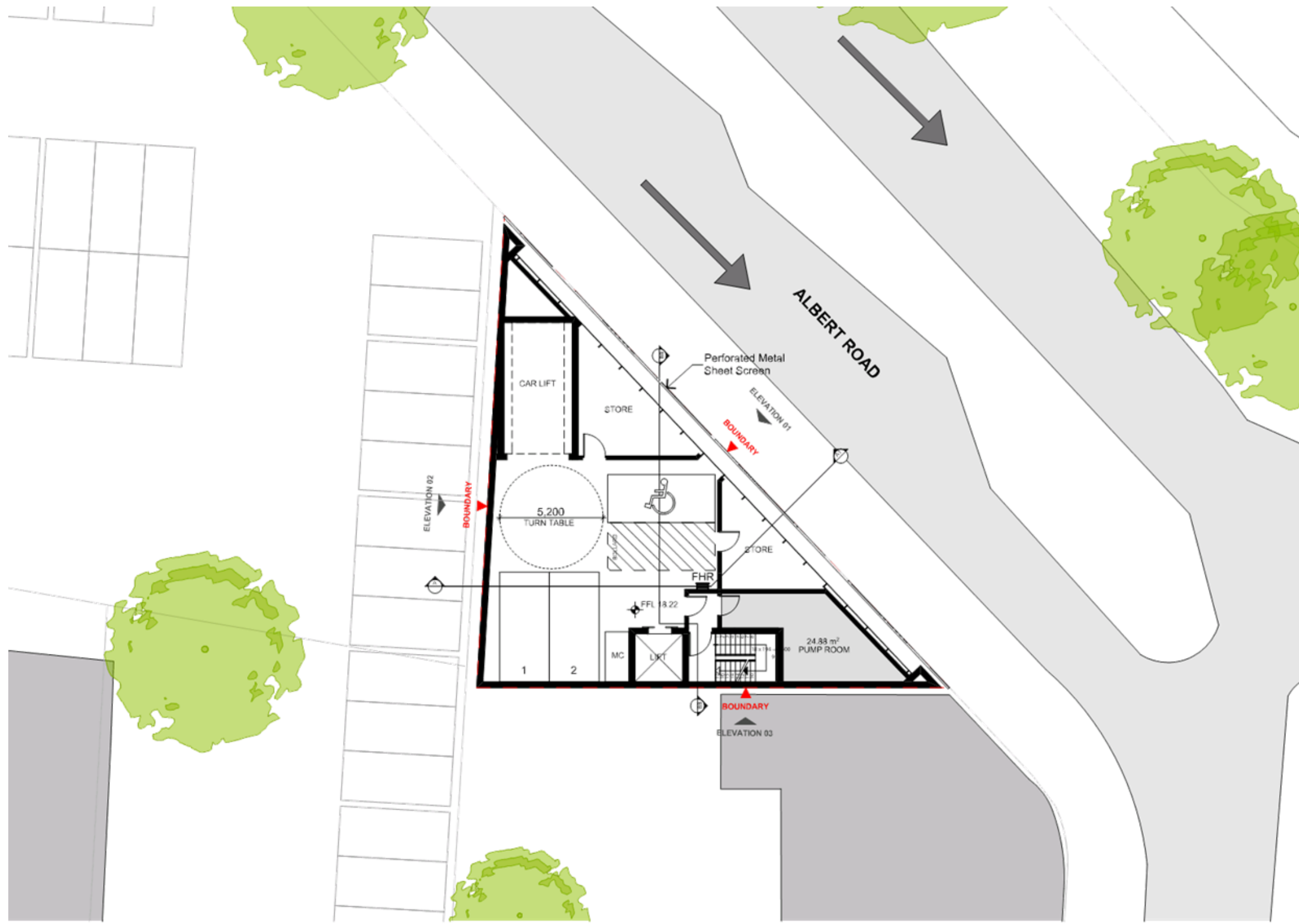
Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

MEZZ FLOOR PLAN
1:200



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				HYDRAULIC: HYDRAULIC ENGINEERS 1/100-110, Waverley, NSW 2039 T: 02 9439 4100 F: 02 9439 4101 E: info@hydraulic.com.au	MECHANICAL: MECHANICAL ENGINEERS 1/100-110, Waverley, NSW 2039 T: 02 9439 4100 F: 02 9439 4101 E: info@mech.com.au	ELECTRICAL: ELECTRICAL ENGINEERS 1/100-110, Waverley, NSW 2039 T: 02 9439 4100 F: 02 9439 4101 E: info@elec.com.au	PROJECT NUMBER: A 1201 SCALE: A						



External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

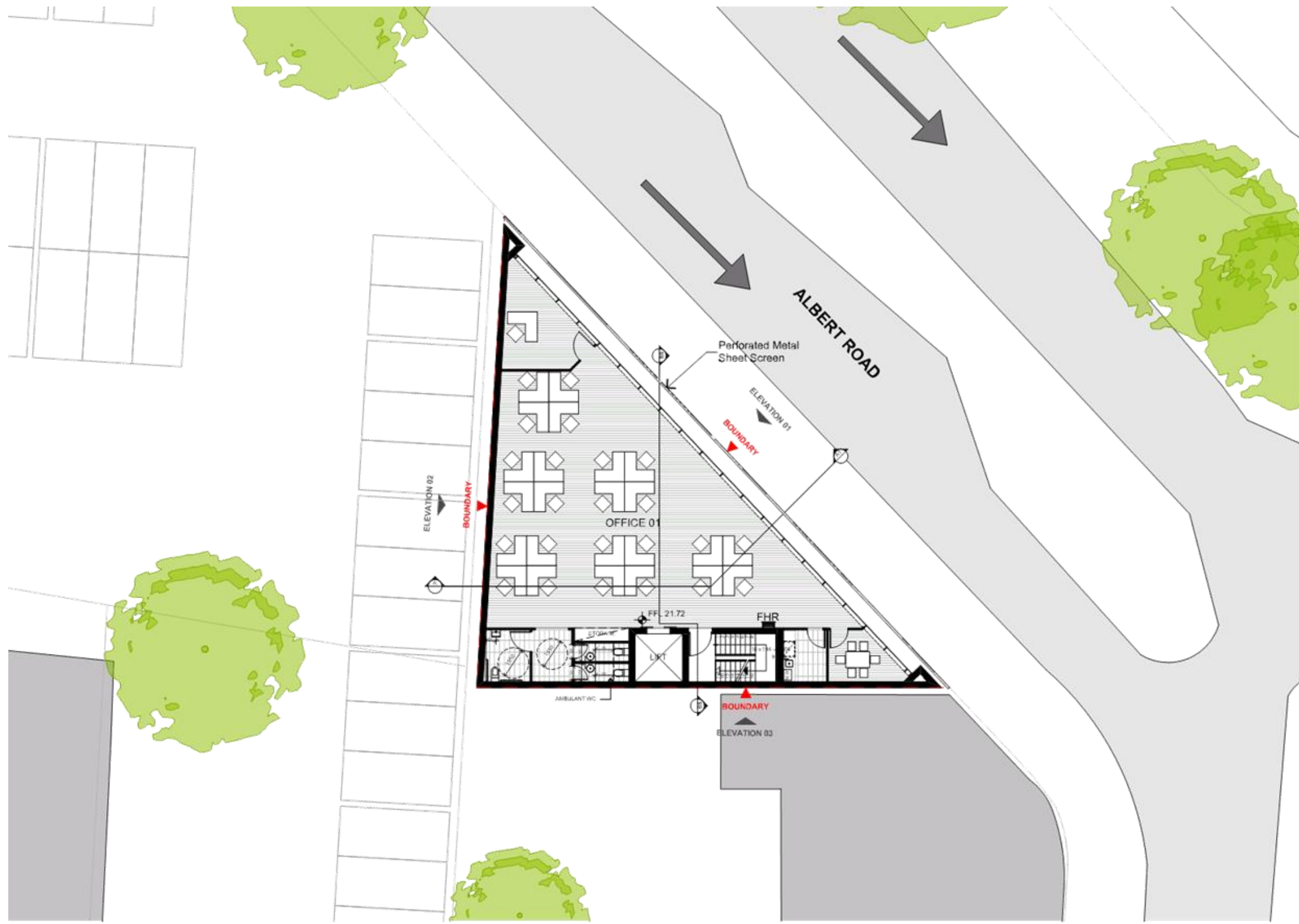
Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

LEVEL 01 FLOOR PLAN
1:200



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				WASTE MANAGEMENT: (Specialists Waste Recycling Solutions) 10/100-200, Waterloo Rd, Strathfield NSW 2159 T: 02 9315 4142 F: 02 9315 4143 E: info@accessolutions.com.au	HYDRAULIC: SOCE 1/100-200, Waterloo Rd, Strathfield NSW 2159 T: 02 9315 4142 F: 02 9315 4143 E: info@accessolutions.com.au	LANDSCAPING: CONCEPT 1/100-200, Waterloo Rd, Strathfield NSW 2159 T: 02 9315 4142 F: 02 9315 4143 E: info@accessolutions.com.au	PLANNING: NATURE ENVIRONMENTAL PLANNING 1/100-200, Waterloo Rd, Strathfield NSW 2159 T: 02 9315 4142 F: 02 9315 4143 E: info@accessolutions.com.au	QUANTITY SURVEY: QUANTUM CONSTRUCTION CONSULTANTS 1/100-200, Waterloo Rd, Strathfield NSW 2159 T: 02 9315 4142 F: 02 9315 4143 E: info@accessolutions.com.au	TRAFFIC: TERRACE 1/100-200, Waterloo Rd, Strathfield NSW 2159 T: 02 9315 4142 F: 02 9315 4143 E: info@accessolutions.com.au				



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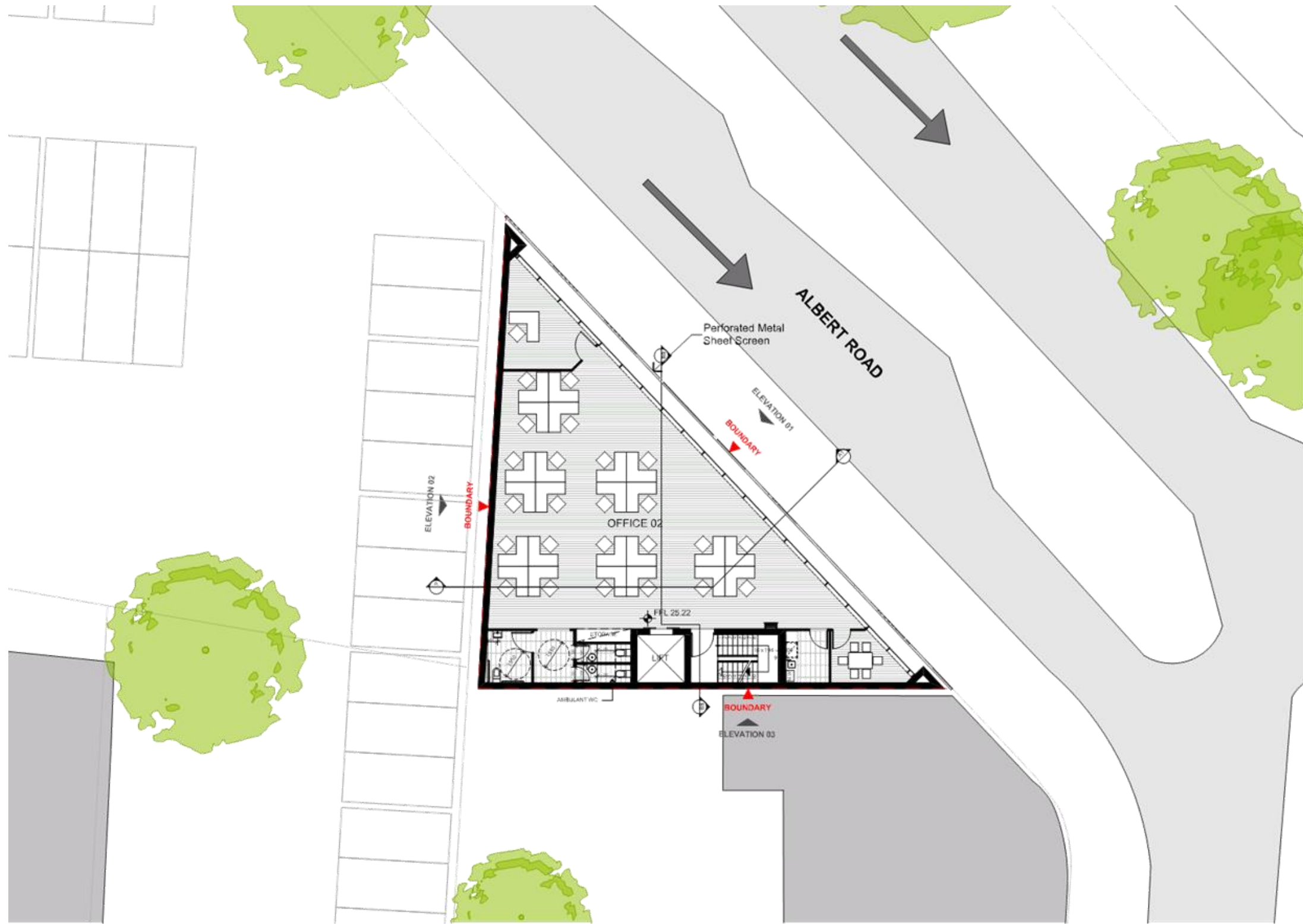
Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

LEVEL 02 FLOOR PLAN 1:200



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External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 6mm Glass: air gap: 6mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30; SHGC = 0.53

Ceiling: Plasterboard (no insulation)

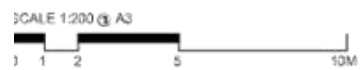
Roof: (units 501 - 504): Concrete slab 150mm - Tile walki surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

LEVEL 03 FLOOR PLAN
 1:200



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- External Walls:**
 - 200mm plastered concrete block: R1.0 insulation: plasterboard lined
 - Curtain Wall: 6mm Glass: air gap: 6mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.
- Internal Walls:**
 - Within Unit: Plasterboard on studs (R1.0 insul.)
 - Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)
- Windows:**
 - Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53
- Ceiling:** Plasterboard (no insulation)
- Roof:** (units 501 - 504): Concrete slab 150mm. - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)
- Floor:** Suspended Concrete slab: no insulation
- Floor Covering:** Ceramic tiles in wet areas and carpet elsewhere.
- Wall Exhaust fans & Downlights:** must be sealed

LEVEL 04 FLOOR PLAN
1:200



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				<p>WASTE MANAGEMENT: Egghorn & East Recycling Solutions Suite 2/1, Level 1/120, Rossiter Street NSW 2150, NSW T: 02 9339 2200 E: info@egghorn.com.au</p>	<p>HYDRAULIC: SOCE 9/100-1200, Eastman Way, NSW 2143 T: 02 9551 4225 E: info@soce.com.au</p>	<p>LANDSCAPE: CONCEPT Suite 102, 102 Eldon St, Eastwood NSW 2122 T: 02 9551 5102 E: info@concept.com.au</p>	<p>PLANNING: NEWSE ENVIRONMENTAL PLANNING Suite 10, 102 Eldon St, Eastwood NSW 2122 T: 02 9551 5102 E: info@newse.com.au</p>	<p>QUANTITY SURVEY: MHO CONSTRUCTION CONSULTANTS Suite 10, 102 Eldon St, Eastwood NSW 2122 T: 02 9551 5102 E: info@mho.com.au</p>	<p>TRAFFIC: TRAC 10 Kingsley, Lower Coast NSW 2256 T: 02 9622 0200 E: info@trac.com.au</p>			



External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 6mm Glass: air gap: 6mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walki surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

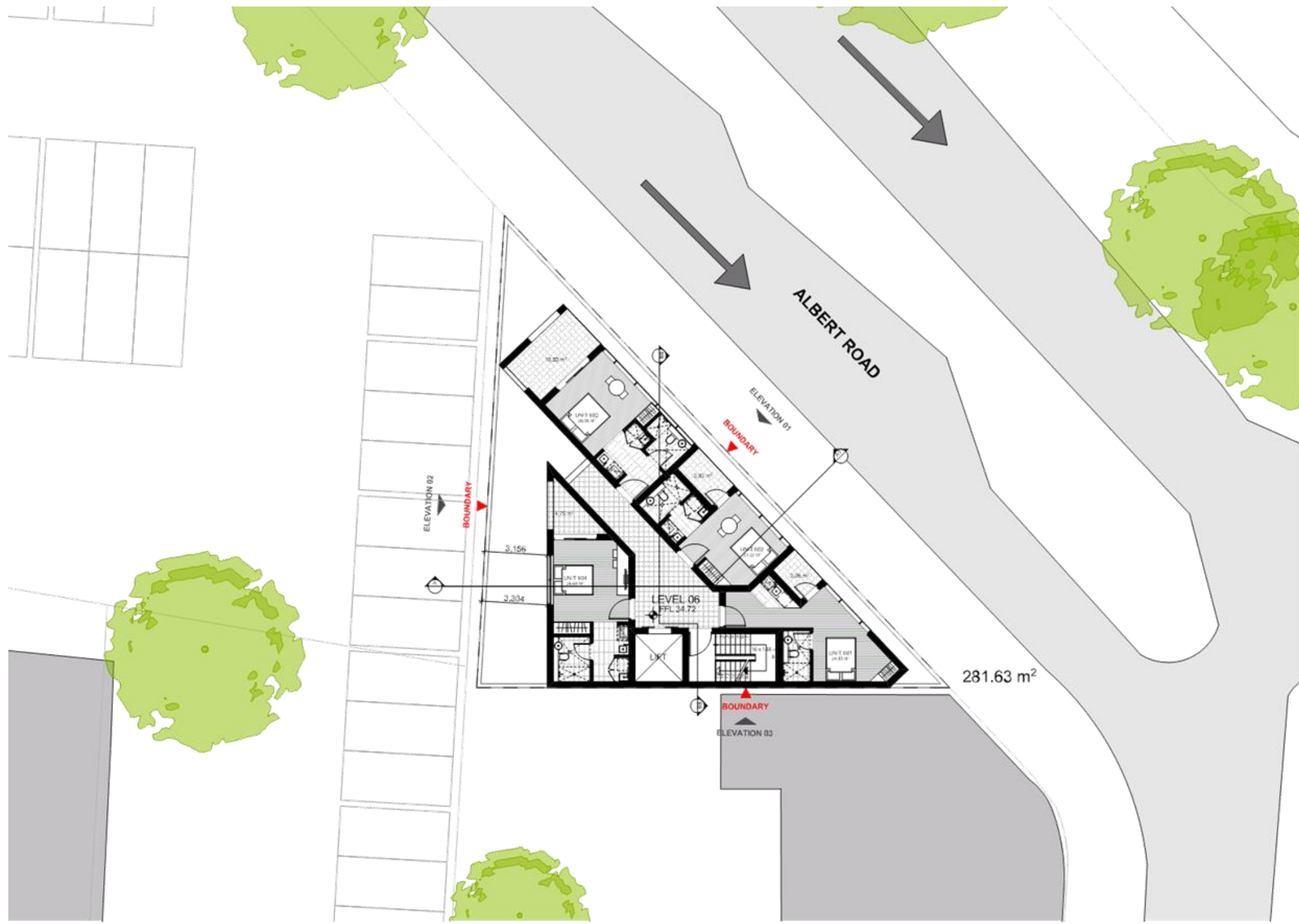
Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

LEVEL 05 FLOOR PLAN
1:200



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			WASTE MANAGEMENT: WASTE MANAGEMENT 1/100, 100, King St 2145 NSW 1510 E: info@waste-management.com.au	HYDRAULIC: HYDRAULIC 1/100, 100, King St 2145 NSW 1510 E: info@hydraulic.com.au	CONCEPT: CONCEPT 1/100, 100, King St 2145 NSW 1510 E: info@concept.com.au	PLANNING: PLANNING 1/100, 100, King St 2145 NSW 1510 E: info@planning.com.au	STRUCTURAL: STRUCTURAL 1/100, 100, King St 2145 NSW 1510 E: info@structural.com.au	TRAFFIC: TRAFFIC 1/100, 100, King St 2145 NSW 1510 E: info@traffic.com.au	PROJECT: 4-10 ALBERT RD, STRATHFIELD REDFERN ACCOMMODATION P/L SCALE: 1:200 DATE: 29/06/2017 PROJECT ARCHITECT: JAU PROJECT DESIGNER: GJA	DRAWING CODE: LEVEL 05 DRAWING NUMBER: DA PROJECT NUMBER: A 1206 SCALE: A						



External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 6mm Glass: air gap: 6mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof :(units 501 - 504): Concrete slab 150mm. - Tile walki surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

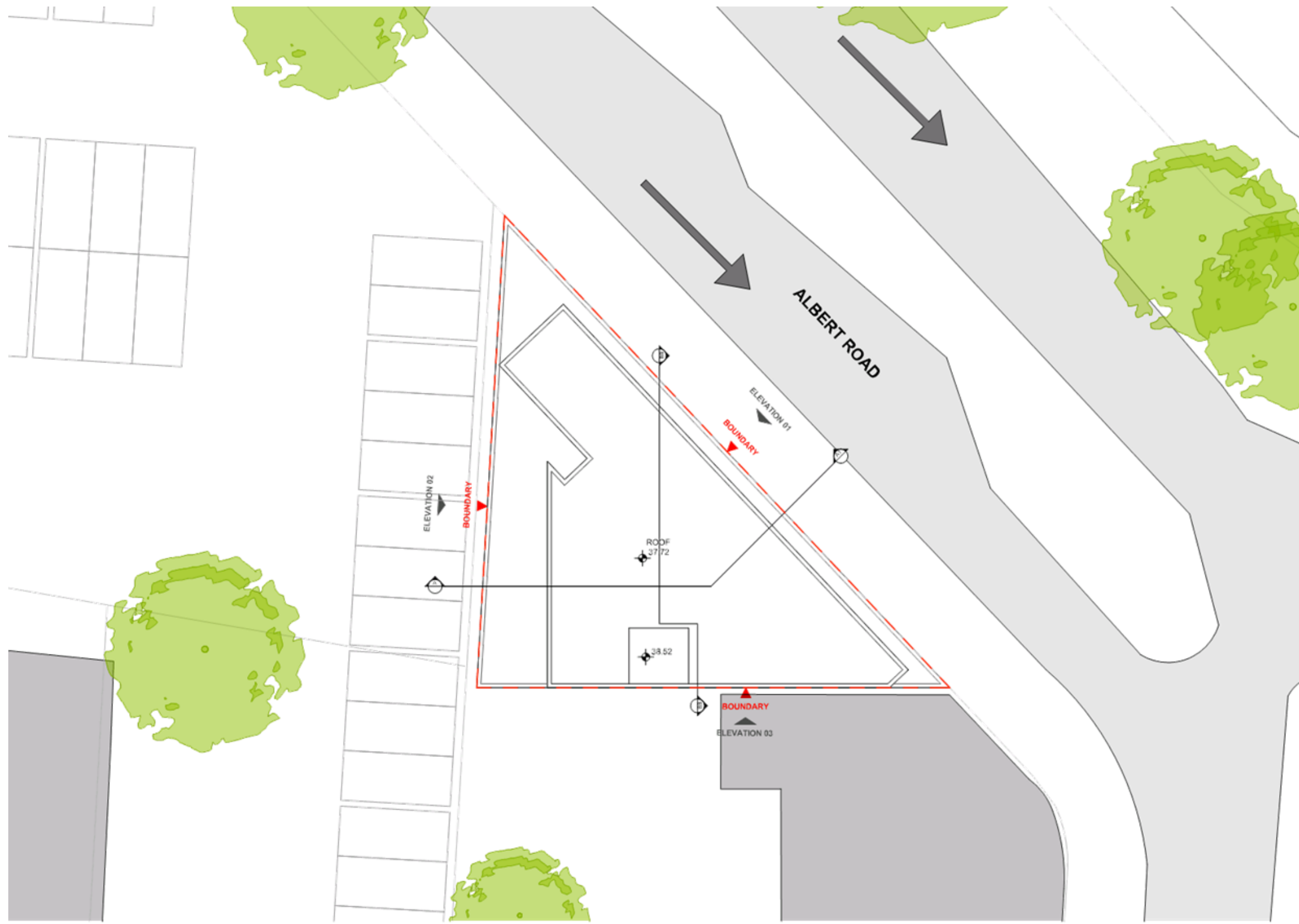
Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

LEVEL 06 FLOOR PLAN
1:200



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				WASTE MANAGEMENT: WASTE MANAGEMENT SOLUTIONS 10/100, 200, 400, 600, 800, 1000 1/10/15/20/30/40/50 0/100/200/300/400/500/600/800/1000	HYDRAULIC: HYDRAULIC SOLUTIONS 10/100, 200, 400, 600, 800, 1000 1/10/15/20/30/40/50 0/100/200/300/400/500/600/800/1000	LANDSCAPE: LANDSCAPE ARCHITECTURE 10/100, 200, 400, 600, 800, 1000 1/10/15/20/30/40/50 0/100/200/300/400/500/600/800/1000	PLANNING: URBAN ENVIRONMENTAL PLANNING 10/100, 200, 400, 600, 800, 1000 1/10/15/20/30/40/50 0/100/200/300/400/500/600/800/1000	QUANTITY SURVEY: QUANTITY SURVEYING CONSULTANTS 10/100, 200, 400, 600, 800, 1000 1/10/15/20/30/40/50 0/100/200/300/400/500/600/800/1000	TRAFFIC: TRAFFIC ENGINEERING CONSULTANTS 10/100, 200, 400, 600, 800, 1000 1/10/15/20/30/40/50 0/100/200/300/400/500/600/800/1000				



External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

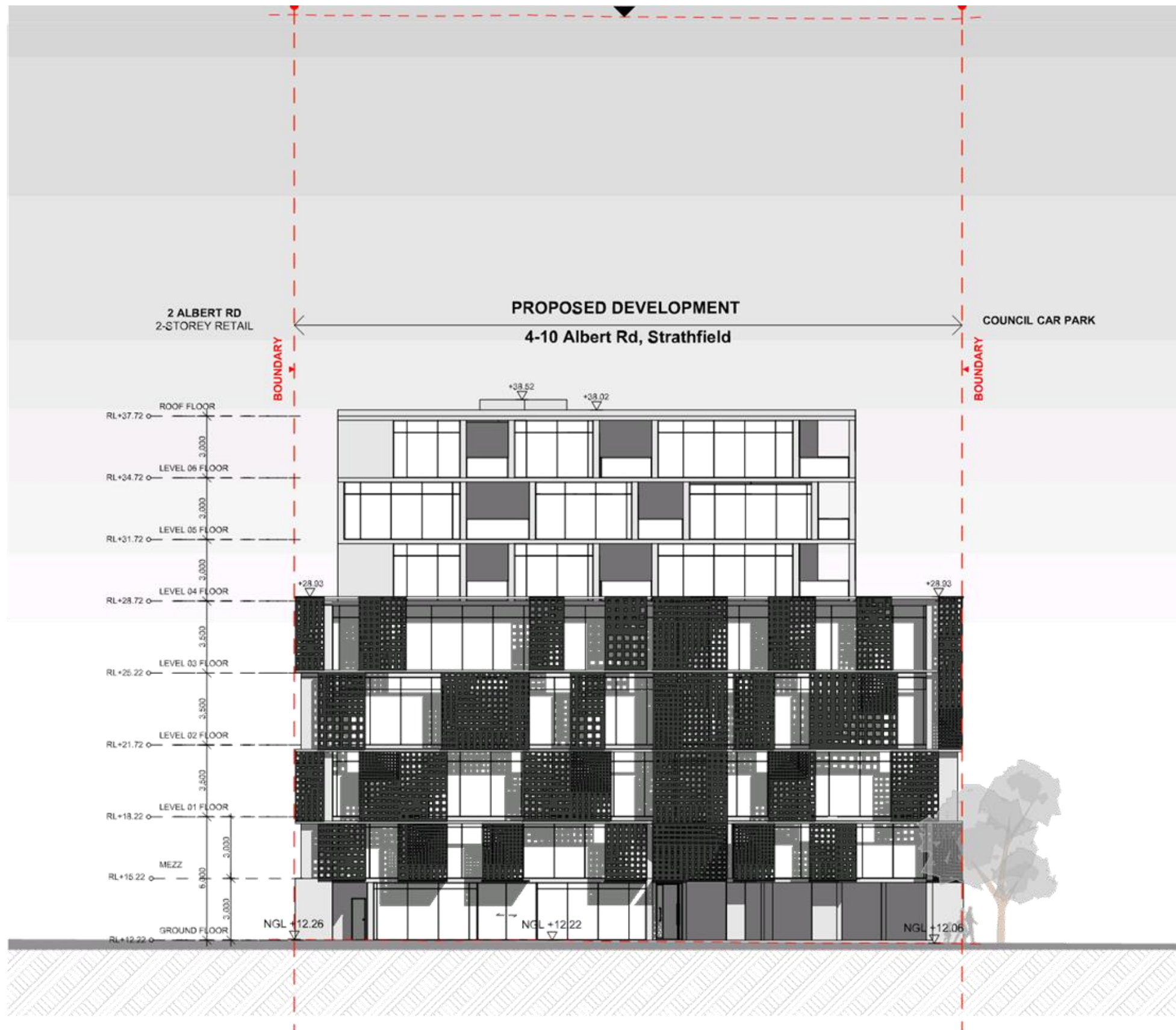
Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

ROOF FLOOR PLAN
1:200

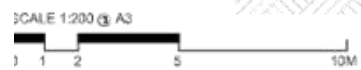


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				WASTEMANAGEMENT: Elyptic Waste Recycling Solutions 1/100-200, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9310 4100 E: info@elyptic.com.au	HYDRAULIC: SOCC 1/100-200, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9310 4100 E: info@socc.com.au	LANDSCAPE: CONCEPT 1/100-200, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9310 4100 E: info@concept.com.au	PLANNING: NUSE ENVIRONMENTAL PLANNING 1/100-200, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9310 4100 E: info@nuse.com.au	QUANTITY SURVEY: NWO CONSTRUCTION CONSULTANTS 1/100-200, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9310 4100 E: info@nwo.com.au	TRAFFIC: TERRACE 1/100-200, HARRIS ST, STRATHFIELD NSW 2159 T: 02 9310 4100 E: info@terrace.com.au				

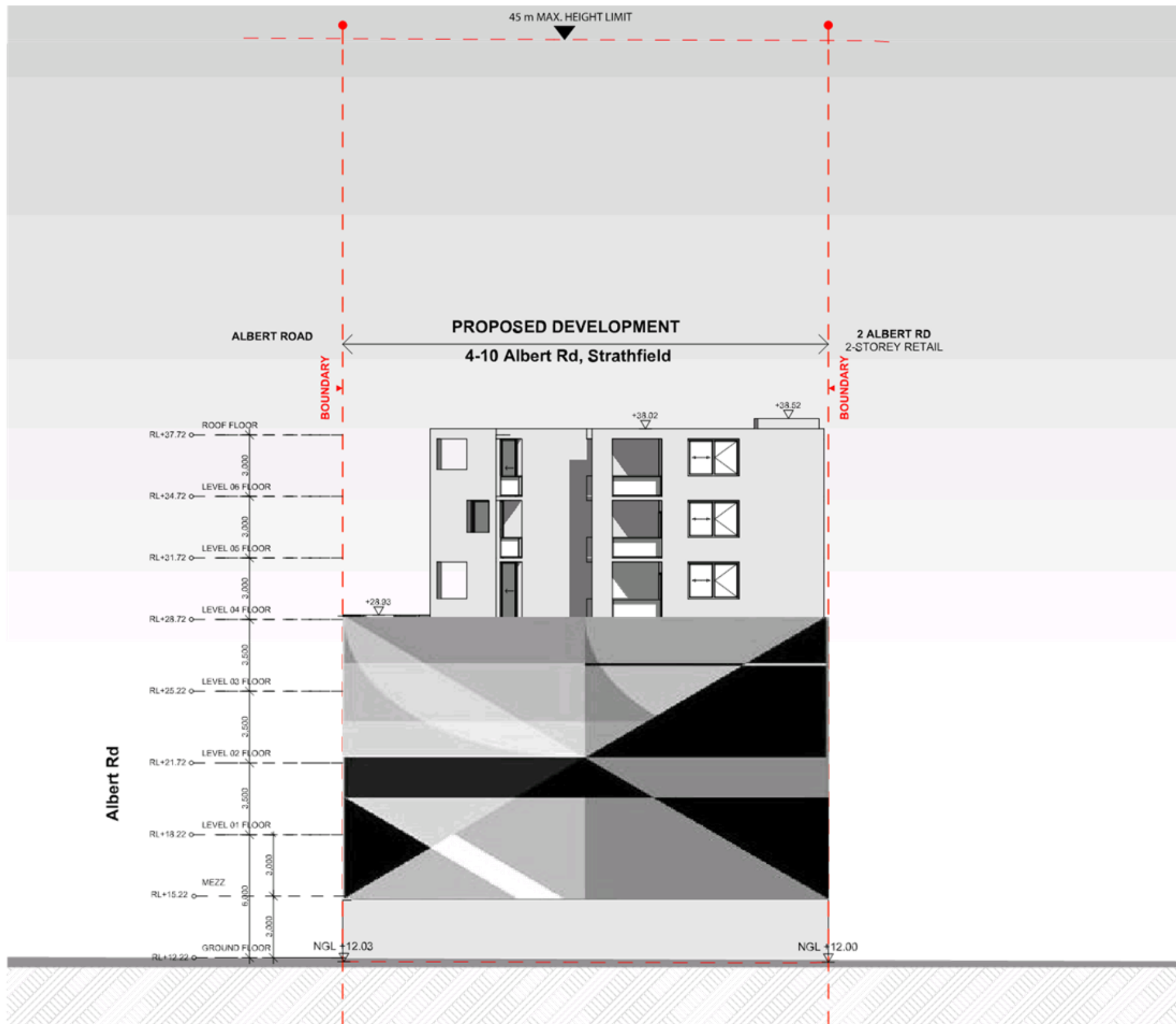


- External Walls:**
 - 200mm plastered concrete block: R1.0 insulation: plasterboard lined
 - Curtain Wall: 6mm Glass: air gap: 6mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.
- Internal Walls:**
 - Within Unit: Plasterboard on studs (R1.0 insul.)
 - Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)
- Windows:**
 - Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.20: SHGC = 0.53
- Ceiling:** Plasterboard (no insulation)
- Roof:** (units 501 - 504): Concrete slab 150mm - Tile walki surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)
- Floor:** Suspended Concrete slab: no insulation
- Floor Covering:** Ceramic tiles in wet areas and carpet elsewhere.
- Wall Exhaust fans & Downlights: must be sealed

ELEVATION 01
1:200



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External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

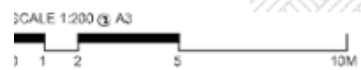
Roof: (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

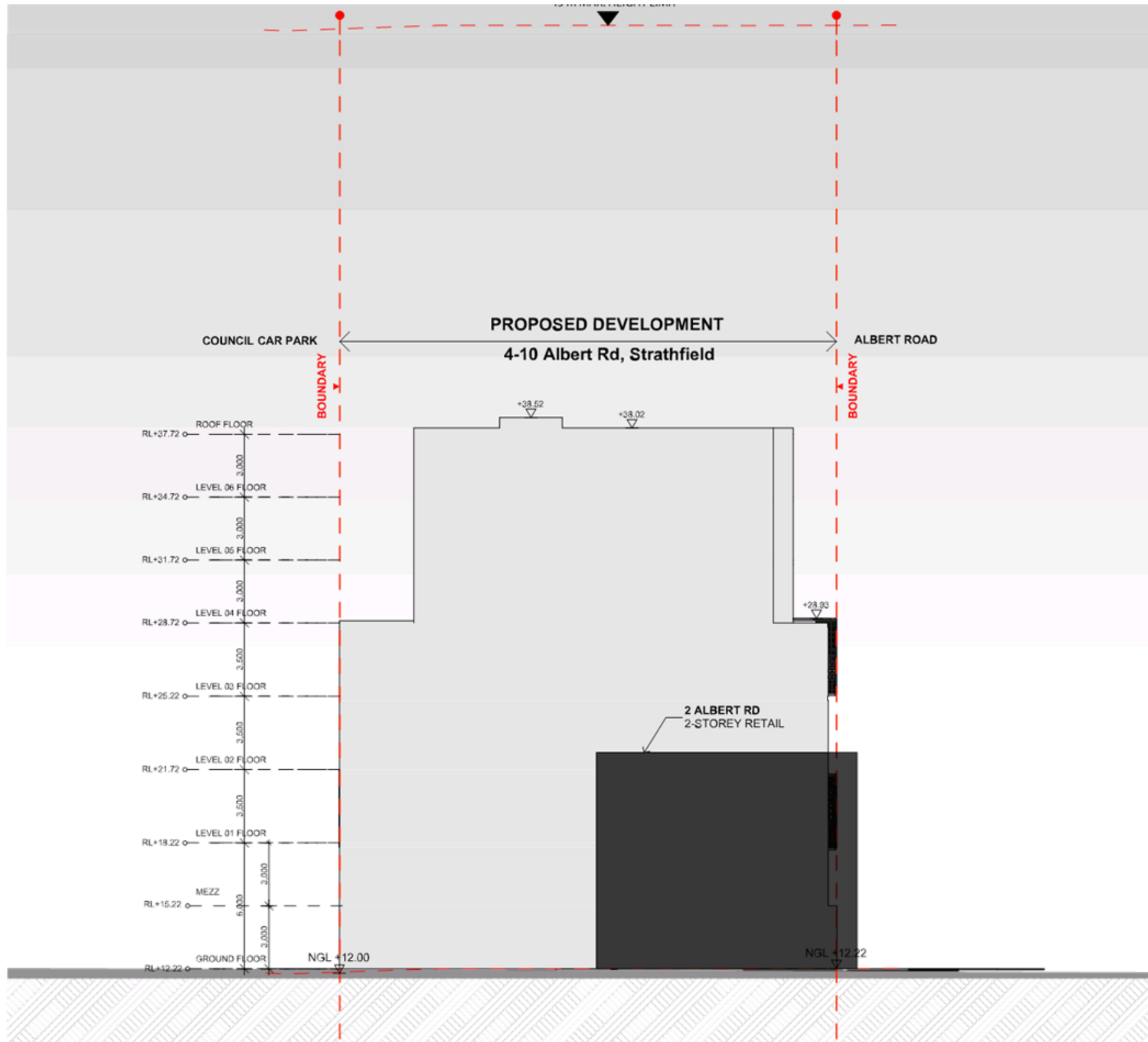
Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

ELEVATION 02
1:200



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		WASTEMANAGEMENT: Elyptic Waste Recycling Solutions Suite 2/15-16/18 Kingsley Ave, Northmead NSW 2151 T: 02 9615 1200 E: info@elyptic.com.au	HYDRAULIC: SOCC PO Box 1700, Eastmead NSW 2145 T: 02 9615 4200 E: info@socc.com.au	LANDSCAPING: CONCEPT Suite 101, 101 Albert St, Eastmead NSW 2145 T: 02 9615 1200 E: info@concept.com.au	PLANNING: NEUSE ENVIRONMENTAL PLANNING Suite 101, 101 Albert St, Eastmead NSW 2145 T: 02 9615 1200 E: info@neuse.com.au	QUANTITY SURVEY: QUANTUM CONSTRUCTION CONSULTANTS Suite 101, 101 Albert St, Eastmead NSW 2145 T: 02 9615 1200 E: info@quantum.com.au	TRAFFIC: TRAFFIC PO Box 206, Northmead NSW 2151 T: 02 9615 1200 E: info@traffic.com.au	PROJECT ARCHITECT: GHAZI AL ALI ARCHITECTS P/L	PROJECT DESIGNER: GHAZI AL ALI ARCHITECTS P/L	DRAWING SCALE: DA	PROJECT NUMBER: A 1302



External Walls:
 -200mm plastered concrete block: R1.0 insulation:
 plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap:
 R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r
 insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E -
 Clear: U = 4.20: SHGC = 0.53

Ceiling: Plasterboard (no insulation)

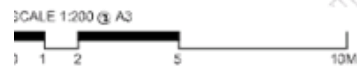
Roof: (units 501 - 504): Concrete slab 150mm - Tile walki
 surface - R2.0 insulation under slab - Susp. Ceiling under
 (medium colour)

Floor: Suspended Concrete slab: no insulation

Floor Covering: Ceramic tiles in wet areas and carpet
 elsewhere.

Wall Exhaust fans & Downlights: must be sealed

ELEVATION 03
 1:200



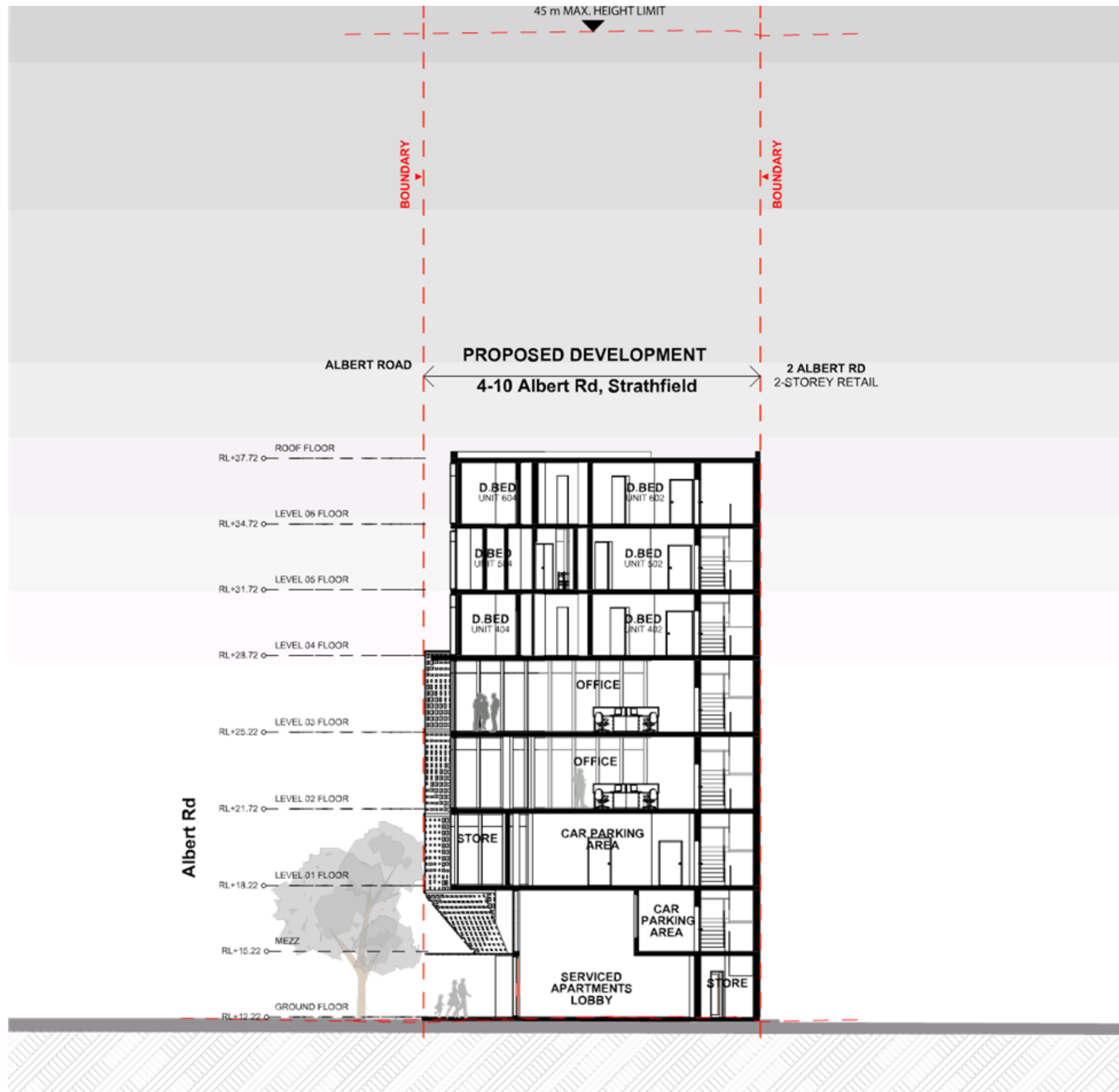
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- External Walls:**
 - 200mm plastered concrete block: R1.0 insulation: plasterboard lined
 - Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.
- Internal Walls:**
 - Within Unit: Plasterboard on studs (R1.0 insul.)
 - Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)
- Windows:**
 - Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30: SHGC = 0.53
- Ceiling:** Plasterboard (no insulation)
- Roof:** (units 501 - 504): Concrete slab 150mm - Tile walk surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)
- Floor:** Suspended Concrete slab: no insulation
- Floor Covering:** Ceramic tiles in wet areas and carpet elsewhere.
- Wall Exhaust fans & Downlights: must be sealed



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				<p>PLANNING: URBAN ENVIRONMENTAL PLANNING 4/20-22, HARRIS, NSW 2153 T: 02 9551 5266 E: harriss@accessolutions.com.au</p>	<p>LANDSCAPE: CONCEPT 4/20-22, HARRIS, NSW 2153 T: 02 9551 5266 E: harriss@accessolutions.com.au</p>	<p>HYDRAULIC: HYDRAULIC 170/20-22, HARRIS, NSW 2153 T: 02 9551 4221 E: harriss@accessolutions.com.au</p>	<p>QUANTITY SURVEY: QUANTITY SURVEY CONSULTANTS 4/20-22, HARRIS, NSW 2153 T: 02 9551 5266 E: harriss@accessolutions.com.au</p>	<p>TRAFFIC: TRAFFIC 4/20-22, HARRIS, NSW 2153 T: 02 9551 5266 E: harriss@accessolutions.com.au</p>	<p>REMARKS: DATE: 29/09/2017 PROJECT ARCHITECT: JA PROJECT DESIGNER: GA</p>	<p>SCALE: 1:200</p>	<p>DATE: 29/09/2017</p>	<p>PROJECT NUMBER: A 1401</p>



External Walls:
 -200mm plastered concrete block: R1.0 insulation: plasterboard lined
 -Curtain Wall: 5mm Glass: air gap: 5mm glass: air gap: R2.0 insulation: 13mm plasterboard lined.

Internal Walls:
 -Within Unit: Plasterboard on studs (R1.0 insul.)
 -Party Wall: 200mm concrete bloc: plasterboard lined (r insulation)

Windows:
 Aluminium Double Glazed Air Fill High Solar Gain low-E - Clear: U = 4.30; SHGC = 0.53

Ceiling: Plasterboard (no insulation)

Roof: (units 501 - 504): Concrete slab 150mm - Tile walki surface - R2.0 insulation under slab - Susp. Ceiling under (medium colour)

Floor: Suspended Concrete slab: no insulation

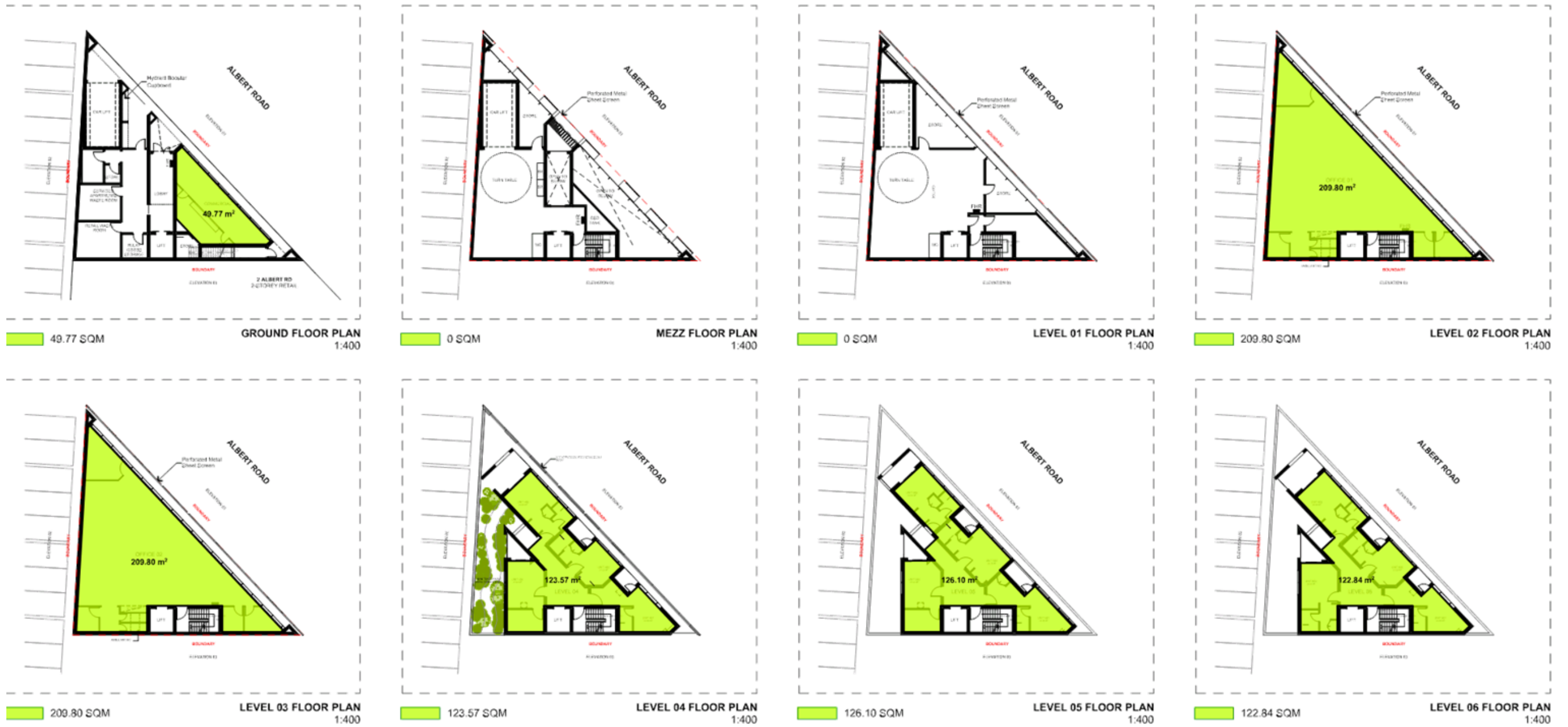
Floor Covering: Ceramic tiles in wet areas and carpet elsewhere.

Wall Exhaust fans & Downlights: must be sealed

SECTION BB
1:200



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GFA CALCULATION

SITE AREA: 282 SQM
 PERMISSIBLE FSR: 3:1
 PERMISSIBLE GFA: 846 SQM

844.34 SQM

TOTAL GFA: 844.34
 TOTAL FSR: 2.994:1



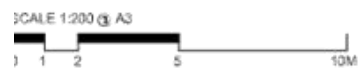
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			<p>LANDSCAPING: CONCEPT Sally Hill, 101 Waterloo, Canberra NSW 2602 T: 02 6121 1912 E: sally@landscape.com.au</p>	<p>PLANNING: URBAN ENVIRONMENTAL PLANNING 1/101-102, Waterloo, NSW 2110 T: 02 9515 4141 E: info@accessolutions.com.au</p>	<p>TRAFFIC: REMARK 100-102, Waterloo, NSW 2110 T: 02 9515 4141 E: info@accessolutions.com.au</p>	<p>PROJECT ARCHITECT: JAU</p>	<p>PROJECT DESIGNER: IGA</p>	<p>DATE: 29/09/2017</p>	<p>SCALE: 1:400</p>	<p>PROJECT NUMBER: DA</p>	<p>PROJECT NUMBER: A 2001</p>



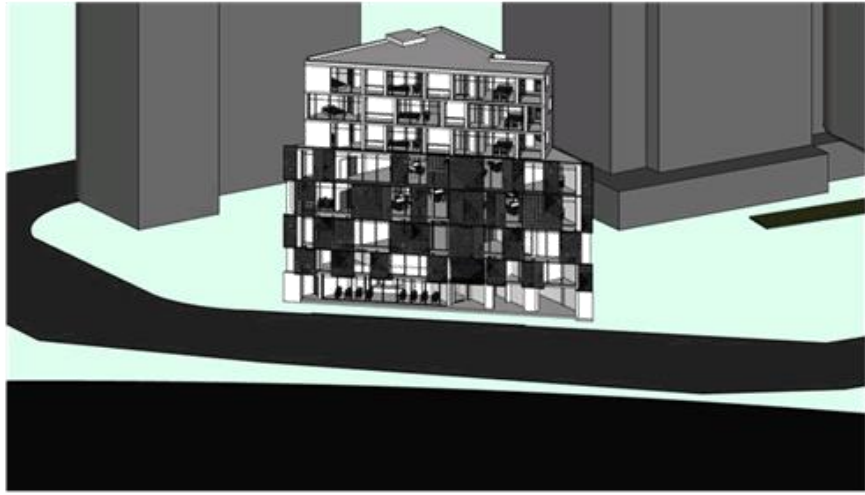
SOLAR ACCESS STUDY

- ≥ 2H SOLAR ACCESS
- NO SOLAR ACCESS
- NO DIRECT SUNLIGHT

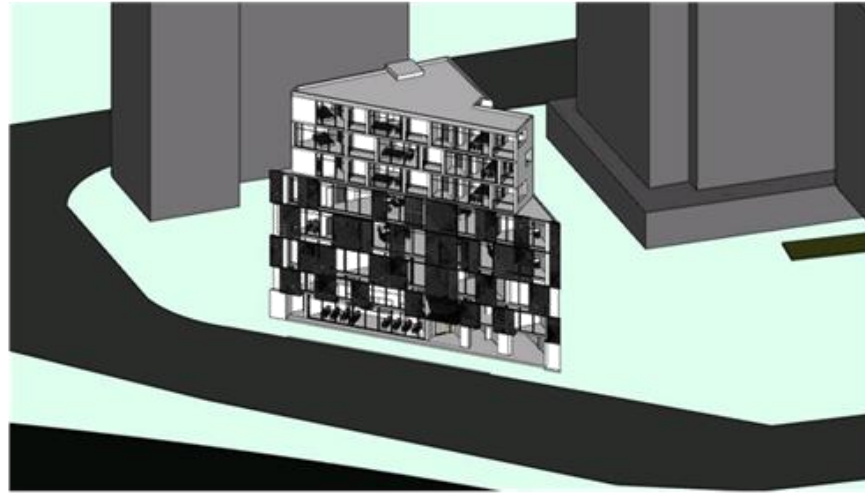
SOLAR ACCESS ≥ 2HRS: 12 (100%)
 LIMITED SOLAR ACCESS: 0 (0%)
 NO DIRECT SUNLIGHT: 0 (0%)
 TOTAL NUMBER OF UNITS: 12



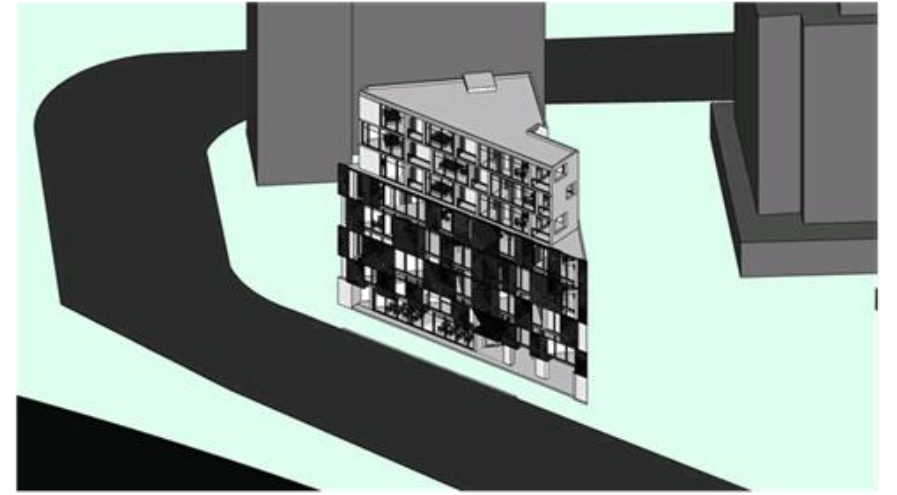
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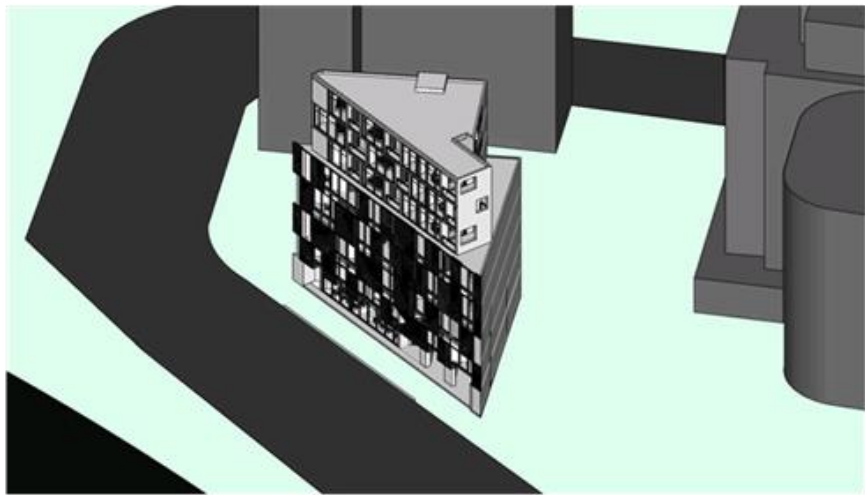
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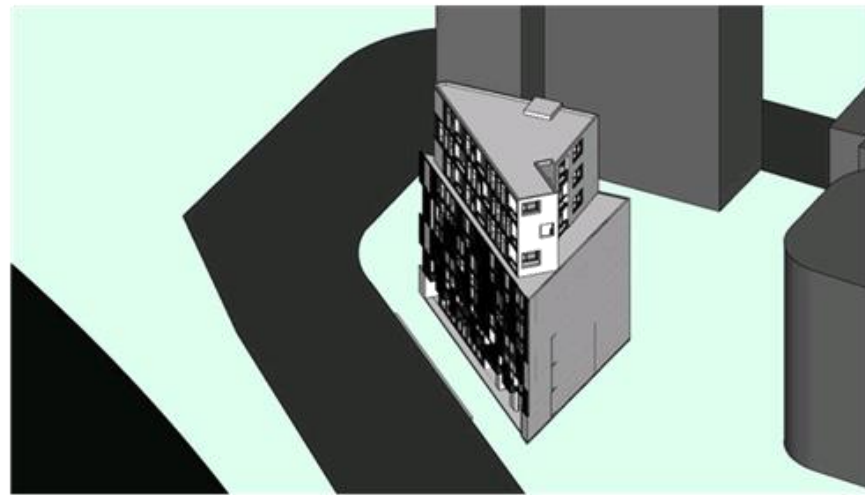
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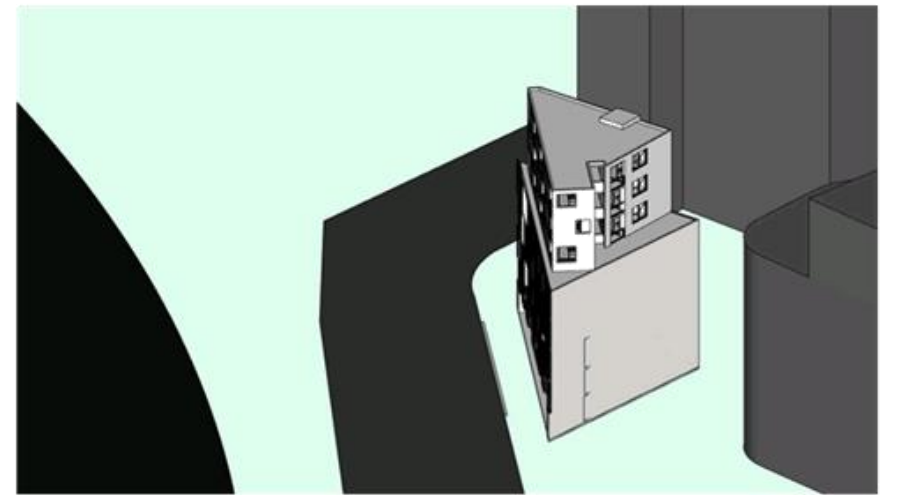
11 AM



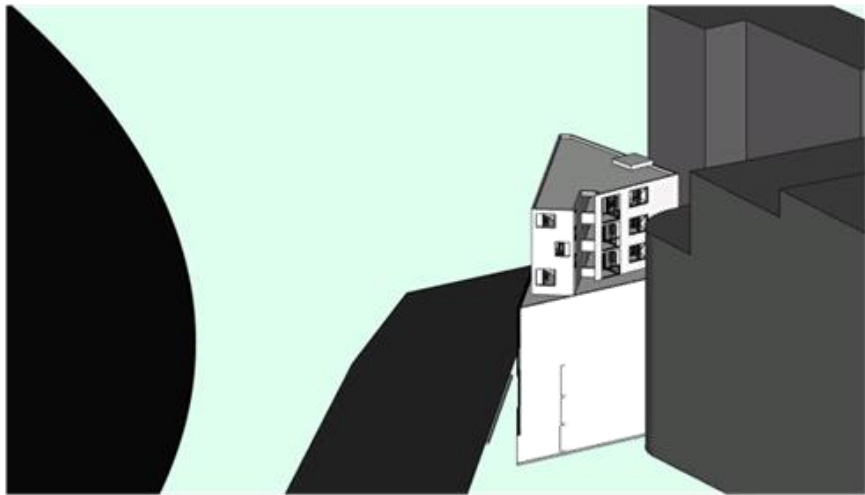
12 PM



1 PM




2 PM



3 PM

SOLAR ACCESS STUDY

 SOLAR ACCESS TO LIVING ROOMS AND PRIVATE OPEN SPACES

SOLAR ACCESS ≥ 2 HRS: 12 (100%)
 LIMITED SOLAR ACCESS: 0 (0%)
 NO DIRECT SUNLIGHT: 0 (0%)
 TOTAL NUMBER OF UNITS: 12



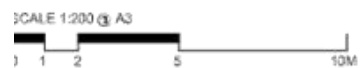
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CROSS-VENTILATION STUDY

- CROSS-VENTILATED
- NOT CROSS-VENTILATED

CROSS VENTILATED: 6 (50%)
 NOT CROSS VENTILATED: 6 (50%)
 TOTAL NUMBER OF UNITS: 12



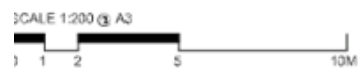
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LANDSCAPE CALCULATION

- DEEP SOIL
- LANDSCAPING

DEEP SOIL: 0 SQM (0%)
 LANDSCAPING: 46.01 SQM (16.3%)



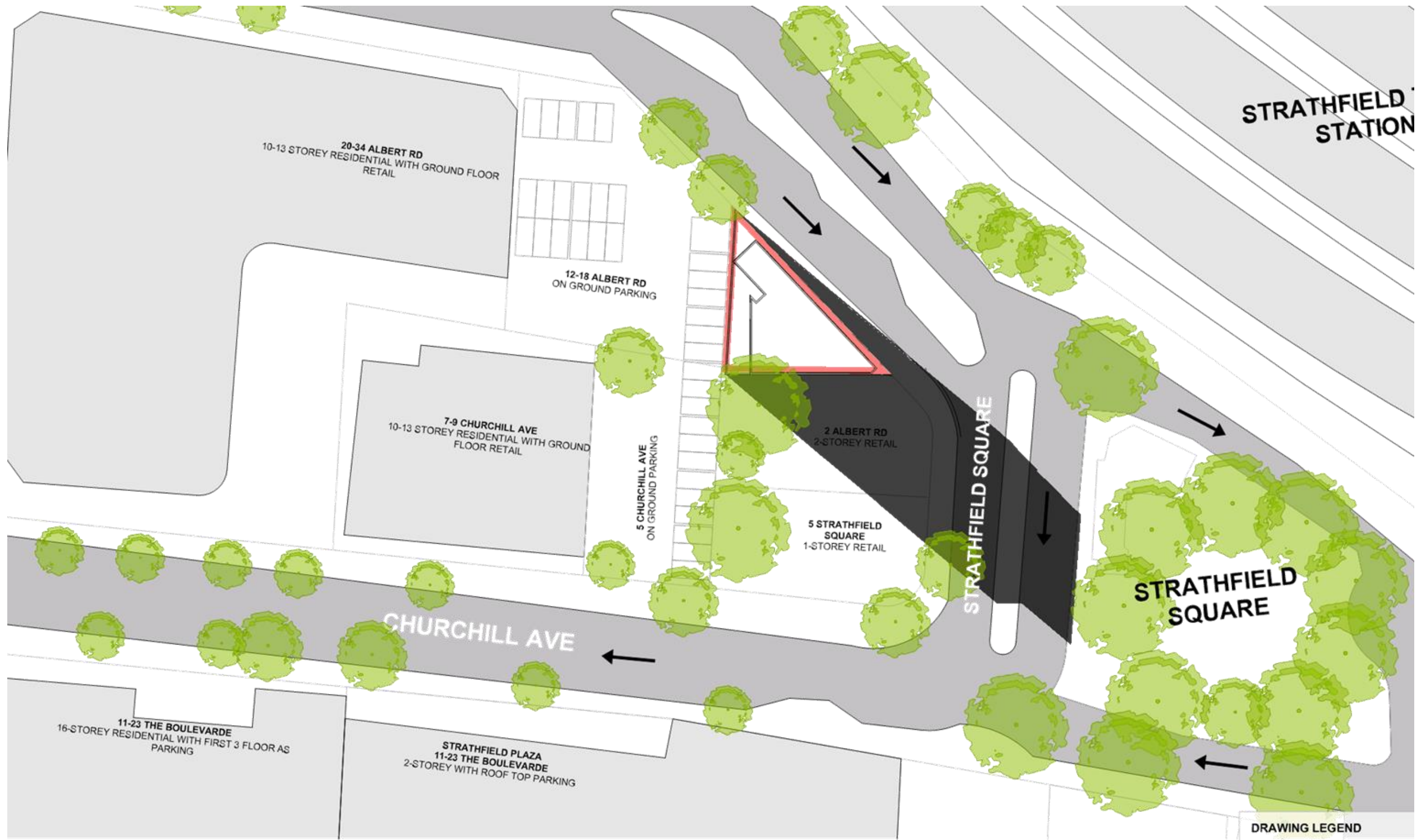
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DRAWING LEGEND

- PROPOSED DEVELOPMENT
- PROPOSED SHADOW 21 JUNE WINTER SOLSTICE

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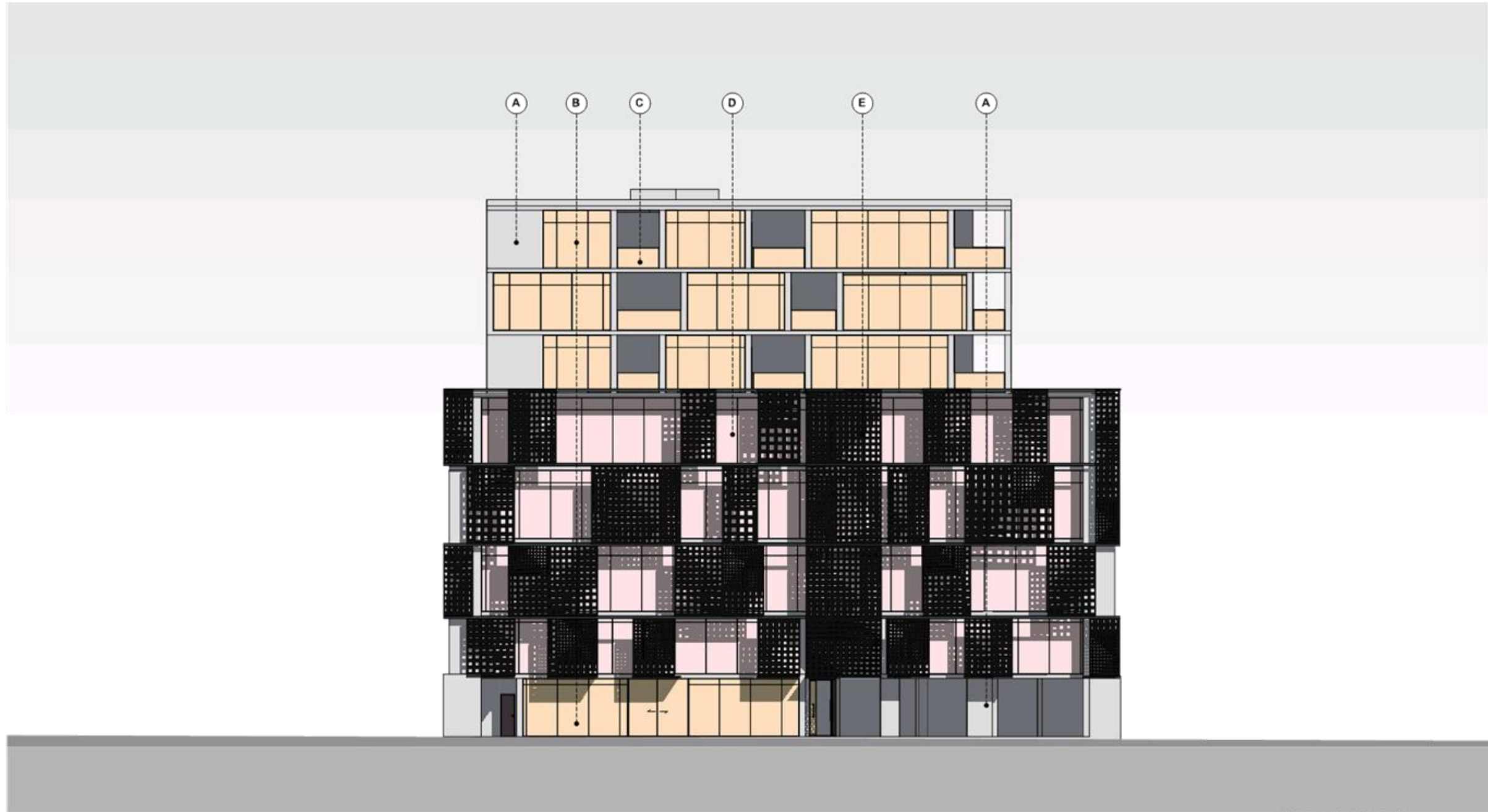


DRAWING LEGEND

- PROPOSED DEVELOPMENT
- PROPOSED SHADOW 21 JUNE WINTER SOLSTICE



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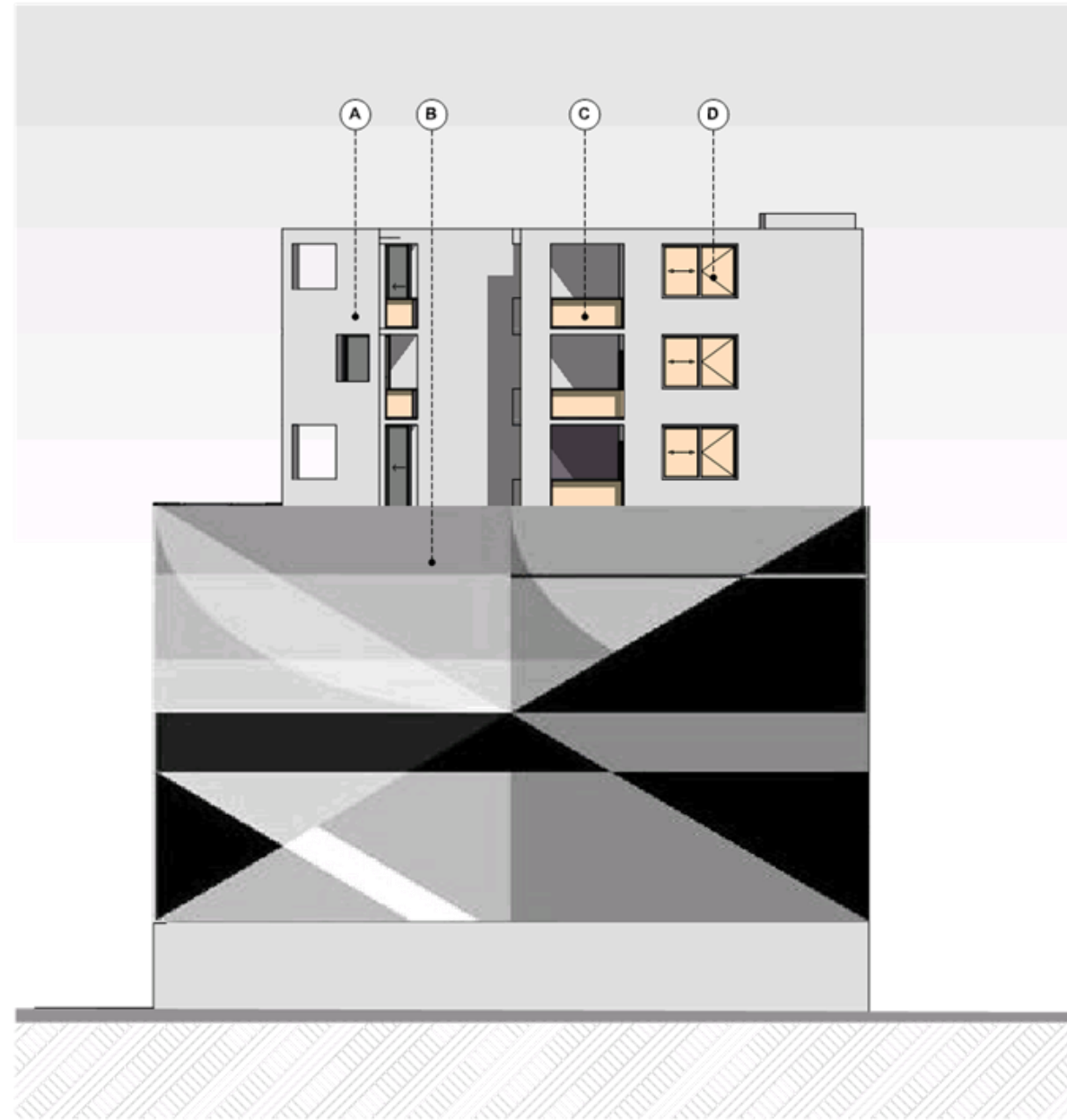


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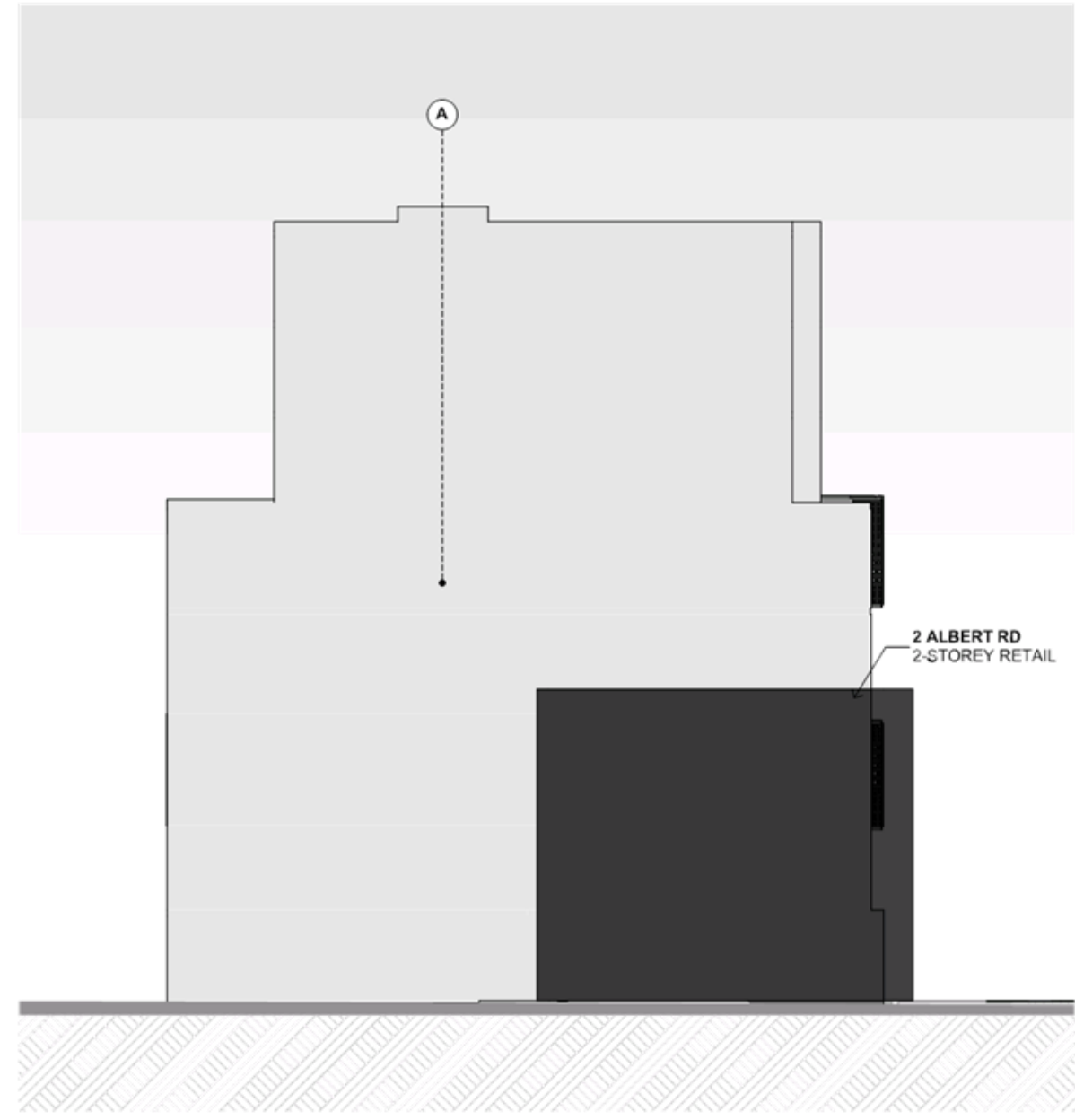


SCALE 1:200 @ A3
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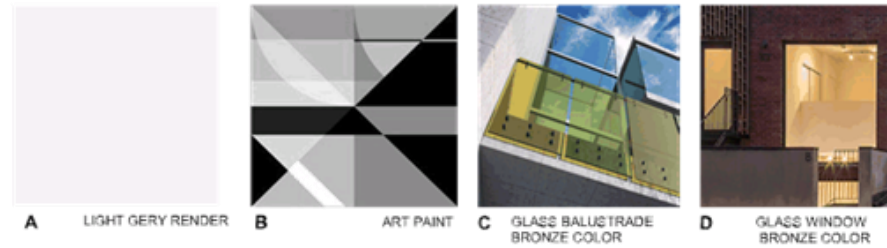
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ELEVATION 02
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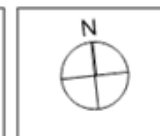
ELEVATION 03
1:200



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A3
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Date: []

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TO: Strathfield Local Planning Panel Meeting - 5 July 2018
REPORT: SLPP – Report No. 4
SUBJECT: DA2017/194 - 18 MARLBOROUGH ROAD, HOMEBUSH WEST
LOT 12 SECTION 1 DP 827
DA NO. DA2017/194

SUMMARY

Proposal: Demolition of existing structures and construction of a part 4, part 5 storey boarding house development with (49) lodger rooms with a single level of basement parking under the Affordable Rental Housing SEPP 2009.

Applicant: Liquid Design Pty Ltd

Owner: Edward Elias

Date of lodgement: 20 December 2017

Notification period: 16 January 2018 to 6 February 2018

Submissions received: Ten (10) written submissions received

Assessment officer: KL

Estimated cost of works: \$5,470,437

Zoning: R3 – Medium Density Residential - SLEP 2012

Heritage: N/A

Flood affected: No

Is a Clause 4.6 variation proposed? Yes

Extent of the variation supported? 11.4%

Peer review of Clause 4.6 variation: Yes

RECOMMENDATION OF OFFICER: APPROVAL

EXECUTIVE SUMMARY

Approval is sought for demolition of existing structures and construction of a part 4, part 5 storey boarding house development with (49) lodger rooms with a single level of basement parking under the Affordable Rental Housing SEPP 2009.

The application was notified under Part L of the Strathfield Development Control Plan 2005. Ten (10) written submissions were received raising concerns regarding on-site car parking, overdevelopment, lack of public transport and infrastructure.

The proposed development is of a contemporary design compatible with recently constructed residential flat buildings within the surrounding streetscape. The built form is compatible with the desired medium density residential character of the locality and includes two (2) ground communal open space and one (1) communal living area. Whilst it is noted that there is a non-compliance with the proposed height, it is contained within the roof structure and is considered acceptable.

Overall, the proposal presents a sound development outcome for the site and is recommended for approval.

**DA2017/194 - 18 Marlborough Road, Homebush West
Lot 12 Section 1 DP 827 (Cont'd)****BACKGROUND****20 December 2017**

The Development Application was lodged to Council.

22 March 2018

A deferral letter was sent to the applicant raising a number of concerns. These concerns included not submitting a complying survey plan, basement, off-street parking arrangements, communal areas, request to submit an arborist report and exceeding the maximum permissible height on the subject site.

17 April 2018

A response letter was submitted to Council addressing the concerns raised, however a Cl.4.6 statement was not submitted to address contravention of the Height of Buildings development standard.

18 June 2018

A Statement pursuant to Cl.4.6 of SLEP2012 was submitted seeking dispensation from the Height of Buildings development standard contained within SLEP2012

DESCRIPTION OF THE SITE AND LOCALITY

The subject site is legally described as Lot 12 Section 1 DP 827 and is commonly known as 18 Marlborough Road, Homebush West. The site is located on the western side of road and has an area of 929m².

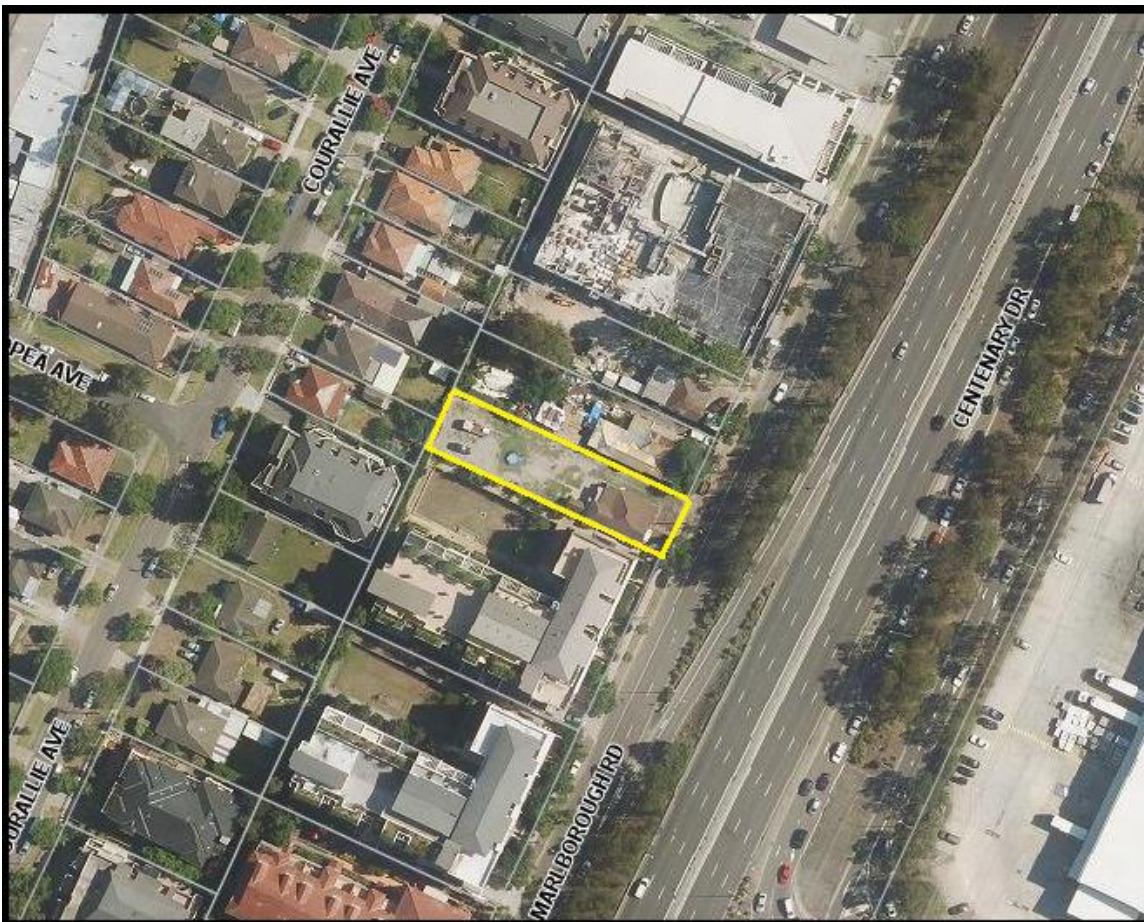


Figure 1: Locality plan

**DA2017/194 - 18 Marlborough Road, Homebush West
Lot 12 Section 1 DP 827 (Cont'd)**

The existing streetscape is undergoing a state of transition with dwelling house styles varying from single storey fibro, single and two (2) storey exposed facebrick and rendered masonry to 3-4 storey residential flat buildings.



Figure 2: Streetview of the subject site

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for demolition of existing structures and construction of a part 4, part 5 storey boarding house development with (49) lodger rooms with a single level of basement parking under the Affordable Rental Housing SEPP 2009.

The specific elements of the proposal are:

Demolition:

- Demolition of the existing structures

Basement level:

- Sixteen (16) stacked parking spaces;
- Three (3) standard parking spaces;
- One (1) accessible parking space;
- Laundry;
- Garbage room;
- Eleven (11) motorcycles spaces; and
- Twelve (12) bicycle spaces

**DA2017/194 - 18 Marlborough Road, Homebush West
Lot 12 Section 1 DP 827 (Cont'd)**

Ground floor level:

- One (1) Manager's room;
- Five (5) lodger rooms;
- One (1) Communal area;
- Two (2) Communal outdoor area; and
- Two (2) Lifts and stairs.

First floor level:

- 13 lodger rooms; and
- One (1) laundry;

Second floor level:

- 13 lodger rooms; and
- One (1) laundry.

Third floor level:

- 12 lodger rooms;
- One (1) communal room; and
- One (1) laundry.

Fourth floor level:

- Six (6) lodger rooms; and
- One (1) laundry.

External works:

- Associated landscape works.

The table below outlines the summary of the mix of boarding rooms:

	Single Rooms	Double Rooms	Total Rooms	Total occupants
Manager	-	1	1	2
Ground Floor	4	1	5	6
Level 1	2	11	13	24
Level 2	2	11	13	24
Level 3	2	10	12	22
Level 4	-	6	6	12
Total	10	40	50	90

Table 1: summary of the boarding rooms

REFERRALS

INTERNAL REFERRALS

Engineering Comments

Council's Engineer has commented on the proposal as follows:

*"I have referred to the development application referenced above and reviewed the stormwater drainage concept plan prepared by **ALPHA ENGINEERING & DEVELOPMENT rev D drawing no. A7184-COVER – A7184-SW05 dated 30.10.2017**. The subject site has a natural fall to the rear, but proposed easement through rear adjoining property has enabled the applicant to submit a compliant design. The provision of water sensitive urban design is not required as the site is less than 2000m². The site discharges to Council's drainage system in Courallie Avenue, Homebush West by gravity means via the proposed below ground OSD tank and the easement. The concept plan indicates all impervious and*

**DA2017/194 - 18 Marlborough Road, Homebush West
Lot 12 Section 1 DP 827 (Cont'd)**

pervious areas drain into the proposed below ground OSD tank by gravity means via rainwater outlets, planter box drains and floor drains. The subsoil seepage around basement perimeter drain into pump out tank via subsoil drainage and the basement access ramp via grated trench drain both by gravity means. The rising main connects to the below ground OSD tank. The OSD tank has been designed with internal mechanism to negate the likelihood of internal flooding. From an engineering perspective, the concept plan is feasible and there are no objections to its approval subject to the recommended conditions of consent."

Council's Engineer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

Waste Comments

Council's Waste Officer has commented on the proposal as follows:

- i. "Bulky Waste storage room must be a minimum of 21m². Arrangements must be in place regarding the regular maintenance and cleaning of waste management facilities.*
- ii. Signage for bin bay can be collected from Council."*

Council's Waste Officer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

Landscaping Comments

Council's Tree Coordinator offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

Traffic Comments

Council's Traffic Engineer has commented on the proposal as follows:

"It has been noted that car stacking system is proposed for this development. Section 3.5 of AS 2890.1 has a requirement of storage area to be designed to accommodate 98 percentile of queue lengths to ensure that queue of vehicles awaiting installation do not extend beyond the property boundary of parking facility."

Council's Traffic Engineer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

EXTERNAL REFERRALS

RMS Comments

The application was referred to the Senior Land Use Planner – South East Precinct – Sydney Division of Road and Maritime Services who commented on the proposal as follows:

"Road and Maritime has reviewed the proposed development and the documentation provides concurrence, subject to the recommended conditions of consent."

The Senior Land Use Planner raised no objections to the proposal, subject to the imposition of recommended conditions of consent.

DA2017/194 - 18 Marlborough Road, Homebush West
Lot 12 Section 1 DP 827 (Cont'd)

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within Section 4.15 of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

4.15(1)(a) the provisions of:

(i) any environmental planning instrument

The following Environmental Planning Instrument's (EPI) are applicable in the assessment of the subject application:

- *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017*
- *State Environmental Planning Policy No. 55 – Remediation of Land*
- *State Environmental Planning Policy (Affordable Rental Housing) 2009*
- *Strathfield Local Environmental Plan 2012*
- Strathfield Development Control Plan 2005
 - Part C – Multiple-Unit Housing
 - Part H – Waste Minimisation and Management Plan

An assessment of the proposal against the relevant provisions of each of these EPI's is provided below.

State Environmental Planning Policy No 55 – Remediation of Land

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations. Therefore, the objectives outlined within SEPP55 are considered to be satisfied.

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site. No tree removal is proposed as a part of this Development Application. Therefore, the objectives outline within the SEPP (Vegetation in Non-Rural Areas) are considered to be satisfied.

State Environmental Planning Policy (Affordable Rental Housing) 2009

The proposed development has been lodged under Part 2, Division 3 of the *ARH SEPP 2009* which relates to the provision of 'boarding houses'.

An assessment of the development against the development standards for boarding houses under the *ARH SEPP 2009* is presented in the table below.

It is relevant to note that the *ARH SEPP 2009* states that Council is unable to refuse an application where it complies with the minimum standards provided by Clause 29 (refer to shaded section of table).

DA2017/194 - 18 Marlborough Road, Homebush West
 Lot 12 Section 1 DP 827 (Cont'd)

Clause	Development Control	Required	Proposal	Compliance
26	Permissibility	Permissible in the following zones: <ul style="list-style-type: none"> • R2 Low Density Residential • R3 Medium Density Residential • R4 High Density Residential • B1 Neighbourhood Centre • B2 Local Centre • B4 Mixed Use 	The site is located within the R3 Medium Density Residential zone.	Yes.
29 Note: Unable to refuse based on compliance these standards	FSR	Max as per SLEP 2012: 1.45:1 (1,347.05m ²) PLUS incentive of 0.5:1(240.25m ²) if the max FSR is <2.5:1 = 1.95:1 (1,811.55m ²)	1.87:1 (1,735.01m ²)	Yes.
	Height	Max as per SLEP: 14m	15.6M	No. Refer to SLEP 2012 section.
	Landscaping	Front setback is compatible with streetscape	The proposed front setback is appropriate as the front setbacks along the street vary from 6m to 9m including dwellings and residential flat buildings.	Yes
	Solar Access	At least one (1) common area receives at least three (3) hours of direct sunlight between 9am and 3pm, mid-winter	The eastern facing communal living room receives 3 hours of solar access.	Yes.
	Private Open Space	Lodgers: Min 20m ² with min. dimension of 3m	An area of more than 20m ² of communal open space is to be provided at Ground Floor Level with dimensions meeting the requirements. An area of 9m ² of private open space is to be provided adjacent to the Manager's room at the ground floor level which meets the requirements of the SEPP.	Yes.
	Parking	In a 'non-accessible area': 0.5 spaces per room plus one per employee that resides on-site. = as (49) rooms are proposed, plus one (1) manager.	Twenty (20) spaces are provided, eight (8) of which are achieved using car stacker technology. However, insufficient information	No.

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	Dwelling size	Therefore, (25) spaces are required. Single: min 12m ² Other: min 16m ² May have a kitchen/bathroom however is not required to.	pertaining to compliance with AS 2890.1. Single: min 13m ² Double: min 16m ² All rooms are provided with private bathrooms and kitchens.	Yes Yes
30	Standards for Boarding Houses	One (1) communal living room required where there are five (5) or more rooms No boarding room > 25m ² No boarding room occupied by > two (2) adult lodgers Adequate bathroom and kitchen facilities available Boarding House Manager where capacity of > 20 lodgers One (1) bicycle space and one (1) motorcycle space per five (5) boarding rooms. Therefore, (10) spaces required.	One (1) communal living room is provided on Ground Floor and one (1) on Level 6. Max 18m ² Only single and double rooms are proposed. Each room provides bathroom and kitchen facilities. A mixture of individual and communal laundry facilities are proposed. A manager room has been provided. (11) motorcycle and (11) bicycle spaces have been provided.	Yes. Yes. Yes. Yes. Yes.
30A	Character	A consent authority must not consent to development to which this division applies unless it has taken into consideration whether the design of the development is compatible with the character of the local area.	During the assessment process exposed face brick was incorporated into the design so as to be more compatible with the colours and materials of existing development in the streetscape.	Yes.

Comment: The proposed development was prepared and lodged to Council prior to the amendment to the car parking standards altered in April 2018 which required developments pursuant to the ARH SEPP 2009 to provide additional parking spaces. Consequently, the proposal provides a shortfall of five (5) spaces under the amended car parking standards.

The submitted architectural plans indicate that an additional car parking space may be achievable utilising the 'Evolution Parking System' on parking no.19. This would require the relocation of the accessible parking area to an alternate parking space, and achieving total of (21) car parking spaces. Whilst a complying number of car parking spaces cannot be achieved, alternate transport methods are provided with excess motorcycle and bicycle spaces. Therefore, non-compliance to the number of car parking spaces is considered acceptable in this situation.

Strathfield Local Environmental Plan (SLEP) 2012

An assessment of the proposal against the general aims of *SLEP 2012* is included below:

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Cl. 1.2(2) Aims	Complies
(a) <i>To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield</i>	Yes
(b) <i>To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development</i>	Yes
(c) <i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	Yes
(d) <i>To provide opportunities for economic growth that will enhance the local community</i>	Yes
(e) <i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	Yes
(f) <i>To identify and protect environmental and cultural heritage</i>	Yes
(g) <i>To promote opportunities for social, cultural and community activities</i>	Yes
(h) <i>To minimise risk to the community by identifying land subject to flooding and restricting incompatible development</i>	Yes

Comments: The design of the development from a streetscape context is appropriate for the site and will integrate with the transitioning low density to medium density nature of Marlborough Road. The proposed use of the site as a boarding house provides diversity in housing options within the LGA.

Permissibility

The subject site is zoned R3 – Medium Density Residential under *Strathfield Local Environmental Plan (SLEP) 2012*.

'Boarding Houses' are permissible with development consent in the R3 – Medium Density Residential zone.

SLEP 2012 defines Boarding Houses' as a building that:

- "(a) is wholly or partly let in lodgings, and*
- (b) provides lodgers with a principal place of residence for 3 months or more, and*
- (c) may have shared facilities, such as a communal living room, bathroom, kitchen or laundry, and*
- (d) has rooms, some or all of which may have private kitchen and bathroom facilities, that accommodate one or more lodgers, but does not include backpackers' accommodation, a group home, hotel or motel accommodation, seniors housing or a serviced apartment."*

The proposed development is consistent with the definition contained within SLEP 2012.

Zone Objectives

An assessment of the proposal against the objectives of the R3 – Medium Density Residential Zone is included below:

Objectives	Complies
• <i>To provide for the housing needs of the community within a medium density residential environment.</i>	Yes
• <i>To provide a variety of housing types within a medium density residential environment.</i>	Yes
• <i>To enable other land uses that provide facilities or services to meet the day to day needs of residents.</i>	Yes

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Comments: The proposed boarding house development achieves the objectives of the R3 zone in that it is consistent with the transition of the streetscape from a low to medium density residential environment providing diversity in housing options within the LGA.

Part 4: Principal development standards

An assessment of the proposal against the relevant provisions contained within Part 4 of the SLEP 2012 is provided below.

Height of building

Cl.	Standard	Controls	Proposed	Complies
4.3	Height of building	14m	15.6m	No
Objectives				Complies
(a)	To ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area			Yes
(b)	To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area			Yes
(c)	To achieve a diversity of small and large development options.			Yes

Comments: The proposal seeks to construct a part four (4) storey, part five (5) storey boarding house with a maximum building height of 15.6m. The height non-compliance is contained to a small portion of the roof structure. A Cl.4.6 statement was provided to justify a request for dispensation. As the non-compliance is restricted to the roof structure and does not constitute additional floor space the proposed height variation of the development was considered acceptable.

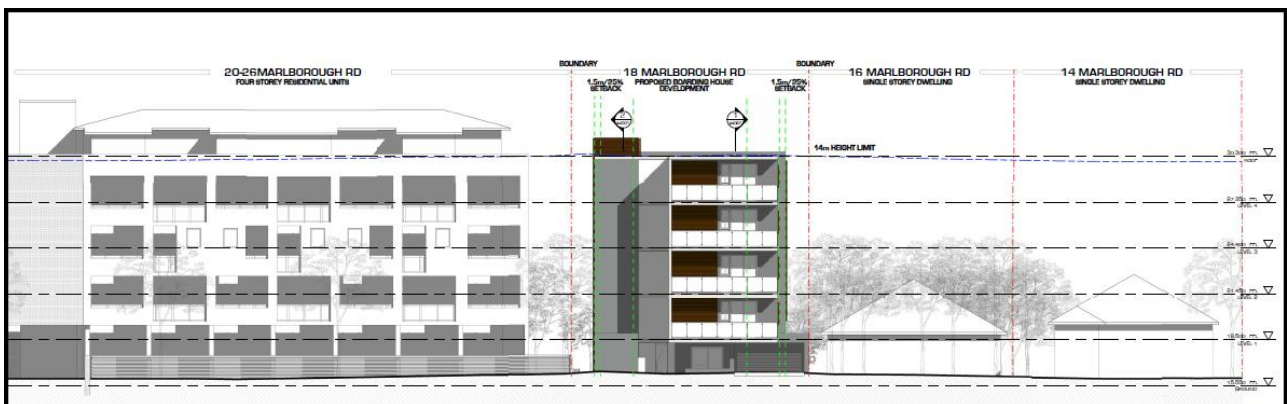


Figure 3: Front (Marlborough Road) Elevation of the proposed development illustrating height non-compliance

Floor space ratio

Cl.	Standard	Controls	Proposed	Complies
4.4	Floor space ratio	Max as per SLEP 2012: 1.45:1 (1,347.05m ²) PLUS incentive of 0.5:1(240.25m ²) if the max FSR is <2.5:1 = 1.95:1 (1,811.55m ²)	1.87:1 (1,735.01m ²)	Yes
Objectives				Complies
(a)	To ensure that dwellings are in keeping with the built form character of the local area			Yes
(b)	To provide consistency in the bulk and scale of new dwellings in residential areas			Yes

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(c)	<i>To minimise the impact of new development on the amenity of adjoining properties</i>	Yes
(d)	<i>To minimise the impact of development on heritage conservation areas and heritage items</i>	Yes
(e)	<i>In relation to Strathfield Town Centre:</i> <i>i. to encourage consolidation and a sustainable integrated land use and transport development around key public transport infrastructure, and</i> <i>ii. to provide space for the strategic implementation of economic, social and cultural goals that create an active, lively and people-oriented development</i>	Yes
(f)	<i>In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor</i>	Yes

Comments: The proposed Floor Space Ratio (FSR) complies with the maximum permissible FSR for the subject site.

Clause 4.6 Exceptions to Development Standards

Under Clause 4.6 of the SLEP 2012, the consent authority may consider a variation, where that variation would achieve a better outcome.

Clause 4.6(3) of the SLEP 2012 states the following:

“Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:

- (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case; and*
- (b) that there are sufficient environmental planning grounds to justify contravening the development standard.”*

The proposed development fails to comply with the maximum height of building permitted under Clause 4.3 of the SLEP 2012. The application proposes a maximum height of 15.6m. The extent of the variation is 1.6m and constitutes a contravention of the development standard by 11.4%. The area of non-compliance relates to roof structure and does not constitute additional floor space.

In *Randwick City Council v Micaul Holdings Pty Ltd* [2016] NSWLEC 7 Preston CJ outlined that Commissioners on appeal exercising the functions of the consent authority have power to grant consent to developments which contravene the building height standard (cl4.6(2)), however, they cannot grant such a development consent unless they:

- 1. Are satisfied that the proposed development will be consistent with the objectives of the zone (cl4.6(4)(a)(ii)).*
- 2. Are satisfied that the proposed development will be consistent with the objectives of the standard in question (cl4.6(4)(a)(ii)).*
- 3. Have considered a written request which demonstrates that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case and they are satisfied that the matters required to be demonstrated have been adequately address (cl4.6(3)(a) and cl4.6(4)(a)(i)).*
- 4. Have considered a written request which demonstrates that there are sufficient environmental planning grounds to justify contravening the development standard (cl4.6(3)(b) and cl4.6(4)(a)(i)).*

This subject site is zoned R3 – Medium Density Residential pursuant to SLEP 2012. The objectives of the R3 Medium Density Residential are:

- To provide for the housing needs of the community within a medium density residential environment.*

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- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

The objectives of the height of buildings development standard contained in Clause 4.3 of LEP 2012 are:

- To ensure that development is of height that is generally compatible with or which improves the appearance of the existing area,*
- To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area,*
- To achieve a diversity of small and large development options.*

In *Wehbe v Pittwater Council* [2007] NSWLEC 827 Preston CJ comprehensively examines a number of ways of establishing that compliance with a development standard is unreasonable or unnecessary, and states:

“The most commonly invoked way is to establish that compliance with the development standard is unreasonable or unnecessary because the objectives of the development standard are achieved notwithstanding non-compliance with the standard...”

The rationale is that development standards are not ends in themselves but means of achieving goals. The ends are environmental or planning objectives. Compliance with a development standard is fixed as the usual means by which the relevant environmental or planning objective is able to be achieved. However, if the proposed development proffers an alternative means of achieving the objective, strict compliance with the standard would be unnecessary (it is achieved anyway) and unreasonable (no purpose would be served).”

The applicant has provided a written request that seeks to justifying the breach of maximum height of building permitted on the following grounds:

*“The non-compliance with the height of buildings development standard is confined to part of the proposed development. The degree of non-compliance is seen in the height plane diagram at **Figure 4**.*

To strictly apply the 14m maximum height of buildings development standard to the proposed development is considered to be unreasonable and unnecessary as the proposed development would provide a development which can meet the underlying objectives of the both the R3 Medium Density Residential zone and the Height of Buildings development standard in that:

- *The non-compliance would not be perceived from the majority of the public domain.*
- *The non-compliance with the development standard is modest and is largely a result of the development being for Affordable Housing which allows for an increase in floor space compared to a standard building.*
- *The proposed development will live in harmony with other development in the vicinity of the Site and, indeed, with other development which has been approved on land adjoining the Site which breaches the Height of Buildings development standard and, as such, is of a height that is generally compatible with the appearance of the existing area.*

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- *The proposed development will have negligible visual impact, will not disrupt views, and will not result in any loss of privacy to existing development and the public domain.*
- *The non-compliance with the height control has no impact on the setting of any items of environmental heritage or view corridors.*
- *The difference in the extent of impact between a development that achieves strict numerical compliance would not materially alter the overshadowing, privacy or visual impacts on adjoining properties.*
- *The proposed development leads to the optimum sustainable capacity height for the Site and the local area.”*

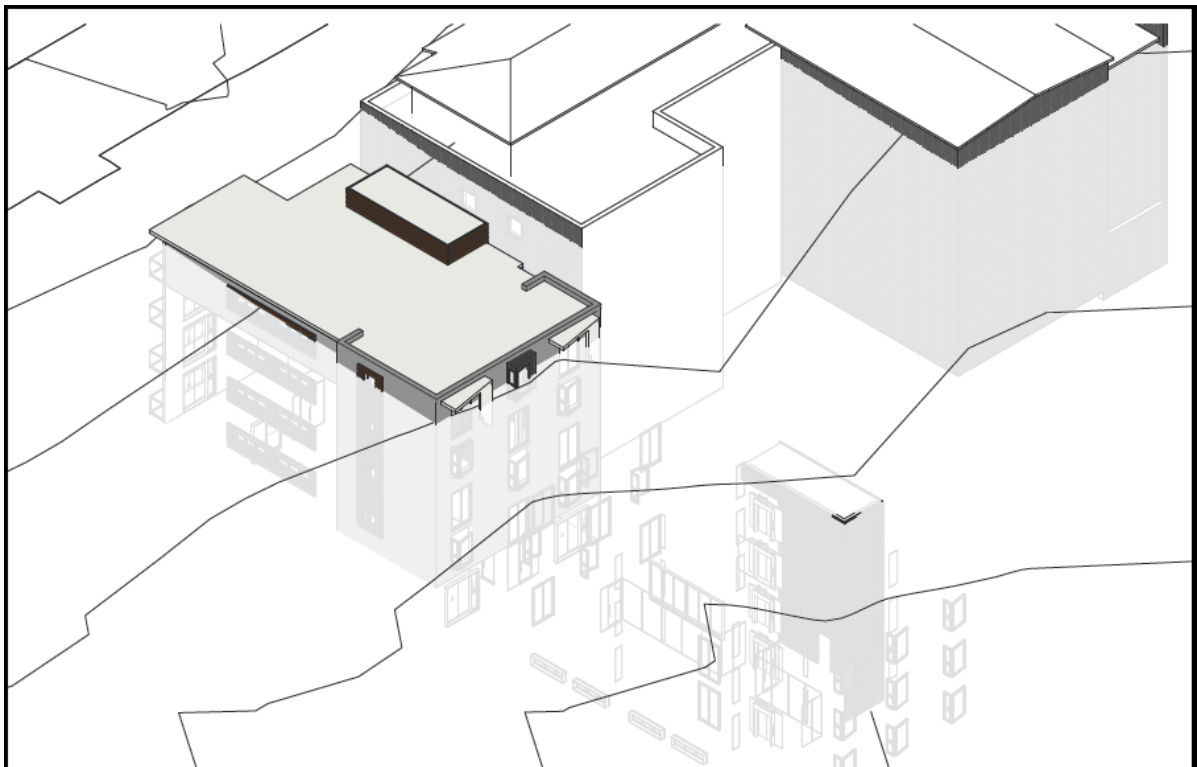


Figure 4: Height study (Liquid Design, 2017)

Clause 4.6(4) of the SLEP 2012 states the following:

“Development consent must not be granted for a development that contravenes a development standard unless:

(a) the consent authority is satisfied that:

(i) the applicant’s written request has adequately addressed the matters required to be demonstrated by sub-clause (3)

The extent of the proposed variation constitutes an additional height of 1.6m (11.4%), largely attributed via the proposed lift overrun on the eastern building fronting Marlborough Road. Should the proposed lift overrun be deleted, the variation would be significantly less, resulting in the maximum height of 14.6m and constituting an additional height of 0.6m and a contravention of 4.3%. A condition of consent is recommended to delete the proposed lift overrun to reduce the extent of the variation.

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The applicant's written request to justify the contravention of the building height standard adequately address the matters required to be demonstrated in sub-clause 4.6(3), specifically, that compliance with the standard is unnecessary or unreasonable in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the development standard. The written request is considered to provide sufficient substantive information on environmental planning grounds relating to streetscape, bulk and amenity to the adjoining properties.

(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

The proposal is considered to be consistent with the objectives of the development standard in that:

- The non-compliance with the development standard does not result in a scale of building that is out of character with the locality, nor will it be incompatible with the desired future character of the area.
- The non-compliance is insignificant compared to the size of the development and will not be discernible from any public space.

The site is Zoned R3 – Medium Density Residential under SLEP 2012 where development for the purposes of a 'boarding house' is permissible with consent. The proposal is generally consistent with the objectives of the R3 – Medium Density Residential Zone in that:

- The proposed boarding house development achieves the objectives of the R3 zone in that it is consistent with the transition of the streetscape from a low to medium density residential environment providing a specific type of housing option within the LGA.

(b) the concurrence of the Secretary has been obtained."

Council may assume the concurrence of the Director-General under the Planning Circular PS 08-003 issued in May 2008.

In conclusion, the applicant's written request to justify the contravention of the Height of Buildings development standard is considered to be well founded and supported. The applicant has satisfactorily demonstrated that compliance with the standard is unnecessary or unreasonable and that there are sufficient environmental planning grounds to justify a contravention of the development standard.

Part 6: Local Provisions

The relevant provisions contained within Part 6 of the SLEP 2012 are addressed below as part of this assessment:

6.1 Acid sulfate soils

The subject site is identified as having Class 5 soils and is located within 500m of Class 2 soils. As the development will not excavate below 5 AHD, an Acid Sulfate Soils Management Plan was not required. A Geotechnical Investigation Report also accompanied the development application raising no concerns regarding acid sulfate soil. As such, the proposed development has satisfied the requirements of Clause 6.1 of the *SLEP 2012*.

6.2 Earthworks

Appropriate conditions of consent are recommended so as to ensure compliance with the sediment erosion control plan. Conditions of consent that include the preparation of a dilapidation report to be provided to adjoining property owners is also recommended.

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6.4 Essential services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development.

4.15 (1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

4.151)(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

PART C – MULTIPLE-UNIT HOUSING

Section	Development Standard	Required	Proposal	Compliance
2.2	Site Requirements	Minimum site area of 1000m ² and a minimum street frontage of 30m.	N/A	Refer to ARH SEPP
	Building Street Setback	Front setback 9m. Exception where the predominant setback in the street is less than 9m.	A 4.8m front setback is provided to the streetscape elevation.	No.
	Rear Setback	Determined by the building envelope (6m).	6m rear setback is provided.	Yes.
	Side setback	4m	A 1.5m side setback has been provided to each elevation with exceptions to the basement entry.	No.
2.3	Dwelling Unit and Building Design	15% (7.3 rooms) of the development is required to be designed as adaptable housing for older people or people with disabilities.	The plans indicate that four (4) lodger rooms have been designed as accessible.	No.
	Dwelling Unit and Building Design for residential flat buildings	At least one main convenient entry is to have barrier free access to ground floor units (for people with disabilities)	Direct pedestrian access via the footpath from Marlborough Road. No front fencing is proposed.	Yes.

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	Dwelling Unit and Building Design	Walls greater than 10m in length to be broken down or staggered.	The northern elevation is provided with an appropriate level of articulation. Whilst minimal articulation has been provided to the southern elevation, a mixture of colours and finishes has been incorporated to visually break up the elevation.	Yes.
	Dwelling Unit and Building Design	Access to common areas without unnecessary barriers.	Common living room and corridors are made easily accessible and do not contain unnecessary barriers.	Yes.
	Dwelling Unit and Building Design	Parking for people with disabilities.	One (1) accessible parking space provided in basement.	Yes.
	Dwelling Unit and Building Design	Building materials and finishes are to be sympathetic to with the adjoining buildings and the streetscape.	Exposed facebrick was incorporated during the assessment process in a neutral/earthy colour palette to be consistent with the predominant materials and colours in the streetscape.	Yes.
	Unit Sizes and Lot Layout	1 bed = 70m ² 2 bed = 85m ² 3 bed = 100m ²	Refer to ARH SEPP	N/A
2.4.2.2	Solar Access	50% of the principle private open space achieves a minimum of 3 hours sunlight during the winter solstice.	Shadow Diagrams demonstrate that more than 50% of the principle private open space achieves a minimum of 3 hours sunlight during the winter solstice.	Yes.
	Solar Access	Solar access to habitable rooms and private open space of adjoining properties be provided for a minimum of 3 hours during the winter solstice.	Due to the orientation of the site, overshadowing of the southern adjoining property (residential flat building is unavoidable).	Yes
2.4.3	Natural Space Heating and Cooling	Reduce the need to artificially heat and cool dwellings.	All units are provided with at least one (1) substantial size window/opening to allow natural air into each room. The design of the corridor does not allow for cross ventilation. The application was accompanied with a Section J report.	Yes.
2.4.6	Water Management	Mandatory water storage 10 dwelling= 500lt / dwelling	Refer Part H discussion.	Yes.

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		each dwelling thereafter = 250lt/ dwelling		
2.5	Streetscape orientation	Compatible with the existing character and address the street frontage.	The proposed building is orientated to Marlborough Road and finished in an earthy and neutral colour palette incorporating exposed facebrick, timber and matte finished tiles. The colour palette and materials are consistent with existing dwellings and multi-storey buildings in Marlborough Road.	Yes.
	Streetscape orientation	Dwellings facing the street will have frontage and apparent access.	The only access is via the main lobby as there are no rooms on the ground floor directly facing the street.	Yes.
2.7	Open space and landscaping	40% of the total site area for 2-3 storey townhouses must equate to open space at ground level (this area can include driveways). 50% of RFBs site area to be open space at ground level.	Refer to ARH SEPP requirements	N/A
2.8	Privacy and Security	Windows are not to be located less than 9m apart from other dwellings.	Majority of the windows with potential for direct overlooking have been designed as highlight or frost windows to achieve visual privacy between the adjoining properties.	Yes.
		Casual surveillance of street and public areas.	Multiple windows and balconies of rooms facing Marlborough Road provide casual surveillance to the street.	Yes.
2.9	Car Parking	Car parking is required to be provided: 1 bed = 1 space 2 bed = 1.5 spaces 3 + bed = 2 spaces	Refer ARH SEPP	N/A
	Ramp Driveway Gradient/ design		In the event of approval condition of consent will be imposed to ensure compliance with Australia Standards.	Yes.

Comments:

Front Setback

The development proposes a 4.8m front setback from Marlborough Road. The front setbacks along Marlborough Road are varied and indistinct. Built forms along Marlborough Road are transitioning with emerging development located within the front setback alignment. The proposed

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development maintains the reduced setback as evident in the neighboring development at 20-26 Marlborough whilst preserving adequate separation between private and public domains. As such, the variation is deemed acceptable.

Side Setback

A 1.5m side setback has been provided to each elevation with exceptions to the basement entry. Compliance with 4m requirement is considered difficult due to the narrow width of the site (15.24m). Notwithstanding, the proposed side setback is not considered to result in an adverse impact in relation to the solar access where neighbouring property to the south will receive solar access across substantial parts of the front and rear yard. Furthermore, the proposed windows to the northern boundary have been lifted to 1.5m above floor level to ensure privacy of neighbouring properties are maintained. As such, the proposed 1.5m is considered acceptable in this regard.

Adaptable Rooms

The proposal nominates four accessible rooms a significant decrease than the eight (8) rooms required by the SDCDP. A condition of development consent requiring the adaption of an additional four rooms is proposed to ensure that a diversity in housing options is maintained for older people or people with mobility disabilities.

PART H - WASTE MANAGEMENT (SCDCP 2005)

The development application was accompanied by a Waste Management Plan stating that each resident will be responsible for taking the garbage and recycling from garage storage room located on the basement. The bins from the communal garbage room will be present to the kerbside for Council's services to pick-up. Council's Waste Manager has raised no objection subject to the imposition of recommended conditions of consent.

4.15 (1)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

(i) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601-1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) and does not involve the demolition of a building for the purposes of AS 2601 - 1991: *The Demolition of Structures*.

(ii) any coastal zone management plan

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea

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level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

The proposed development is not located on a site that is subject to flooding attributed to either Powell's Creek or Cook's River and is therefore not required to be considered under the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

All likely impacts have been addressed elsewhere in the report or are considered to be satisfactory and do not warrant further consideration.

4.15 (1)(c) the suitability of the site for the development

It is noted that the site is within the R3 Medium Density Residential zone, however it is not located in an accessible area pursuant to State Environmental Planning Policy (Affordable Rental Housing (2009)).

The provision of low cost rental housing in the form of a boarding house is considered a suitable form of development for the subject site. Overall, the proposed development is considered to be of a high quality construction which will positively contribute to the streetscape without adversely impacting upon the amenity of future lodgers and adjoining residents.

The proposed development is therefore considered suitable for the site.

4.15 (1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with Part L of the SCDCP 2005 from 16 January 2018 to 6 February 2018, and ten (10) submissions were received, raising the following concerns:

1. Overshadowing and solar access

Concerns were raised over the proposed height of the building mean lack of solar access on the neighbouring property.

Assessing officer's comments: Shadow diagrams submitted with the DA demonstrate that the neighbouring property to the south will receive solar access across substantial parts of the front and rear yard. Solar access is reasonable and exceeds minimum guidelines in the SCDCP 2005.

2. Construction Impacts

Concerns were raised in relation to construction impacts including construction traffic, dust, noise, vibration on neighbouring properties and resident health.

Assessing officer's comments: Construction impacts are addressed in the recommended conditions of consent. Recommended conditions include:

- construction site traffic management plan,
- works zone,
- dilapidation report of adjacent properties,
- geotechnical report,
- waste management plan,
- erosion and sediment control plan,
- demolition standards and fences.

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3. Lack of Privacy

Concerns were raised in relation to overlooking of adjacent residences.

Assessing officer's comments: The proposed windows to the northern boundary have been lifted to 1.5m above floor level to ensure privacy of neighbouring properties are maintained. In addition, windows to the rear on all levels are frosted to minimise overlooking to the private open spaces of adjoining properties.

4. Increase in traffic and inadequate parking

Concerns were raised in relation to increases in traffic and inadequate parking from the development.

Assessing officer's comments: The vehicle access driveways and car park design in the proposed development are legible and comply with relevant Australian Standards according to the traffic engineer's report submitted with the DA.

Traffic generation is projected to be relatively minor and will not have any unacceptable traffic implications for road network capacity according to the traffic engineer's report submitted with the DA.

5. Non-complying side setbacks

Concerns were raised in relation to the proposed side setback not meeting the minimum side setback requirement.

Assessing officer's comments: As previously mentioned in the report, a 1.5m side setback has been provided to each elevation with exceptions to the basement entry. Compliance with 4m requirement is considered difficult due to the narrow width of the site (15.24m). Notwithstanding, the proposed side setback is not considered to result in an adverse impact in relation to solar access where neighbouring property to the south will receive solar access across substantial parts of the front and rear yard. Furthermore, the proposed windows to the northern boundary have been lifted to 1.5m above floor level to ensure privacy of neighbouring properties are maintained. As such, the variation of the development control to 1.5m is acceptable in this regard.

6. Inadequate communal area

Concerns were raised in relation to the lack of communal area for possible 90+ residents in the building.

Assessing officer's comments: In accordance with ARH SEPP, communal open space of 100m² is required for the subject site. The proposed development includes two (2) outdoor communal area and one (1) indoor communal area totaling 169.47m². As such, the total communal area proposed with the development application is considered satisfactory.

7. Overdevelopment and exceeding height limit

Concerns were raised in relation to the proposed development exceeding the maximum permissible height limit of 14m.

Assessing officer's comments: A cl.4.6 statement was requested to substantiate the non-compliance with the Height of Buildings development standard. The reasons detailed by the applicant are considered satisfactory and acceptable. The proposed non-compliance is minor and is contained to a small portion of the roof structure being the rooms facing Marlborough Road. The

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non-compliance does not result in additional floor space and adverse impacts as a result of the additional height are considered negligible.

8. Bad access to Internet connection

Concerns were raised that there is poor internet connection in the area and it will get worse with so many people crammed into such a small development.

Assessing officer's comments: Access to social infrastructure including access to internet connection is not a matter of consideration under Section 4.15 of the Act.

9. No shops/shopping centres in the walking distance

Concerns were raised that there are no shops/shopping centres in the walking distance.

Assessing officer's comments: The subject site is in close proximity to Sydney Markets and approximately 1km from DFO Homebush.

10. There are no hospitals/universities/social infrastructure/local services anywhere near the area.

Concerns are raised that there are no hospitals/universities/social infrastructure and/or local services anywhere near the area.

Assessing officer's comments: The subject site is conveniently located near social infrastructure including Strathfield Private Hospital, the Australian Catholic University, Sydney Olympic Park and DFO Homebush.

4.15 (1)(e) the public interest

The public interest is best served by the consistent application of relevant Environmental Planning Instruments, Development Control Plans and Council Policies. As discussed throughout this report, the proposed development has been assessed against the relevant statutory provisions and is considered satisfactory. Therefore approval of the proposal would not be contrary to the public interest.

SECTION 7.11 CONTRIBUTIONS

Section 7.11 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Act reads as follows:

- "(1) If a consent authority is satisfied that development for which development consent is sought will or is likely to require the provision of or increase the demand for public amenities and public services within the area, the consent authority may grant the development consent subject to a condition requiring:*
- (a) the dedication of land free of cost, or*
 - (b) the payment of a monetary contribution,*
- or both.*
- (2) A condition referred to in subsection (1) may be imposed only to require a reasonable dedication or contribution for the provision, extension or augmentation of the public amenities and public services concerned."*

STRATHFIELD DIRECT SECTION 7.11 CONTRIBUTIONS PLAN

Section 7.11 Contributions are applicable to the proposed development in accordance with the Strathfield Direct Development Contributions Plan 2010-2030 as follows:

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Provision of Community Facilities	\$71,300.55
Provision of Major Open Space	\$324,396.15
Provision of Local Open Space	\$137,221.54
Provision Roads and traffic Management	\$25,464.41
Administration	\$6,148.07
TOTAL	\$564,530.72

CONCLUSION

The application has been assessed having regard to Section 4.15 of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions of consent.

RECOMMENDATION

That Development Application No. DA2017/194 for Demolition of existing structures and construction of a part 4, part 5 storey boarding house development with (49) lodger rooms with a single level of basement parking under the Affordable Rental Housing SEPP 2009 at 18 Marlborough Road, Homebush West be **APPROVED**, subject to the following conditions:

SPECIAL CONDITIONS (SC)

1. ADAPTABLE HOUSING

A minimum of eight (8) accessible rooms shall be provided. The plans shall be amended and nominate all required accessible rooms prior to the issue of a Construction Certificate.

(Reason: To ensure development provides adequate adaptable housing)

2. ADAPTABLE HOUSING COMPLIANCE

The proposed development including the eight (8) nominated adaptable units shall comply with the adaptable housing provisions of AS4299 – Adaptable Housing and AS1498 – Access and Mobility (Parts 1 and 2).

(Reason: To ensure development provides adequate adaptable housing)

3. RESIDENTIAL WASTE (SC)

The residential waste (both general waste and recycling) from the development shall be collected on a weekly basis via a walk-in-walk-out arrangement direct from the residential waste room. Bins shall not be left on the footpath for kerbside collection but within a designated on-site collection area. An agreement to this effect shall be entered into with Council, prior to any occupation of the premises with evidence of the agreement provided to the Principal Certifying Authority, prior to issue of the Construction Certificate.

Should Council not agree to enter into such an agreement, a private contractor is to be arranged to ensure waste is collected directly from the waste room and bins are not left kerbside for collection.

(Reason: To maintain streetscape amenity and ensure pedestrian safety.)

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4. BULKY WASTE STORAGE AREA

A designated Bulky Waste Storage Area shall be provided within proximity to the proposed garage room. The plans shall be amended to provide a designated Bulky Waste Storage area not less than 21sqm in area and be submitted to and approved by Council prior to the issue of a Construction Certificate.

(Reason: To ensure adequate waste storage facilities within the development)

5. GARBAGE STORAGE FACILITIES

The designated garbage room shall be of adequate size to accommodate the provision of the following:

- 14 x 240L General Waste Bins
- 5 x 240L Recycling Bins

The plans shall be amended to reflect the requirement and be submitted to Council and approved by Council prior to the issue of a Construction Certificate.

(Reason: To ensure adequate waste storage facilities within the development)

6. ONSITE COLLECTION AREA

A designated on-site waste collection area shall be provided for the temporary holding of bins awaiting waste collection. The on-site waste collection area shall be a minimum of 21sqm and adjoin a designated Waste Vehicle Standing Bay. The Waste Vehicle Standing Bay shall be located on suite and be capable of accommodating a waste collection vehicle during periods of waste collection.

(Reason: To avoid the proliferation of residential waste within public areas)

7. NOISE ASSESSMENT REPORT RECOMMENDATIONS (SC)

The recommendations contained within the Noise Assessment Report prepared by Acoustic Noise and Vibration Solutions, dated 28 July 2017, shall be fully complied with.

A qualified acoustic consultant shall be engaged during the design phase of the project to ensure the National Construction Code (NCC)/Building Code of Australia (BCA) acoustic requirements for sole-occupancies are achieved. A report demonstrating compliance shall be prepared and submitted to the Principal Certifying Authority, prior to the issue of any Construction Certificate.

(Reason: To ensure acoustic impacts from external roads, environmental noise, and between the serviced apartments and common spaces is acceptable)

8. BCA REPORT RECOMMENDATIONS (SC)

The recommendations contained within the BCA Report, prepared by Max Brightwell dated August 2017, and received by Council on 20.12.2017.

(Reason: To ensure the proposed development is capable of achieving compliance with the BCA.)

9. GEOTECHNICAL INVESTIGATIONS REPORT (SC)

The recommendations contained within the Geotechnical Investigations Report, prepared by Geo-environmental Engineering, Report ID. G17069HW-R01F

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(Reason: Site stability)

10. STORAGE AREA (SC)

Storage area is to be designed in accordance with Section 3.5 of AS2890.1.

(Reason: Compliance with Section 3.5 of AS2890.1)

11. CAR PARKING SPACES (SC)

A total of (21) car parking spaces, eleven (11) motorcycle spaces and eleven (11) bicycle spaces shall be provided in the basement.

(Reason: To provide adequate parking commensurate to the development requirements)

12. LIFT OVERRUN (SC)

The lift overrun located within the eastern building fronting Marlborough Road shall be deleted. Amended architectural plans omitting the lift overrun shall be submitted to and approved by Council prior to the issue of Construction Certificate.

(Reason: To reduce the extent of height variation to the SLEP2012 development standard)

GENERAL CONDITIONS (GC)

1. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans affixed with Council's 'Development Consent' stamp relating to Development Consent No. DA2017/194:

Drawing No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
A1000	Demolition Plan	Liquid Design	Rev 'C'	20/12/2017
A0010	Site Plan	Liquid Design	Rev 'D'	20/12/2017
A0011	Streetscape Elevation Plan	Liquid Design	Rev 'C'	20/12/2017
A2000	Basement Plan	Liquid Design	Rev 'F'	20/12/2017
A2001	Ground Floor Plan	Liquid Design	Rev 'F'	20/12/2017
A2002	Level 1 Plan	Liquid Design	Rev 'F'	20/12/2017
A2003	Level 2 Plan	Liquid Design	Rev 'F'	20/12/2017
A2004	Level 3 Plan	Liquid Design	Rev 'F'	20/12/2017
A2005	Level 4 Plan	Liquid Design	Rev 'F'	20/12/2017
A2006	Roof Plan	Liquid Design	Rev 'F'	20/12/2017
A3000	East & West Elevations	Liquid Design	Rev 'E'	20/12/2017
A3001	North & South Elevations	Liquid Design	Rev 'E'	20/12/2017
A4000	Cross Sections	Liquid Design	Rev 'D'	20/12/2017
A4001	Long Sections	Liquid Design	Rev 'D'	20/12/2017
A9400	Window Schedule	Liquid Design	Rev 'C'	20/12/2017
A9401	Window Schedule 2	Liquid Design	Rev 'C'	20/12/2017
A9402	Window Schedule 3	Liquid Design	Rev 'C'	20/12/2017
L/01	Landscape Plan – Ground Floor	Liquid Design	Rev 'C'	20/12/2017
L/02	Landscape Plan – Level 1	Liquid Design	Rev 'B'	20/12/2017

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L/00	Landscape Plan - Coversheet	Liquid Design	Rev 'B'	20/12/2017
A7184 - Cover	Stormwater Plans – General Notes	Alpha Engineering	Rev 'D'	20/12/2017
A7184 – SW01	Sediment and Erosion Control Plan	Alpha Engineering	Rev 'D'	20/12/2017
A7184 – SW02	Basement Drainage Plan	Alpha Engineering	Rev 'D'	20/12/2017
A7184 – SW03	Ground Floor Drainage Plan	Alpha Engineering	Rev 'D'	20/12/2017
A7184 – SW04	Proposed Easement Pipe Plan	Alpha Engineering	Rev 'D'	20/12/2017
A7184 – SW05	Stormwater Sections and Details	Alpha Engineering	Rev 'D'	20/12/2017

Reference Documentation affixed with Council's 'Development Consent' stamp relating to Development Consent No. DA2017/194:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Section J Report	Max Brightwell		20/12/2017
Acoustic Report	Acoustic Noise & Vibration Solutions Pty Ltd	Ref No. 2017-337	20/12/2017
Geotechnical Investigation Report	Geo-environmental engineering	Report ID. G17069HW-R01F	20/12/2017
Traffic and Parking Impacts Report	TEF Consulting	Job No. 17068	20/12/2017
Waste Management	Liquid Design		20/12/2017

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

2. BOARDING HOUSE - APPROVED USE (GC)

- The boarding house must be operated in accordance with the Boarding Houses Act 2012.
- The boarding house is required to be registered on a register administered by NSW Fair Trading within 28 days where a proprietor takes over an existing, or begins operating a new, registrable boarding house.

Council will carry out initial (within the first 12 months) and ongoing inspections in accordance with the Boarding Houses Act 2012 subject to payment of inspection fees as detailed in Council's Fees and Charges schedule.

- The boarding house is to comply with the approved Plan of Management required by this consent.
- The use of the premises as a boarding house must comply always with the following:
 - a) A copy of the Plan of Management and House Rules must be annexed to every tenancy/occupation agreement for a room;
 - b) A copy of the approved Plan of Management and House Rules must be clearly displayed within the common room in the building at all times;
 - c) All tenancy/occupation agreements for rooms within the premises must be for a

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- minimum period of three (3) months;
- d) The premises must be used exclusively as a boarding house containing a maximum total of **90** residents, with **maximum of two (2)** lodger(s) permitted per double room;
 - e) The premises must not be adapted for use as backpacker's accommodation, serviced apartments or a residential flat building;
 - f) All common rooms/areas and recreation rooms/areas must be maintained at all times for the use of the lodgers;
 - g) Each self-contained room be fitted out with washing up facilities, a cooktop, microwave oven, fridge and storage space with such utilities being maintained in working order at all times;
 - h) All rooms within the boarding house must be connected to a centralised electricity, water and gas (if installed) service and room tariffs must not include a separate charge for these services; and
 - i) The communal room shall be provided with an oven and cooktop.
- The Plan of Management must be updated to reflect the requirements outlined within this condition.
 - Any proposed amendments to the Management Plan are to be submitted to Council for consideration and approval prior to any amendments being made.
 - If the operator of the boarding house alters from the operator nominated in the Plan of Management, a new Plan of Management is to be submitted to Council within 28 days of the change in operator unless it is confirmed in writing that the new operator will comply with the Plan of Management approved as part of this consent.

(Reason: To ensure the development is the permanent place of residence for occupants and ensure occupants abide by the rules and regulations identified in the Plan of Management.

3. CONSTRUCTION HOURS (GC)

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/ rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

4. CONSTRUCTION WITHIN BOUNDARIES (GC)

The development including but not limited to footings, walls, roof barges and guttering must be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

(Reason: Approved works are to be contained wholly within the subject site.)

5. DEMOLITION – GENERALLY (GC)

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or

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rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development.)

6. DEMOLITION - SITE SAFETY FENCING (GC)

Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding/fencing along the street frontage(s) complying with WorkCover requirements must be obtained including:

payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges before the commencement of work; and
provision of a Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council.

(Reasons: Statutory requirement and health and safety.)

7. LANDSCAPING - CANOPY TREES IN FRONT SETBACK (GC)

New development shall provide at least two (2) canopy trees within the front setback adjacent the front boundary (existing trees may be included). New canopy trees shall be at least three (3) metres high at the time of planting and capable of reaching a mature height of 10m.

Species shall be selected from Council's Recommended Tree List (Available from Council's website or from the Customer Service Centre). Compliance with this condition is to be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To ensure the landscape character of the locality is maintained.)

8. LANDSCAPING - IRRIGATION OF COMMON AND PRIVATE LANDSCAPE AREAS (GC)

All common and private landscape areas including all planters of new multi-unit, commercial, mixed-use and industrial development are to have full coverage by a fully automatic irrigation system. The design, materials and installation are to be in accordance with Sydney Water Codes and satisfy all relevant Australian Standards. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior occupation of the premises.

(Reason: To ensure appropriate landscape maintenance.)

9. LIGHTING (GC)

Any lighting of the premises shall be installed and maintained in accordance with Australian Standard AS 4282-1997: Control of the Obtrusive Effects of Outdoor Lighting so as to avoid annoyance to the occupants of adjoining premises or glare to motorists on nearby roads.

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No flashing, moving or intermittent lighting, visible from any public place may be installed on the premises or external signage associated with the development, without the prior approval of Council.

(Reason: To protect the amenity of surrounding development and protect public safety.)

10. MATERIALS – CONSISTENT WITH SUBMITTED SCHEDULE (GC)

All external materials, finishes and colours are to be consistent with the schedule submitted and approved by Council with the development application.

(Reason: To ensure compliance with this consent.)

11. PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)

Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

- i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;
- ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and
- iii) the sign must state that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

12. SITE MANAGEMENT (DURING DEMOLITION AND CONSTRUCTION WORKS)

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All

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- excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- x) All waste must be contained entirely within the site.
 - xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
 - xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
 - xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling.
 - xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
 - xv) Public footways, include nature strips and roadways adjacent to the site must be maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.
 - xvi) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
 - xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
 - xviii) Any work must not prohibit or divert any natural overland flow of water.
 - xix) Toilet facilities for employees must be provided in accordance with WorkCover NSW.
 - xx) Protection pads are to be installed to the kerb and gutter where trucks and vehicles enter the site.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

13. STORMWATER MANAGEMENT PLAN - CERTIFICATION REQUIREMENT (GC)

A detailed Stormwater Management Plan (SWMP) in line with Council's Stormwater Management Code is to be prepared and certified by a practicing Chartered Professional Engineer on the National Professional Engineer's Register (NPER) at Engineers Australia and submitted to the Principal Certifying Authority and Council, prior to the issue of a Construction Certificate. The SWMP is to be based on the approved development as modified by any conditions of consent.

(Reason: To ensure appropriate provision is made for the disposal and management of stormwater generated by the development, and to ensure public infrastructure in Council's care and control is not overloaded.)

14. SYDNEY WATER - STAMPED PLANS PRIOR TO COMMENCEMENT (GC)

The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. Plans will be appropriately stamped.

For Quick Check agent details please refer to the web site www.sydneywater.com.au (see

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Building Developing and Plumbing then Quick Check) or telephone 13 20 92. The consent authority or a Certifying Authority must ensure that a Quick Check agent/Sydney Water has stamped the plans before the commencement of work.

(Reason: Compliance with Sydney Water requirements.)

15. UTILITIES AND SERVICES - PROTECTION OF (GC)

Any footings or excavation to be located or undertaken adjacent to Council's stormwater must be designed to address the following requirements:

- i) all footings and excavation must be located wholly within the site and clear of any easement boundaries;
- ii) all footings and excavation must be located a minimum of 1000mm from the centreline of the pipeline or 500mm from the outside of the pipeline, whichever is the greater distance from the centreline; and
- iii) footings must extend to at least the depth of the invert of the pipeline unless the footings are to be placed on competent bedrock.

If permanent excavation is proposed beneath the obvert of the pipeline, suitable means to protect the excavation and proposed retaining structures from seepage or other water flow from the pipeline and surrounding subsoil, must be provided. The design must be prepared by a qualified practicing Structural/Civil Engineer.

Construction plans must be approved by the appropriate utility's office (e.g. council, Sydney Water Corporation) to demonstrate that the development complies with the utility's requirements.

The applicant must provide written evidence (e.g. compliance certificate, formal advice) of compliance with the requirements of all relevant utility providers (e.g. Water, Energy, Telecommunications, Gas).

(Reason: To ensure protection of Council assets.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (CC)

16. BOARDING HOUSES - OPERATIONAL PLAN OF MANAGEMENT (OU)

An Operational Plan of Management is to be formulated and submitted to Council for approval, prior to the issue of any Construction Certificate.

The Plan of Management must include the minimum criteria as stipulated in Schedule 2 (Standards for Places of Shared Accommodation) of the Local Government (General) Regulation, 2005 under the Local Government Act 1993, the Public Health Act, 1991, Boarding Houses Act 2012 and Boarding Houses Regulation 2013.

17. ACCESS - ACCESS FOR PEOPLE WITH DISABILITIES (CC)

Access for people with disabilities must be provided in accordance with the requirements of the Building Code of Australia, relevant Australian Standards and with regard to the Disability Discrimination Act 1992. Access - access for people with disabilities (CC)

Access for people with disabilities must be provided in accordance with the requirements of the Building Code of Australia, relevant Australian Standards and with regard to the

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Disability Discrimination Act 1992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

18. ACCESS - DISABLED TOILETS (CC)

Plans and details of the disabled toilet/s complying with the relevant Australian Standards, the Building Code of Australia, and with regard to the Disability Discrimination Act 1992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

19. ACID SULFATE SOILS - DETAILED ASSESSMENT (CC)

A detailed acid sulfate soil assessment is required. This is to be carried out by a suitably qualified person and in accordance with the acid sulfate soils assessment guidelines (ASSMAC August 1998). The detailed assessment is to demonstrate that the site is suitable for the approved development. The detailed assessment shall be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Compliance and Environmental Protection.)

20. ACID SULFATE SOILS - CERTIFICATION OF SOIL REMOVED FROM THE SITE (CC)

A Certificate is to be provided by a suitably qualified geo-technical engineer stating that no more than 1 tonne of soil will be removed from the site and the groundwater table will not be affected by the development. This Statement shall be submitted to Council, prior to the issue of a Construction Certificate.

(Reason: Compliance and environmental protection.)

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21. BICYCLE STORAGE PROVISION (CC)

On-site provision for bicycle storage facilities shall be in accordance with the Strathfield Consolidated Development Control Plan 2005. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Compliance with SCDCP 2005 and to encourage sustainable transport options.)

22. BOARDING HOUSE - CONSTRUCTION OF (CC)

The construction of the boarding house shall comply with all applicable legislation/regulation and standards, including:

- i) Boarding Houses Act 2012;
- ii) Boarding Houses Regulation 2013;
- iii) Local Government Act 1993; and
- iv) Local Government Regulation 2005.

Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior to occupation of the premises.

(Reason: To ensure compliance with relevant legislation.)

23. BUILDING CODE OF AUSTRALIA - COMPLIANCE WITH (CC)

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

24. CAR PARKING - BASEMENT CAR PARKING REQUIREMENTS (CC)

Details demonstrating compliance with the following is to be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate:

- i) Minimal internal clearance of the basement is 2.2m in accordance with BCA requirements.
- ii) Driveways shall comply with Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking and achieve a maximum gradient of 1:4.
- iii) Basement entries and ramps/driveways within the property are to be no more than 3.5m wide.
- iv) Provision of pump-out systems and stormwater prevention shall be in accordance with Council's Stormwater Management Guide.

(Reason: To ensure suitable development.)

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25. CAR PARKING - DISABLED CAR PARKING SPACES (CC)

One (1) of the car parking spaces provided as part of the total requirement shall be reserved for disabled persons. These spaces shall be a minimum of 2.4m wide x 5.4m long and located near pedestrian access routes designed for disabled persons. Each space shall be clearly marked as such. A shared area 2.4 m wide x 5.4m long shared area should be provided. Bollard shall be placed in this shared area.

Car parking for people with disabilities shall be provided in accordance with the Building Code of Australia, relevant Australian Standards and with regard to the Disability Discrimination Act 1992. Prior to the issue of a Construction Certificate, the plans shall be notated to demonstrate compliance.

The above details shall be submitted to and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate.

(Reason: To ensure adequate parking for persons with a disability.)

26. CAR PARKING – STACKED (CC)

Any stacked parking spaces (maximum 2 spaces, nose to tail) must be attached to the same strata title comprising a single dwelling unit or commercial/retail tenancy, subject to the maximum parking limit applying. The stacked parking spaces must be designated (with appropriate signage) for employee or tenant parking only (not visitor parking). Details in this regard must be reflected in the plan documentation to be lodged with a Construction Certificate application. Manoeuvring of stacked vehicles must occur wholly within the property.

(Reason: Compliance and appropriate allocation of parking.)

27. CAR PARKING - VEHICULAR ACCESS RAMPS (CC)

Vehicular access ramps shall comply with the provisions of AS/NZS 2890.1:2004. Plans to be submitted shall contain the following details:

- i) Longitudinal section along the extreme wheel paths of each driveway/access ramp at a scale of 1:25 demonstrating compliance with the scraping provisions of AS/NZS 2890.1:2004. It shall include all levels and grades, including those levels stipulated as boundary levels, both existing and proposed. It shall extend from the centre-line of the roadway through to the parking area.
- ii) Sections showing the clearance to the underside of any overhead structure (minimum headroom requirements 2200mm minimum for standard headroom clearance or 2400mm where disabled access provisions are to be provided) demonstrating compliance with the provisions of AS/NZS 2890.1:2004.
- iii) Longitudinal section along the gutter line showing how it is intended to transition the vehicular crossing into the existing kerb and gutter. Boundary levels shall generally run parallel with the kerb levels.
- iv) Location of verge trees, street furniture and service installations.
- v) Superimposition of vehicle turning circles for access into parking spaces.
- vi) Certification that the design complies with AS/NZS 2890.1:2004 by a Qualified Engineer.

The certification referred to in (vi) above shall be submitted to the Principal Certifying Authority prior to the issue of a Construction Certificate (for the design) and to the Principal

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Certifying Authority prior to the issue of any Occupation Certificate for the 'as-built works'.

(Reason: To ensure adequate vehicular access can be achieved.)

28. CAR PARKING - COMPLIANCE WITH AS/NZS 2890.1:2004 (CC)

Car parking dimensions must comply with the Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure compliance with Australian Standards relating to parking of vehicles.)

29. CAR PARKING - VEHICULAR CIRCULATION, AISLE AND RAMP WIDTHS (CC)

The aisle widths, internal circulation, ramp widths and grades of the car park shall comply with the Roads and Traffic Authority Guidelines and AS/NZS 2890.1:2004 - Off-Street Car Parking Code.

Vehicular manoeuvring paths are to be prepared demonstrating that all vehicles can enter or depart the site in a forward direction without encroaching on required car parking spaces.

(Reason: To ensure compliance with Australian Standards relating to manoeuvring, access and parking of vehicles.)

30. COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 4.19 of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

31. CONSTRUCTION AND ENVIRONMENTAL MANAGEMENT PLAN (CC)

The applicant must prepare and submit a Construction and Environmental Management Plan (CEMP) to the Principal Certifying Authority, including:

- i) Detailed information on any approvals required from other authorities prior to or during construction.
- ii) Traffic management, including details of:
 - ingress and egress of vehicles to the site;
 - management of loading and unloading of materials;
 - the location of heavy vehicle parking off-site; and
 - designated routes for vehicles to the site.
- iii) The proposed areas within the site to be used for a builder's site office and amenities, the storage of excavated material, construction materials and waste containers during the construction period.
- iv) Erosion and sediment control, detailing measures and procedures consistent with the requirements of Council's guidelines for managing stormwater, including:
 - the collection and treatment of stormwater and wastewater generated on site

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- prior to discharge; and
 - procedures to prevent run-off of solid material and waste from the site.
- v) Waste management, including:
- details of the types and estimated volumes of waste materials that will be generated;
 - procedures for maximising reuse and recycling of construction materials; and
 - details of the off-site disposal or recycling facilities for construction waste.
- vi) Dust control, outlining measures to minimise the generation and off-site transmission of dust and fine particles, such as watering or damp cloth fences.
- vii) A soil and water management plan, which includes:
- measures to minimise the area of soils exposed at any one time and conserve top soil;
 - identification and protection of proposed stockpile locations;
 - preservation of existing vegetation and revegetation;
 - measures to prevent soil, sand, sediments leaving the site in an uncontrolled manner;
 - measures to control surface water flows through the site in a manner that diverts clean run-off around disturbed areas, minimises slope gradient and flow distance within disturbed areas, ensures surface run-off occurs at non-erodible velocities, and ensures disturbed areas are promptly rehabilitated;
 - details of sediment and erosion control measures in place before work commences;
 - measures to ensure materials are not tracked onto the road by vehicles entering or leaving the site; and
 - details of drainage to protect and drain the site during works.
- viii) Asbestos management procedures:
- Anyone who removes, repairs or disturbs bonded or a friable asbestos material must hold a current removal licence from Workcover NSW holding either a Friable (Class A) or a Non- Friable (Class B) Asbestos Removal License which ever applies and a current WorkCover Demolition License where works involve demolition. To find a licensed asbestos removalist please see www.workcover.nsw.gov.au
 - Removal of asbestos by a person who does not hold a Class A or Class B asbestos removal license is permitted if the asbestos being removed is 10m² or less of non-friable asbestos (approximately the size of a small bathroom). Friable asbestos materials must only be removed by a person who holds a current Class A asbestos license.
 - Before starting work, a work site-specific permit approving each asbestos project must be obtained from Workcover NSW. A permit will not be granted without a current Workcover licence. All removal, repair or disturbance of or to asbestos material must comply with the following:
 - The Work Health and Safety Act 2011;
 - The Work Health and Safety Regulation 2011;
 - How to Safety Remove Asbestos Code of Practice – WorkCover 2011; and
 - Safe Work Australia Code of Practice for the Management and Control of Asbestos in the Workplace.
 - Following completion of asbestos removal works undertaken by a licensed asbestos removalist re-occupation of a workplace must not occur until an independent and suitably licensed asbestos removalist undertakes a clearance inspection and issues a clearance certificate.
 - The developer or demolition contractor must notify adjoining residents at least two (2) working days (i.e. Monday to Friday exclusive of public holidays) prior to the commencement of asbestos removal works. Notification is to include, at a minimum:
 - the date and time when asbestos removal works will commence;

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- the name, address and business hours contact telephone number of the demolisher, contractor and/or developer;
- the full name and license number of the asbestos removalist/s; and
- the telephone number of WorkCover's Hotline 13 10 50
- warning signs informing all people nearby that asbestos removal work is taking place in the area. Signs should be placed at all of the main entry points to the asbestos removal work area where asbestos is present. These signs should be weatherproof, constructed of light-weight material and adequately secured so they remain in prominent locations. The signs should be in accordance with AS 1319-1994 Safety signs for the occupational environment for size, illumination, location and maintenance; and
- appropriate barricades installed as appropriate to prevent public access and prevent the escape of asbestos fibres. Barricades must be installed prior to the commencement of asbestos removal works and remain in place until works are completed.

(Reason: Safety, amenity and protection of public infrastructure and the environment.)

32. COUNCIL PERMITS – FOR ALL ACTIVITIES ON COUNCIL LAND (CC)

Works Permit

(as per Section 68 of the Local Government Act 1993 and Section 138 and 139 of the Roads Act 1993)

A Works Permit is required for construction of a vehicular crossing (driveway), new stormwater down pipe connection to kerb and gutter, new footpath and/or stormwater connection. A Works Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Standing Plant Permit

This permit must be applied for where it is intended to park a concrete pump, crane or other plant on the roadway or footpath. A Standing Plant Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Skip Bin Permit

This permit must be applied for if you intend to place a skip bin on the roadway or footpath. A Skip Bin Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Temporary Full or Part Road Closure Permit

This permit must be applied for if you require a full or a part road closure to take place to assist in your construction works. Please use the Works Permit Application Form, which is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Hoarding/Fencing Permit

This permit must be applied for if you intend to erect a Class A (fence type) or Class B (overhead type) hoarding/fencing along the street frontage(s). A Hoarding Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

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This permit must be applied for if you require permanent parking along the kerbside at the front of the site during construction works. A Work Zone Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Ground Anchoring Permit

This permit must be applied for, for the installation of ground anchors under Council's footway/road reserve. It does not cover ground anchors under private properties. A separate approval is required to be obtained from Roads and Maritime Services (RMS) if it is proposed to install ground anchors under a State or Classified Regional Road (please refer to the end of this application form for more information).

(Reason: Council requirement)

33. DRIVEWAY WIDTH - MULTI-UNIT DEVELOPMENT (CC)

The internal driveway must be a minimum 5.50m wide (clear width) for the first 6 metres inside the property so as to allow entering & exiting vehicles to pass within the site. Should the driveway narrow after this point it is then to be designed with a minimum 1.5m x 1.5m splay to allow the passing to work. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior the issue of a Construction Certificate.

(Reason: Safety and traffic management.)

34. EROSION AND SEDIMENTATION CONTROL PLAN (CC)

An Erosion and Sediment Control Plan is to be prepared where construction or excavation activity requires the disturbance of the soil surface and existing vegetation. Details including drawings and specifications must provide adequate measures for erosion and sediment control to ensure:

- i) Compliance with the approved Soil and Water Management Plan.
- ii) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval).
- iii) All uncontaminated run-off is diverted around cleared or disturbed areas.
- iv) Silt fences or other devices are installed to prevent sediment and other debris escaping from the cleared or disturbed areas into drainage systems or waterways.
- v) All erosion and sediment controls are fully maintained for the duration of demolition/development works.
- vi) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadways.
- vii) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar.
- viii) All water pumped or otherwise removed from excavations or basement areas is filtered to achieve suspended solids/non filterable residue levels complying with the Australian Water Quality guidelines for Fresh and Marine Waters.
- ix) Pumped or overland flows of water are discharged so as not to cause, permit or allow erosion before the commencement of work (and until issue of the occupation certificate).

Details of the proposed soil erosion and sedimentation controls are to be submitted to the Principal Certifying Authority with the Construction Certificate Application. Under no circumstances are any works to commence, prior to these details being approved by the Principal Certifying Authority and the controls being in place on the site.

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(Reason: Environmental protection.)

35. EXCAVATION - AFFECTING ADJOINING LAND (CC)

If an excavation associated with the approved development extends below the level of the base of the footings of a building on an adjoining allotment of land, the person having the benefit of the development consent must, at the person's own expense, comply with the requirements of clause 98E of the Environmental Planning and Assessment Regulation 2000, including:

- i) protect and support the adjoining premises from possible damage from the excavation, and
- ii) where necessary, underpin the adjoining premises to prevent any such damage.

The condition referred to in subclause (i) does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying. Details shall be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Structural safety.)

36. EXCAVATION – SHORING (CC)

Where any shoring for excavation is to be located on or is supporting Council's property, or any adjoining private property, engineering drawings and specifications certifying the shoring will be adequate for their intended purpose and must be submitted to the Council/Principal Certifying Authority for approval with the Construction Certificate. The documentation prepared and certified by an appropriately qualified and practicing structural engineer is to show all details, including the extent of encroachment and the method of removal and de-stressing of shoring elements. A copy of this documentation must be provided to the Council for record purposes at the time of Construction Certificate application.

(Reason: To ensure the protection of existing public infrastructure and adjoining properties.)

37. FIRE SAFETY SCHEDULE (CC)

A Fire Safety Schedule specifying the fire safety measures (both current and proposed) which should be implemented in the building premises must be submitted with the Construction Certificate application, in accordance with Part 9 of Clause 168 of the Environmental Planning and Assessment Regulation 2000.

Note: A Construction Certificate cannot be issued until a Fire Safety Schedule is received.

(Reason: Compliance with the Environmental Planning and Assessment Act 1979.)

38. HAZARDOUS GOODS AND WASTE (CC)

Dangerous and hazardous goods shall be stored in accordance with NSW WorkCover requirements and AS1940-2004 - The Storage and Handling of Flammable and Combustible Liquids.

Hazardous waste must be contained, managed and disposed of in a responsible manner in accordance with the Protection of Environment and Operations Act 1997, NSW Environment Protection Authority (EPA) and the New South Wales WorkCover Authority.

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Material Safety Data Sheets of all hazardous substances used, such as bleaches and nail products must be kept on site and readily available to all staff. Staff must be trained how to safely use and store these chemicals prior to the commencement of work.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

(Reason: Health and safety.)

39. LANDSCAPING - MAINTENANCE STRATEGY (CC)

To ensure the survival of landscaping following works, a landscape maintenance strategy for the owner/occupier to administer over a 12 month establishment period following the issue of the Occupation Certificate shall be prepared and provided to the satisfaction of the Principal Certifying Authority with the Construction Certificate application. The strategy is to address maintenance issues such as, but not limited to plant survival, irrigation, soil testing, weeding, staking, fertilizing, remedial pruning and plant replacement.

(Reason: Ensure landscape survival.)

40. LANDSCAPING ON SLAB (CC)

To ensure the site landscaping thrives, the on slab landscaping shown on the approved landscaping plan is to be designed to include a minimum soil depth of 650mm for shrubs and trees; and 300mm for grass and ground covers. Adequate drainage provision and a permanent, automatic irrigation system conforming to Sydney Water requirements shall be included. Details demonstrating compliance shall be submitted to the Principal Certifying Authority with the Construction Certificate application.

(Reason: Ensure landscape survival.)

41. PRIVACY - OBSCURE GLAZING IN WET AREAS (CC)

All bathroom, ensuite and toilet windows shall be installed with obscure glazing. Plans shall be notated accordingly and details demonstrating compliance submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Privacy amenity.)

42. SECTION 7.11 CONTRIBUTION PAYMENT - DIRECT CONTRIBUTIONS PLAN (CC)

In accordance with the provisions of Section 7.13 of the Environmental Planning and Assessment Act 1979 and the Strathfield Direct Development Contributions Plan 2010-2030, a contribution in the form of cash, cheque or credit card (financial transaction fee applies) shall be paid to Council for the following purposes:

Provision of Community Facilities	\$71,300.55
Provision of Major Open Space	\$324,396.15
Provision of Local Open Space	\$137,221.54
Provision Roads and Traffic Management	\$25,464.41
Administration	\$6,148.07
TOTAL	\$564,530.72

The total amount of the contribution is valid as at the date of determination and is subject to quarterly indexation. Contributions shall be indexed at the time of payment in accordance

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with clause 2.14 of the Strathfield Direct Development Contributions Plan 2010-2030.

Contributions must be receipted by Council and submitted to the Accredited Certifier, prior to the issue of any Construction Certificate.

Please present a copy of this condition when paying the contribution at the Customer Service Centre so that it can be recalculated.

Note: A copy of Strathfield Council's Section 7.11 Direct Development Contributions Plan may be downloaded from Council's website.

(Reason: To enable the provision of public amenities and services required/anticipated as a consequence of increased demand resulting from the development.)

43. STORMWATER DRAINAGE (CC)

The following stormwater precautions are required to be provided on the site:

- i) Grated drains shall be provided along the driveway/basement entry at the vehicular crossing(s) and are to connect to the internal drainage system.
- ii) Overflow paths shall be provided to allow for flows in excess of the capacity of the pipe/drainage system draining the site.
- iii) Allowance shall be made for surface runoff from adjacent properties, and to retain existing surface flow path systems through the site. Any redirection or treatment of these flows shall not adversely affect any other properties
- iv) Boundary fencing shall be erected in such a manner as not to interfere with the natural flow of ground and surface water to the detriment of any other party.

(Reason: To ensure the site is drained appropriately and does not interfere with the natural flow of flood waters.)

44. TRAFFIC - CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CC)

A Construction Traffic Management Plan (CTMP) is to be prepared by an appropriately qualified Traffic Management Consultant and submitted to and approved by Council's Engineering Section, prior to the commencement of any works including demolition.

The following matters should be addressed in the CTMP (where applicable):

- i) description of the demolition, excavation and construction works;
- ii) site plan/s showing the site, roads, footpaths, site access points and vehicular movements;
- iii) size, type and estimated number of vehicular movements (including removal of excavated materials, delivery of materials and concrete to the site);
- iv) proposed route(s) from the arterial (state) road network to the site and the proposed route from the site back to the arterial road network;
- v) impacts of the work and vehicular movements on the road network, traffic and pedestrians and proposed methods to safely manage pedestrians and construction related vehicles in the frontage roadways;
- vi) any Traffic Control Plans (TCP's) proposed to regulate traffic and pedestrian movements for construction activities (such as concrete pours, crane installation/removal etc.);
- vii) proposed hours of construction related activities and vehicular movements to and from the site;
- viii) current/proposed approvals from other Agencies and Authorities (including Roads

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- and Maritime Services, Police and State Transit Authority);
- ix) any activities proposed to be located or impact upon Council's road, footways or any public place;
 - x) measures to maintain public safety and convenience;
 - xi) any proposed road and/or footpath closures;
 - xii) turning areas within the site for construction and spoil removal vehicles, allowing a forward egress for all construction vehicles on the site;
 - xiii) locations of work zones (where it is not possible for loading/unloading to occur on the site) in the frontage roadways accompanied by supporting documentation that such work zones have been approved by the Local Traffic Committee and Council;
 - xiv) location of any proposed crane and concrete pump and truck standing areas on and off the site (and relevant approvals from Council for plant on road);
 - xv) a dedicated unloading and loading point within the site for all construction vehicles, plant and deliveries;
 - xvi) material, plant and spoil bin storage areas within the site, where all materials are to be dropped off and collected;
 - xvii) on-site parking area for employees, tradespersons and construction vehicles as far as possible;
 - xviii) proposed areas within the site to be used for the storage of excavated material, construction materials and waste and recycling containers during the construction period; and
 - xix) how it is proposed to ensure that soil/excavated material is not transported onto surrounding footpaths and roadways.

(Reason: To mitigate traffic impacts on the surrounding area during the construction period.)

45. UTILITIES AND TELECOMMUNICATIONS - TELECOMMUNICATIONS ASSETS (CC)

Provision must be made for relocation of telecommunications network assets including underground placement of any existing aerial cables and infrastructure. Any costs associated with the relocation of the above are at the requestor's expense. Any disturbance to public land as a result of the undergrounding of services shall be restored at no cost to Council.

Details are to be submitted to the Principal Certifying Authority with the Construction Certificate application.

(Reason: To ensure suitable relocation of telecommunications infrastructure if required.)

46. VEHICULAR CROSSINGS - WORKS PERMIT FOR CONSTRUCTION OF (CC)

Full-width, heavy-duty concrete vehicular crossing(s) shall be provided across the footpath at the entrance(s) and/or exit(s) to the site and designed in accordance with Council's guidelines and specifications. In this regard, a Works Permit is to be obtained (available from Council's Customer Services Centre or downloaded from Council's website), and the appropriate fees and charges paid, prior to the lodgement of a Construction Certificate.

(Reason: To ensure appropriate access to the site can be achieved.)

requirements/standards.)

47. WASTE MANAGEMENT PLAN (CC)

A Waste Management Plan (WMP) is to be provided in accordance with Part H of Strathfield Consolidated Development Control Plan 2005. All requirements of the approved Waste Management Plan must be implemented during demolition, construction and on-going use

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of the premises.

The WMP must identify the types of waste that will be generated, all proposals to re-use, recycle or dispose of the waste and designs of the waste storage and collection areas. The WMP is to be submitted to council for comment prior to approval by the Principal Certifying Authority, approval must be provided prior to the issuing of the Construction Certificate.

Full compliance must be given to the endorsed Waste Management Plan submitted for the proposed development. Copies of any weighbridge receipts from all approved waste disposal facilities shall be retained for presentation to the Principal Certifying Authority upon request.

NOTE: The property must be inspected by a Council Waste Officer prior to the issue of an Occupation Certificate so as to ensure that the correct number of general waste and recycling bins are ordered from Strathfield Council.

(Reason: To ensure appropriate management of waste.)

48. WASTE - GARBAGE ROOMS OR GREASE ARRESTOR ROOMS (CC)

Garbage rooms or grease arrester rooms must be constructed of solid material: cement rendered and steel trowelled to a smooth even surface. The door to the garbage room is to be designed and constructed to ensure the room is vermin proof and can be opened from the inside at all times. The garbage room is to be ventilated to the external air by natural ventilation or an approved air handling exhaust system.

(Reason: To keep garbage rooms in a clean and sanitary condition to protect public health.)

49. WATER HEATING SYSTEMS - LOCATION OF (CC)

Water heating systems shall be located so as not to be visible from public places and the ground level of adjoining properties. Details (type and location) of the water heaters shall be submitted to and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To maintain streetscape character.)

50. WORKS ZONE - APPROVAL BY COUNCIL'S TRAFFIC COMMITTEE (CC)

An application for a 'Works Zone' must be submitted to and approved by the Strathfield Council Traffic Committee prior to the commencement of any site work (including demolition).

The suitability of the proposed length and duration of the Works Zone is to be demonstrated in the application for the Works Zone. The application for the Works Zone must be submitted to Council at least six (6) weeks prior to the commencement of work on the site to allow for assessment and tabling of agenda for the Strathfield Council Traffic Committee.

The requirement for a Works Zone may be varied or waived only if it can be demonstrated in the Construction Traffic Management Plan (to the satisfaction of Council) that all construction related activities (including all loading and unloading operations) can and will be undertaken wholly within the site. The written approval of Council must be obtained to provide a Works Zone or to waive the requirement to provide a Works Zone prior to the commencement of any site work.

(Reason: Council requirement.)

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CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORKS (CW)

51. APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY (PCA) (CW)

No work shall commence in connection with this Development Consent until:

- i) A construction certificate for the building work has been issued by the consent authority or a Principal Certifying Authority.
- ii) The person having the benefit of the development consent has appointed a principal certifying authority for the building work, and notified the principal certifying authority that the person will carry out the building work as an owner/builder, if that is the case.
- iii) The principal certifying authority has, no later than 2 days before the building work commences:
 - notified the Council of his or her appointment, and
 - notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- iv) The person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:
 - appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved;
 - notified the principal certifying authority of such appointment; and
 - unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- v) The person having the person having the benefit of the development consent has given at least 2 days notice to the Council of the person's intention to commence the erection of the building.

Note: If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement.)

52. NOTICE OF COMMENCEMENT (CW)

No work shall commence until the following details are submitted to Council:

- i) a Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- ii) details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- iii) details of the name, address and licence details of the Builder.

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(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED DURING DEMOLITION AND BUILDING WORKS (DW)

53. CONTAMINATED LAND UNEXPECTED FINDS (DW)

In the instance works cause the generation of odours or uncovering of unexpected contaminants works are to immediately cease, Council is to be notified and a suitably qualified environmental scientist appointed to further assess the site.

The contaminated land situation is to be evaluated by the supervising environmental consultant and an appropriate response determined in consultation with the applicant, which is agreed to by Strathfield Council's Environmental Services Manager.

Note: Council may also request that a NSW EPA accredited site auditor is involved to assist with the assessment of the contaminated land situation and review any new contamination information. The applicant must also adhere to any additional conditions which may be imposed by the accredited site auditor.

(Reason: To ensure compliance with statutory requirements.)

54. FILL MATERIAL (DW)

The only waste derived material which may be received at the development site is:

- i) Virgin excavated material (within the meaning of the Protection of the Environment Operations Act 1997), and
- ii) any other waste-derived material the subject of a resource recovery exemption under cl.51A of the Protection of the Environment Operations (Waste) Regulation 2005 that is permitted to be used as fill material.

Any (b)-type material received at the development site must be accompanied by documentation certifying by an appropriately qualified environmental consultant the materials compliance with the exemption conditions; and this documentation must be provided to the Principal Certifying Authority on request.

(Reason: To ensure imported fill is of an acceptable standard for environmental protection purposes.)

55. OBSTRUCTION OF PUBLIC WAY NOT PERMITTED DURING WORKS (DW)

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances, without the prior approval of Council.

(Reason: To maintain public access and safety.)

56. PUBLIC INFRASTRUCTURE AND SERVICES (DW)

The applicant must comply with the requirements (including financial costs) of any relevant utility provider (e.g. Energy Australia, Sydney Water, Telstra, RMS, Council etc.) in relation to any connections, works, repairs, relocation, replacements and/or adjustments to public infrastructure or services affected by the development.

(Reason: To maintain public infrastructure and/or services.)

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Lot 12 Section 1 DP 827 (Cont'd)**

57. SITE REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standards AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out with close boarded, hardwood timber footpath protection pads. The pad shall cover the entire width of the footpath opening for the full width of the fence.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.
- x) All excavated material should be removed from the site in the approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts etc.) should be kept on site as evidence of approved methods of disposal and recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways and roadways adjacent to the site must be fully maintained and cleared of obstructions during construction unless prior separate approval from Council is obtained including payment of relevant fees.
- xvi) Building operations such as brick cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Stamped plans, specifications, documentation and the consent shall be available on site at all times during construction.
- xvii) All protected trees are to be managed in accordance with Australian Standard AS4970 - 2009 , Protection of Trees on Development Sites.

(Reason: To ensure that demolition, building and any other site works are undertaken in

**DA2017/194 - 18 Marlborough Road, Homebush West
Lot 12 Section 1 DP 827 (Cont'd)**

accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE (OC)

58. DRAINAGE SYSTEM - MAINTENANCE OF EXISTING SYSTEM (OC)

Where elements of the existing drainage system are to be utilised, the existing drainage system shall be overhauled and maintained clear of silt and accumulated debris. Silt and the like shall be removed, not flushed from the system.

A certificate shall be provided by a suitably qualified person (a registered plumber or a person of equivalent or greater experience or qualification) to the satisfaction of the Principal Certifying Authority, prior to the issue of any Occupation Certificate to confirm that the system is in good working order and adequate to accept additional flows having regard to any relevant standards and/or Sydney Water requirements.

(Reason: Maintenance and environment.)

59. ENGINEERING WORKS (CERTIFICATION OF)

Prior to occupation of the premises, a Work As Executed (WAE) Plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate Membership standing in the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that:

- i) the stormwater drainage system; and/or
- ii) the car parking arrangement and area; and/or
- iii) any related footpath crossing works; and/or
- iv) the proposed basement pump and well system; and/or
- v) the proposed driveway and layback; and/or
- vi) any other civil works

have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

For major works, such as subdivisions, works within the road reserve (requiring separate S138 approval) and as where specified by Council, a Part 4A Certificate will be required. It is strongly recommended that an Engineer supervise all engineering related works.

Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council, prior to the issue of any Occupation Certificate.

(Reason: Asset management.)

60. FIRE SAFETY CERTIFICATION (OC)

A fire safety certificate shall be obtained in accordance with Part 9, Division 4 of the Environmental Planning and Assessment Regulation 2000, prior to the issue of any Occupation Certificate.

An fire safety certificate is a certificate issued by the owner of a building to the effect that each essential fire safety measure specified in the current fire safety schedule for the part of the building to which the certificate relates:

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Lot 12 Section 1 DP 827 (Cont'd)**

- i) has been assessed by a properly qualified person; and
- ii) was found, when it was assessed, to be capable of performing to at least the standard required by the current fire safety schedule for the building for which the certificate is issued.

An interim fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(2) of the Environmental Planning & Assessment Regulation 2000.

A final fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(1) of the Environmental Planning & Assessment Regulation 2000.

A copy of the fire safety certificate and fire safety schedule shall be:

- i) submitted to Strathfield Council;
- ii) submitted to the Commissioner of the New South Wales Fire Brigade; and
- iii) prominently displayed in the building.

(Reason: Fire safety and statutory requirement.)

61. OCCUPATION OF BUILDING (OC)

A person must not commence occupation or use (or change of use where an existing building) of the whole or any part of a new building (within the meaning of section 109H (4) of the Act) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

The Principal Certifying Authority is required to be satisfied, amongst other things, that:

- i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent have been met.

Note: New building includes an altered portion of, or an extension to, an existing building.

(Reason: Statutory requirement.)

62. STORMWATER - CERTIFICATION OF THE CONSTRUCTED DRAINAGE SYSTEM (OC)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

(Reason: Adequate stormwater management.)

63. STORMWATER - COVENANT AND RESTRICTION AS TO USER FOR STORMWATER CONTROLLED SYSTEMS (OC)

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility (on-site detention, pump-out, charged lines, etc.).

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Lot 12 Section 1 DP 827 (Cont'd)**

Where any drainage line or service conduit is to traverse any property other than that which it serves, an appropriate easement will be required. In this case, the applicant shall register an easement no less than 1200mm wide over the proposed drainage line or service concurrently with any subdivision registration.

The wording on the 88E and/or the 88B Instrument is to make reference to the Council file where the Construction plans and the Work As Executed (as built), plans are held. Typical wording can be obtained from Council's Specification for the Management of Stormwater document.

(Reason: To ensure the on-site detention and/or pump system is maintained to an appropriate operational standard.)

CONDITIONS TO BE SATISFIED DURING ONGOING USE OF THE PREMISES (OU)**64. BOARDING HOUSES - OPERATIONAL PLAN OF MANAGEMENT (OU)**

The Plan of Management shall be displayed in prominent locations within the premises and a copy of the Plan shall be provided to all residents of the boarding house. The on-site Caretaker shall be responsible for ensuring that the terms of the Plan are adhered to at all times.

This Operational Plan of Management must incorporate the following:

- i) All the measures to be implemented on the premises in terms of safety & security, amenity and health including but not limited to matters relating to curfews and after-hours access, bringing of visitors on to the site, drug and alcohol policy (including smoking), and use of communal areas etc.
- ii) All the responsibilities of the Caretaker/Manager.
- iii) An Incident Register to be maintained by the Caretaker. This Register must be produced upon demand by any Council officer or NSW Police Officer. The Register must contain a direction that all incidents of a criminal nature are to be reported to the Police immediately.
- iv) Prior to commencement of the boarding house use, a notification letter shall be forwarded to Council, the Police and neighbours providing contact details for the Caretaker/Manager so that any issues regarding the operation of the premises etc. can be addressed promptly. Evidence of this letter being forwarded as required in this condition shall be provided to the Principal Certifying Authority, prior to the issue of any Occupation Certificate and commencement of the use.

The Plan of Management referred to in this condition shall be reviewed by Council annually from the date of issue of an Occupation Certificate by the Principal Certifying Authority. The operator of the boarding house shall contact Council annually to carry out this review and the review shall include the Incident Register referred to in point (iii) above. Should amendments be made to the Plan of Management an updated version of same shall be provided to Council and the residents of the boarding house within one (1) month of the annual review being completed.

(Reason: To minimise the impact of the use on surrounding residences.)

65. BOARDING HOUSE - ONGOING USE OF (OU)

Ongoing operation of the approved use for the purpose of a boarding house shall comply with the following:

**DA2017/194 - 18 Marlborough Road, Homebush West
Lot 12 Section 1 DP 827 (Cont'd)**

- i) Use of the premises shall remain consistent with the definition of 'boarding house' as defined under Strathfield Local Environmental Plan 2012 as a building that:
 - is wholly or partly let in lodgings, and
 - provides lodgers with a principal place of residence for 3 months or more, and
 - may have shared facilities, such as a communal living room, bathroom, kitchen or laundry, and
 - has rooms, some or all of which may have private kitchen and bathroom facilities, that accommodate one or more lodgers but does not include backpackers" accommodation, a group home, a serviced apartment, seniors housing or hotel or motel accommodation.
- ii) Subdivision of the approved boarding house under strata or community title is prohibited.
- iii) The use and operation of the boarding house shall comply with all applicable legislation/regulation and standards, including:
 - Boarding Houses Act 2012;
 - Boarding Houses Regulation 2013;
 - Local Government Act 1993; and
 - Schedule 2 (Standards for Places of Shared Accommodation) of the Local Government (General) Regulation 2005.
- iv) The maximum number of persons accommodated in a bedroom, or in a cubicle of a dormitory, must not exceed the number determined by allowing a minimum floor area within the bedroom or cubicle in accordance with the relevant provisions under the Public Health Act 1991 for each person.
- v) No speakers or music is permitted outdoors or in the communal areas
- vi) The Boarding house is required to be registered on a register administered by NSW Fair Trading

(Reason: To minimise the impact of the boarding house on surrounding residences.)

66. FIRE SAFETY ANNUAL STATEMENT (OU)

Pursuant to Part 9, Division 5 of the Environmental Planning and Assessment Regulation (as amended) the owner of the building shall provide to Council an Annual Fire Safety Statement from an appropriately qualified person certifying the essential fire safety measures in the building. The Annual Fire Safety Statement shall be submitted within 12 months of the issue of the fire safety certificate, and then on an annual basis.

A copy of the Fire Safety Statement obtained and Fire Safety Schedule shall also be:

- i) Forwarded to the Commissioner of the New South Wales Fire Brigade; and
- ii) Prominently displayed in the building.

(Reason: Fire safety)

ATTACHMENTS

1. [↓](#) Architectural Plans
2. [↓](#) DA2017.194 -Statement of Environmental Effects- 18 Marlborough rd

PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST

DEVELOPMENT APPLICATION

27.11.17

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A0000	COVER	F
A0010	SITE PLAN/SITE ANALYSIS	D
A0011	STREETSCAPE ELEVATION PLAN	C
A1000	DEMOLITION PLAN	C
A2000	BASEMENT PLAN	F
A2001	GROUND FLOOR PLAN	F
A2002	LEVEL 1 PLAN	F
A2003	LEVEL 2 PLAN	F
A2004	LEVEL 3 PLAN	F
A2005	LEVEL 4 PLAN	F
A2006	ROOF PLAN	F
A3000	EAST & WEST ELEVATIONS	E
A3001	NORTH & SOUTH ELEVATIONS	E
A4000	CROSS SECTIONS	D
A4001	LONG SECTIONS	D
A9000	PHOTOMONTAGE OF MARLBOROUGH RD	A
A9001	3D VIEWS	D
A9100	FINISHES, NOTES AND DETAILS	C
A9200	SHADOWS & SOLAR ACCESS	C
A9210	PRIVACY STUDY	C
A9300	FSR & LANDSCAPING AREAS	C
A9310	ROOM AREAS	C
A9320	HEIGHT STUDY	A
A9400	WINDOW SCHEDULE	C
A9401	WINDOW SCHEDULE 2	C
A9402	WINDOW SCHEDULE 3	C



LOCATION PLAN



NOTE: READ DRAWINGS IN CONJUNCTION WITH SCHEDULES I SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE
DEVELOPMENT APPLICATION

	Contractor	Client	Project	Title	Drawn By	Checked By	Project No
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	COVER	DY	CB	32-12
					Date	Sheet No	
							A0000
					Scale	Issue	Revision
							F



1) SITE BETWEEN ADJACENT APARTMENT BLOCK AND SINGLE HOUSE



2) MULTIPLE APARTMENT BLOCKS ALONG MARLBOROUGH ROAD



3) STREETSCAPE OF MARLBOROUGH ROAD



2) MULTIPLE APARTMENT BLOCKS ALONG MARLBOROUGH ROAD



3) STREETSCAPE OF MARLBOROUGH ROAD

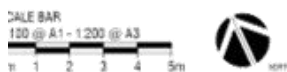
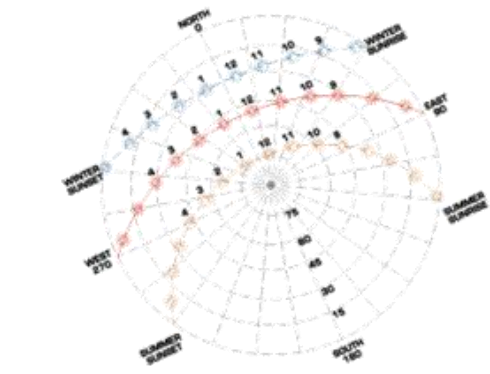


E ANALYSIS

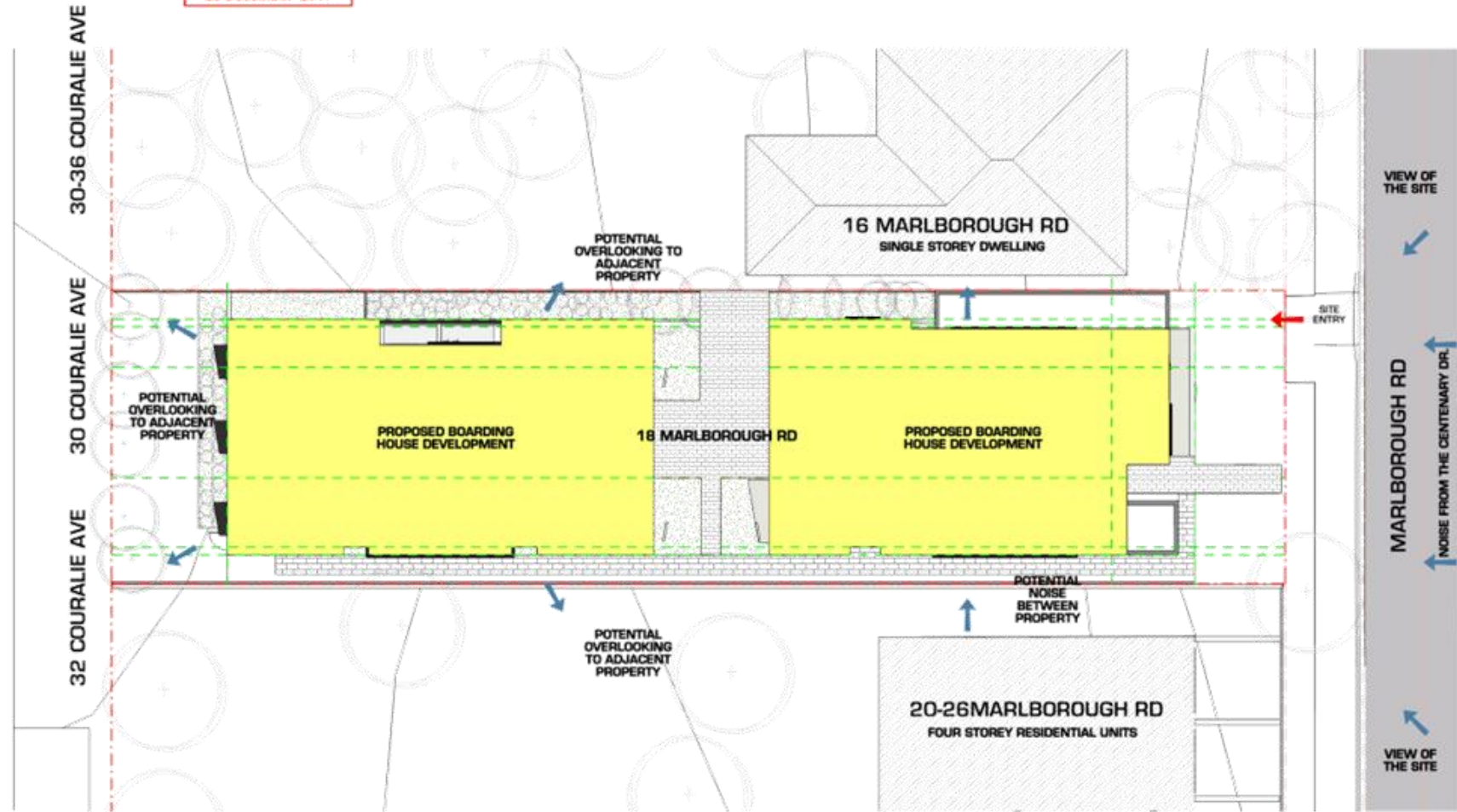
1) SITE ON 18 MARLBOROUGH ROAD, HOME BUSH WEST SITS WITHIN THE VICINITY STRATHFIELD COUNCIL AND IS SURROUNDED BY A WIDE RANGE OF VISUAL LANDMARKS SUCH AS SYDNEY OLYMPIC PARK AND POPULAR SHOPPING DESTINATION DFO ARE ABOUT 1KM NORTH OF THE SITE. IMMEDIATELY EAST OF THE ADJACENT CENTENARY DRIVE IS ANOTHER POPULAR ATTRACTION IN SYDNEY MARKETS AND PADDY'S MARKETS WITH MINGHON STATION LOCATED WITHIN 800M OF THE SITE. COMMERCIAL COMPLEX CAMPUS BUSINESS PARK IS ALSO LOCATED WITHIN 500M WEST OF THE SITE.

MARBOROUGH ROAD RUNS IMMEDIATELY PARALLEL TO CENTENARY DRIVE, A BUSY TRAFFIC ARTERY RUNNING IN THE NORTH SOUTH DIRECTION. THE INTERS AND LEVEL DIFFERENCE AS SEEN IN IMAGES 3 & 5 HELP SOFTEN SOME OF THE VISUAL AND NOISE IMPACT ON THE RESIDENTS OF MARLBOROUGH ROAD. WITH THE EXCEPTION OF THE SUBJECT SITE AND A COUPLE OTHER SINGLE DWELLING HOUSES, MOST LOTS ARE 3-4 STOREY APARTMENT BLOCKS AS SEEN IN IMAGES 2 & 4.

MARBOROUGH ROAD (LOT 12/ SEC 1 D.P. 927) IS A RECTANGULAR SITE APPROXIMATELY 15m WIDE 80m DEEP WITH A SITE AREA OF 929m². THE SITE RUNS LONG IN THE NORTH WEST TO SOUTH EAST DIRECTION WITH ROUGHLY A 2.5m DROP IN LEVEL DIFFERENCE FROM END TO THE OTHER. THERE IS AN EXISTING SINGLE STOREY DWELLING ALONG THE FRONT END OF THE SITE WHERE AN EXISTING CONCRETE DRIVEWAY IS LOCATED TOWARDS THE NORTH END. A POWER POLE AT THE MIDDLE AND A TREE TOWARD THE SOUTH END. THE BACK END OF THE SITE FACES RESIDENTIAL DWELLING ALONG COURALIE AVENUE.



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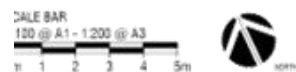


NOTE: READ DRAWINGS IN CONJUNCTION WITH SCHEDULES I SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VARIFIED ON SITE
DEVELOPMENT APPLICATION

	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOME BUSH WEST	SITE PLAN/SITE ANALYSIS	DY	CB	3212
					Date	Issue	Sheet No.
					27 NOVEMBER 17		A0010
					Scale	Revision	
					As indicated	D	

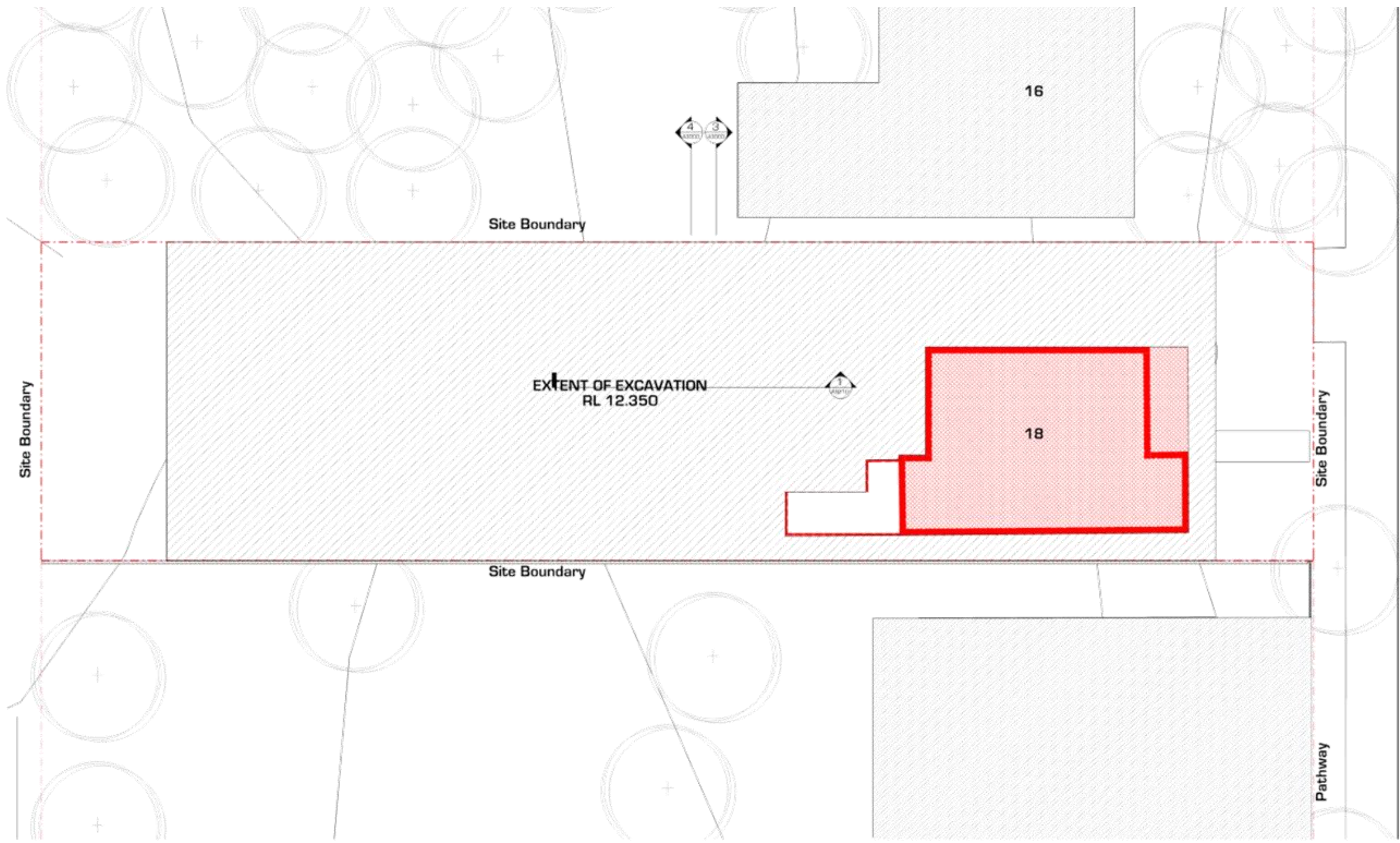
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SUBJECT SITE IS ON A LAND ZONING OF R3 AND HAS A HEIGHT LIMIT OF 14m. LOTS ADJACENT TO SITE AND ALONG MARLBOROUGH ROAD SHARE THE SAME PLANNING CONTROLS.
PROPOSED BOARDING HOUSE HAS AREAS PROTRUDING THE 14m HEIGHT LIMIT, MOSTLY DUE TO NATURAL SLOPE OF THE SITE. (SEE ELEVATION DRAWINGS A3000, A3001). AS SEEN IN THE STREETSCAPE ELEVATION BELOW, EXISTING BUILDING ON 20-26 MARLBOROUGH ROAD ALSO PROTRUDES 14m HEIGHT LIMIT, AS DOES THE NEXT ADJACENT PROPERTY ON 22-24 MARLBOROUGH ROAD WHICH SHARES A SIMILAR HEIGHT. THEREFORE, THE HEIGHT OF PROPOSED DEVELOPMENT AT SUBJECT SITE IS NOT OUT OF CHARACTER OF THE LOCAL AREA ALONG MARLBOROUGH ROAD. (SRPP (AFFORDABLE RENTAL HOUSING) 2009, DIV. 3, SOA)



NOTE:
READ DRAWINGS IN CONJUNCTION WITH SCHEDULES & SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE
DEVELOPMENT APPLICATION

LIQUID DESIGN <small>Liquid Design Pty Ltd Suite 1.17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T +61 2 9851 5295</small>	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	STREETSCAPE ELEVATION PLAN	DY	CB	3212
					Date	Issue	Revision
							A0011
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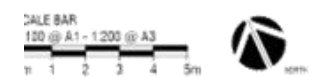
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20 December 2017

GENERAL LEGEND

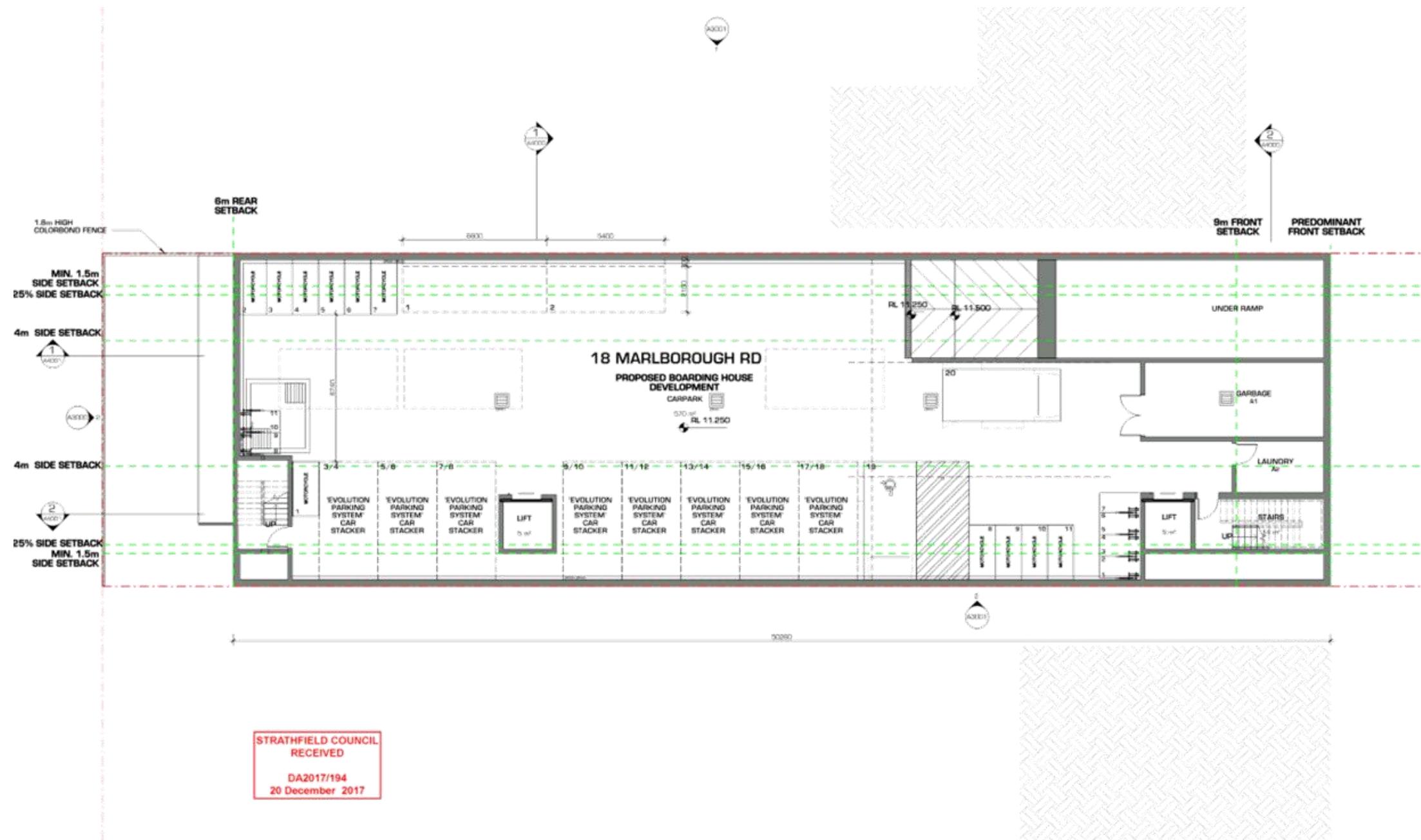
- PROPOSED BUILDING
- EXISTING BUILDING
- TO BE DEMOLISHED
- SITE BOUNDARY
- DCP LIMITS
- SETBACK
- EXISTING HOUSE TO BE DEMOLISHED

NOTES
READ DRAWINGS IN CONJUNCTION WITH SCHEDULES I
SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

DEVELOPMENT APPLICATION



LIQUID DESIGN	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	DEMOLITION PLAN	DY	CB	3212
					Date		Sheet No.
					27 NOVEMBER 17		A1000
					Scale	Issue	Revision
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PARKING:

STACKED PARKING STACKERS ALLOW FOR INDEPENDENT ACCESS TO VEHICLE. SEE TRAFFIC REPORT FOR DETAILS	18
STANDARD PARKING	3
ACCESSIBLE PARKING	1
TOTAL PARKING REQUIRED PARKING 0.4 SPACES PER ROOM	20
MOTORBIKE	11
BICYCLE	12

GENERAL LEGEND

	PROPOSED BUILDING
	EXISTING BUILDING
	TO BE DEMOLISHED
	SITE BOUNDARY
	DGP LIMITS
	SETBACK
	EXISTING HOUSE TO BE DEMOLISH



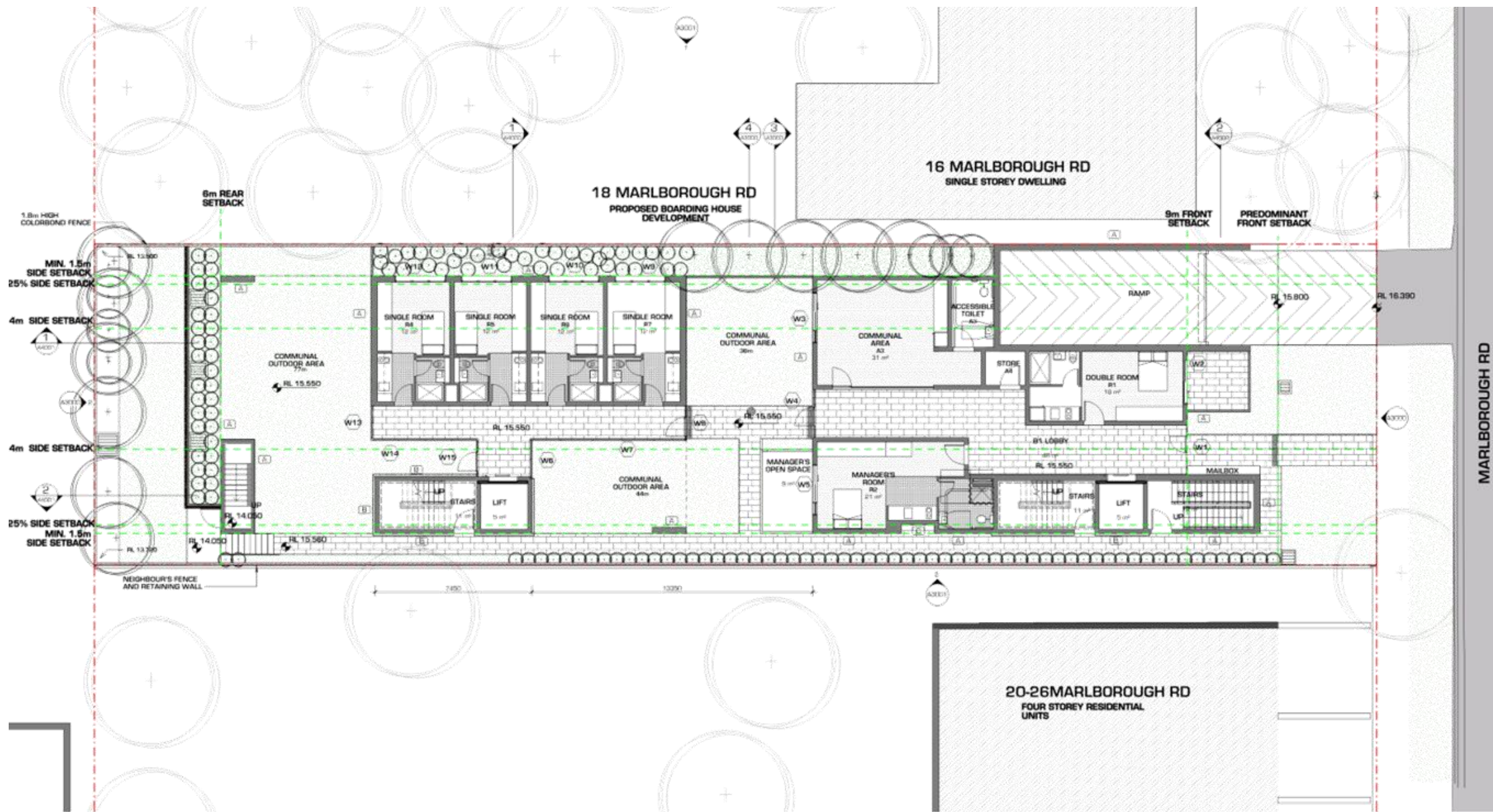
LIQUID DESIGN
Liqui Design Pty Ltd
Suite 4.17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009
T: +61 2 9555 5255

27/11/17 DEVELOPMENT APPLICATION SET
27/11/17 FINAL DEVELOPMENT SET
21/12/17 LIQUID DESIGN SET

Contractor	Client	Project PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title BASEMENT PLAN	Drawn By DY	Checked By CB	Project No 3212
				Date 27 NOVEMBER 17	Sheet No. A2000	
				Scale As indicated	Issue	Revision F

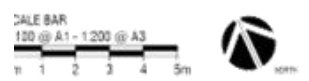
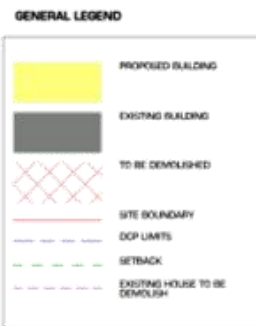
DEVELOPMENT APPLICATION

NOTE!
READ DRAWINGS IN CONJUNCTION WITH SCHEDULES & SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE



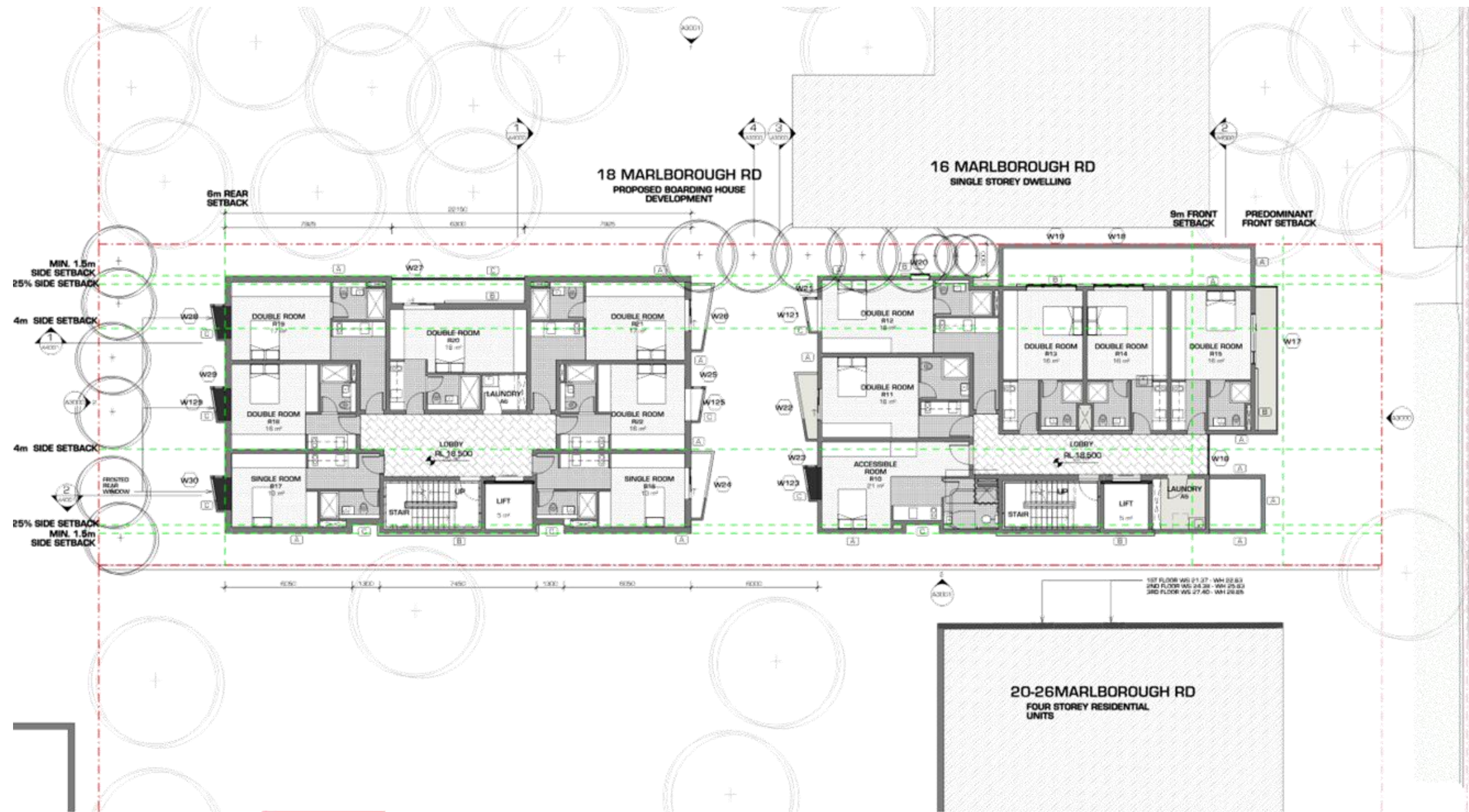
Name	Number	Area
ACCESSIBLE ROOM	R10	21 m
ACCESSIBLE ROOM	R23	21 m
ACCESSIBLE ROOM	R36	21 m
ACCESSIBLE ROOM	R48	21 m
4		
DOUBLE ROOM	R1	18 m
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R12	18 m
DOUBLE ROOM	R13	18 m
DOUBLE ROOM	R14	16 m
DOUBLE ROOM	R15	16 m
DOUBLE ROOM	R18	16 m
DOUBLE ROOM	R19	17 m
DOUBLE ROOM	R20	18 m
DOUBLE ROOM	R21	17 m
DOUBLE ROOM	R22	16 m
DOUBLE ROOM	R24	18 m
DOUBLE ROOM	R25	18 m
DOUBLE ROOM	R26	16 m
DOUBLE ROOM	R27	16 m
DOUBLE ROOM	R28	16 m
DOUBLE ROOM	R31	16 m
DOUBLE ROOM	R32	17 m
DOUBLE ROOM	R33	18 m
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DOUBLE ROOM	R35	16 m
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DOUBLE ROOM	R39	16 m
DOUBLE ROOM	R40	16 m
DOUBLE ROOM	R41	16 m
DOUBLE ROOM	R44	16 m
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DOUBLE ROOM	R48	18 m
DOUBLE ROOM	R50	18 m
DOUBLE ROOM	R51	16 m
DOUBLE ROOM	R52	16 m
DOUBLE ROOM	R53	16 m
35		
MANAGER'S ROOM	R2	21 m
1		
SINGLE ROOM	R4	12 m
SINGLE ROOM	R5	12 m
SINGLE ROOM	R6	12 m
SINGLE ROOM	R7	12 m
SINGLE ROOM	R16	13 m
SINGLE ROOM	R17	13 m
SINGLE ROOM	R29	13 m
SINGLE ROOM	R30	13 m
SINGLE ROOM	R42	13 m
SINGLE ROOM	R43	13 m
10		
Grand total	50	

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20 December 2017



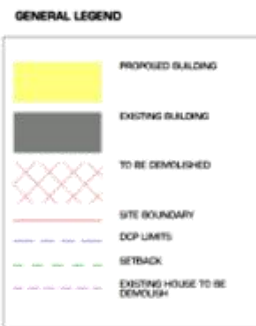
NOTE: READ DRAWINGS IN CONJUNCTION WITH SCHEDULES / SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE
DEVELOPMENT APPLICATION

LIQUID DESIGN Liquid Design Pty Ltd Suite 117, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9551 5215	01/11/17 DEVELOPMENT APPLICATION SET 27/11/17 FINAL DEVELOPMENT SET 16/12/17 LIQUID DESIGN TO SET	Contractor	Client	Project	TITLE	Drawn By	Checked By	Project No.
				PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	GROUND FLOOR PLAN	DY	CB	3212
						Date	Sheet No.	Revision
						27 NOVEMBER 17	A2001	F
						Scale	Issue	Revision
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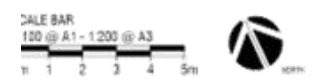


Name	Number	Area
ACCESSIBLE ROOM	R10	21 m
ACCESSIBLE ROOM	R23	21 m
ACCESSIBLE ROOM	R36	21 m
ACCESSIBLE ROOM	R48	21 m
4		
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R12	18 m
DOUBLE ROOM	R13	18 m
DOUBLE ROOM	R14	16 m
DOUBLE ROOM	R15	16 m
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DOUBLE ROOM	R40	16 m
DOUBLE ROOM	R41	16 m
DOUBLE ROOM	R44	16 m
DOUBLE ROOM	R45	16 m
DOUBLE ROOM	R46	17 m
DOUBLE ROOM	R47	17 m
DOUBLE ROOM	R48	18 m
DOUBLE ROOM	R50	18 m
DOUBLE ROOM	R51	16 m
DOUBLE ROOM	R52	16 m
DOUBLE ROOM	R53	16 m
35		
MANAGER'S ROOM	R2	21 m
1		
SINGLE ROOM	R4	12 m
SINGLE ROOM	R5	12 m
SINGLE ROOM	R6	12 m
SINGLE ROOM	R7	12 m
SINGLE ROOM	R16	13 m
SINGLE ROOM	R17	13 m
SINGLE ROOM	R29	13 m
SINGLE ROOM	R30	13 m
SINGLE ROOM	R42	13 m
SINGLE ROOM	R43	13 m
10		
Grand total	50	

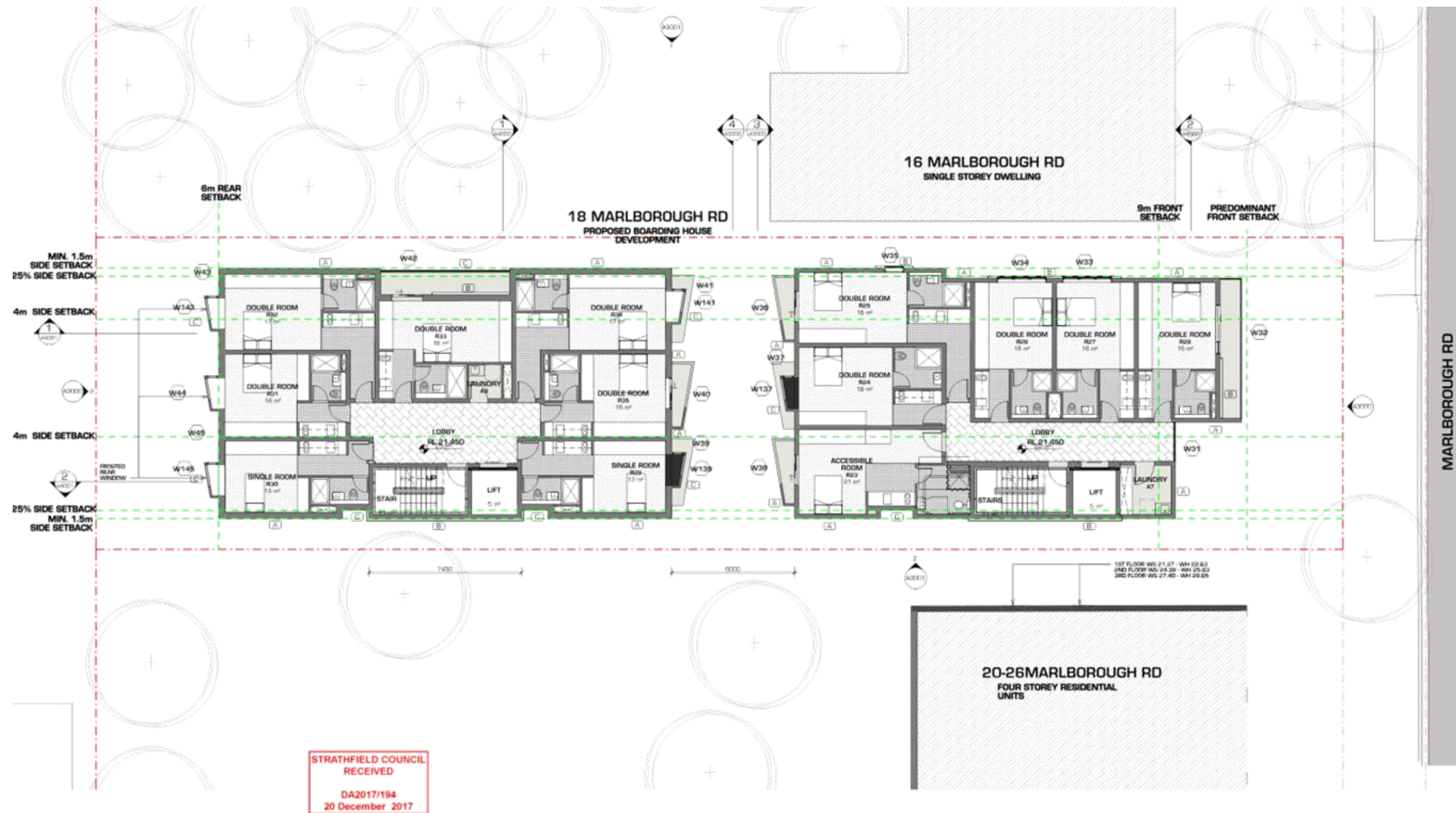
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DEVELOPMENT APPLICATION



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				PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	LEVEL 1 PLAN	DY	CB	3212
						Date	Sheet No.	Revision
						27 NOVEMBER 17	A2002	F
						Scale	Issue	Revision
						As indicated		

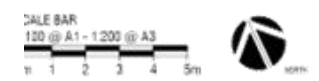


Name	Number	Area
ACCESSIBLE ROOM	R10	21 m
ACCESSIBLE ROOM	R24	21 m
ACCESSIBLE ROOM	R36	21 m
ACCESSIBLE ROOM	R48	21 m
4		
DOUBLE ROOM	R1	18 m
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R12	18 m
DOUBLE ROOM	R13	18 m
DOUBLE ROOM	R14	16 m
DOUBLE ROOM	R15	16 m
DOUBLE ROOM	R18	16 m
DOUBLE ROOM	R19	17 m
DOUBLE ROOM	R20	18 m
DOUBLE ROOM	R21	17 m
DOUBLE ROOM	R22	16 m
DOUBLE ROOM	R24	18 m
DOUBLE ROOM	R25	18 m
DOUBLE ROOM	R26	16 m
DOUBLE ROOM	R27	16 m
DOUBLE ROOM	R28	16 m
DOUBLE ROOM	R31	16 m
DOUBLE ROOM	R32	17 m
DOUBLE ROOM	R33	18 m
DOUBLE ROOM	R34	17 m
DOUBLE ROOM	R35	16 m
DOUBLE ROOM	R37	18 m
DOUBLE ROOM	R38	18 m
DOUBLE ROOM	R39	16 m
DOUBLE ROOM	R40	16 m
DOUBLE ROOM	R41	16 m
DOUBLE ROOM	R44	16 m
DOUBLE ROOM	R45	16 m
DOUBLE ROOM	R46	17 m
DOUBLE ROOM	R47	17 m
DOUBLE ROOM	R48	18 m
DOUBLE ROOM	R50	18 m
DOUBLE ROOM	R51	16 m
DOUBLE ROOM	R52	16 m
DOUBLE ROOM	R53	16 m
35		
MANAGER'S ROOM	R2	21 m
1		
SINGLE ROOM	R4	12 m
SINGLE ROOM	R5	12 m
SINGLE ROOM	R6	12 m
SINGLE ROOM	R7	12 m
SINGLE ROOM	R16	13 m
SINGLE ROOM	R17	13 m
SINGLE ROOM	R29	13 m
SINGLE ROOM	R30	13 m
SINGLE ROOM	R42	13 m
SINGLE ROOM	R43	13 m
10		
Grand total	50	

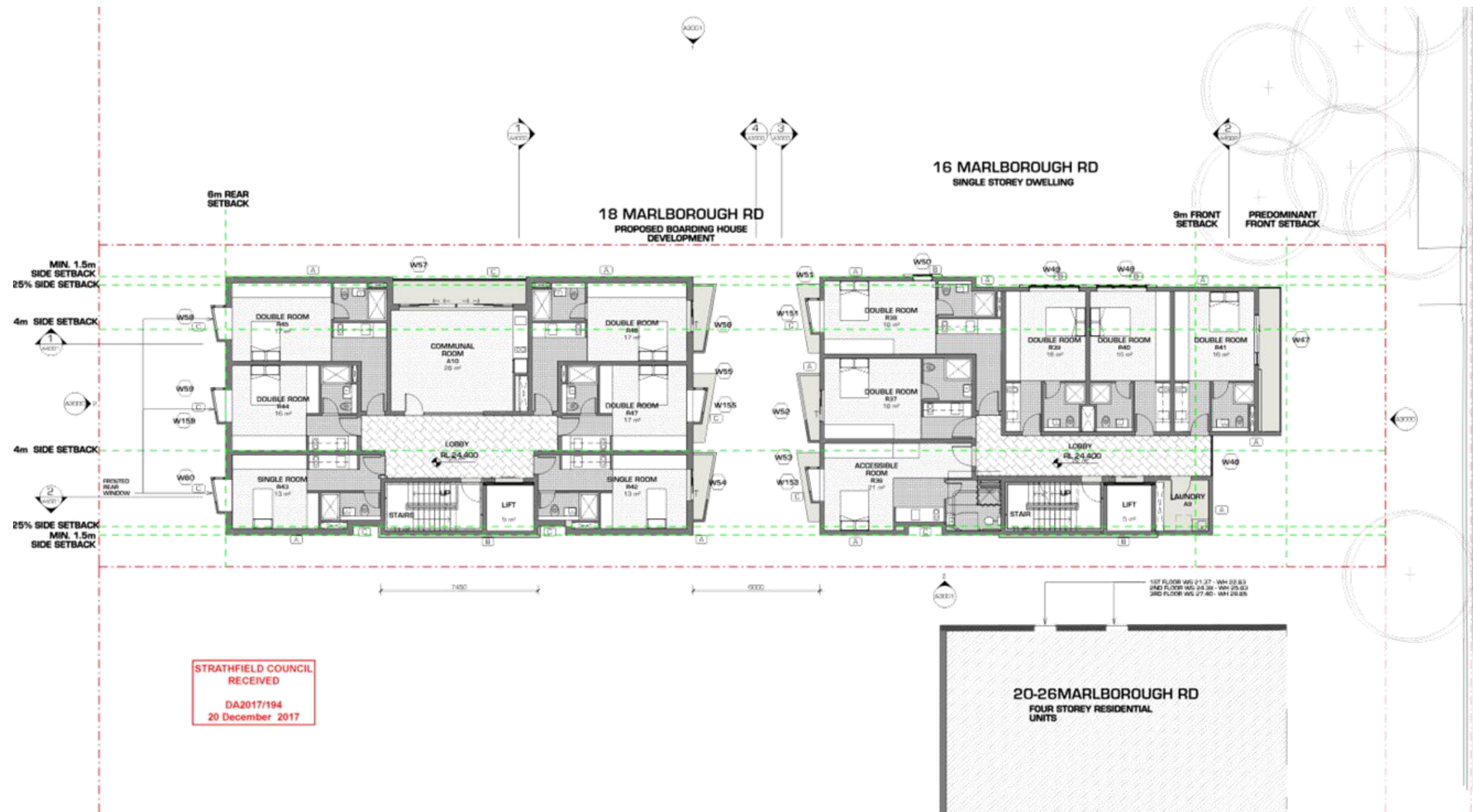


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DEVELOPMENT APPLICATION



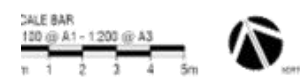
LIQUID DESIGN Liquid Design Pty Ltd Suite 117, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9551 5295	27/11/17 27/11/17 19/11/17	DEVELOPMENT APPLICATION SET FINAL DEVELOPMENT SET DEVELOPMENT APPLICATION SET	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
					PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	LEVEL 2 PLAN	DY	CB	3212
									Sheet No.
									A2003
									Revision
									F



Name	Number	Area
ACCESSIBLE ROOM	R10	21 m
ACCESSIBLE ROOM	R23	21 m
ACCESSIBLE ROOM	R36	21 m
ACCESSIBLE ROOM	R48	21 m
4		
DOUBLE ROOM	R1	18 m
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R12	18 m
DOUBLE ROOM	R13	18 m
DOUBLE ROOM	R14	16 m
DOUBLE ROOM	R15	16 m
DOUBLE ROOM	R18	16 m
DOUBLE ROOM	R19	17 m
DOUBLE ROOM	R20	18 m
DOUBLE ROOM	R21	17 m
DOUBLE ROOM	R22	16 m
DOUBLE ROOM	R24	18 m
DOUBLE ROOM	R25	18 m
DOUBLE ROOM	R26	16 m
DOUBLE ROOM	R27	16 m
DOUBLE ROOM	R28	16 m
DOUBLE ROOM	R31	16 m
DOUBLE ROOM	R32	17 m
DOUBLE ROOM	R33	18 m
DOUBLE ROOM	R34	17 m
DOUBLE ROOM	R35	16 m
DOUBLE ROOM	R37	18 m
DOUBLE ROOM	R38	18 m
DOUBLE ROOM	R39	16 m
DOUBLE ROOM	R40	16 m
DOUBLE ROOM	R41	16 m
DOUBLE ROOM	R44	16 m
DOUBLE ROOM	R45	16 m
DOUBLE ROOM	R46	17 m
DOUBLE ROOM	R47	17 m
DOUBLE ROOM	R48	18 m
DOUBLE ROOM	R50	18 m
DOUBLE ROOM	R51	16 m
DOUBLE ROOM	R52	16 m
DOUBLE ROOM	R53	16 m
35		
MANAGER'S ROOM	R2	21 m
1		
SINGLE ROOM	R4	12 m
SINGLE ROOM	R5	12 m
SINGLE ROOM	R6	12 m
SINGLE ROOM	R7	12 m
SINGLE ROOM	R16	13 m
SINGLE ROOM	R17	13 m
SINGLE ROOM	R29	13 m
SINGLE ROOM	R30	13 m
SINGLE ROOM	R42	13 m
SINGLE ROOM	R43	13 m
10		
Grand total	50	

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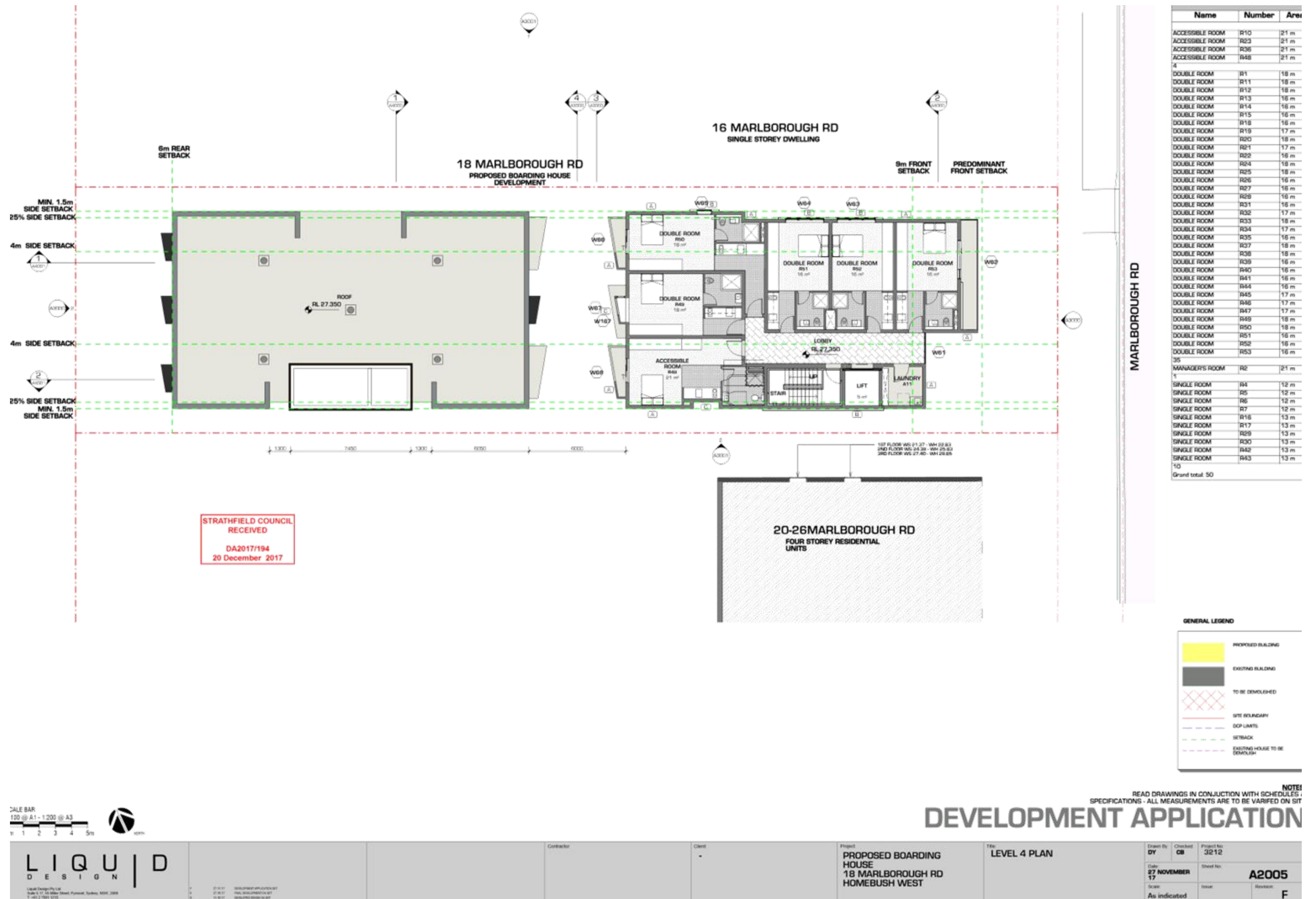
20-26 MARLBOROUGH RD
FOUR STOREY RESIDENTIAL UNITS



	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
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					Date		Sheet No.
					27 NOVEMBER 17		A2004
					Scale	Issue	Revision
					As indicated		F

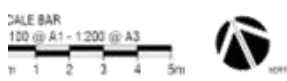
DEVELOPMENT APPLICATION

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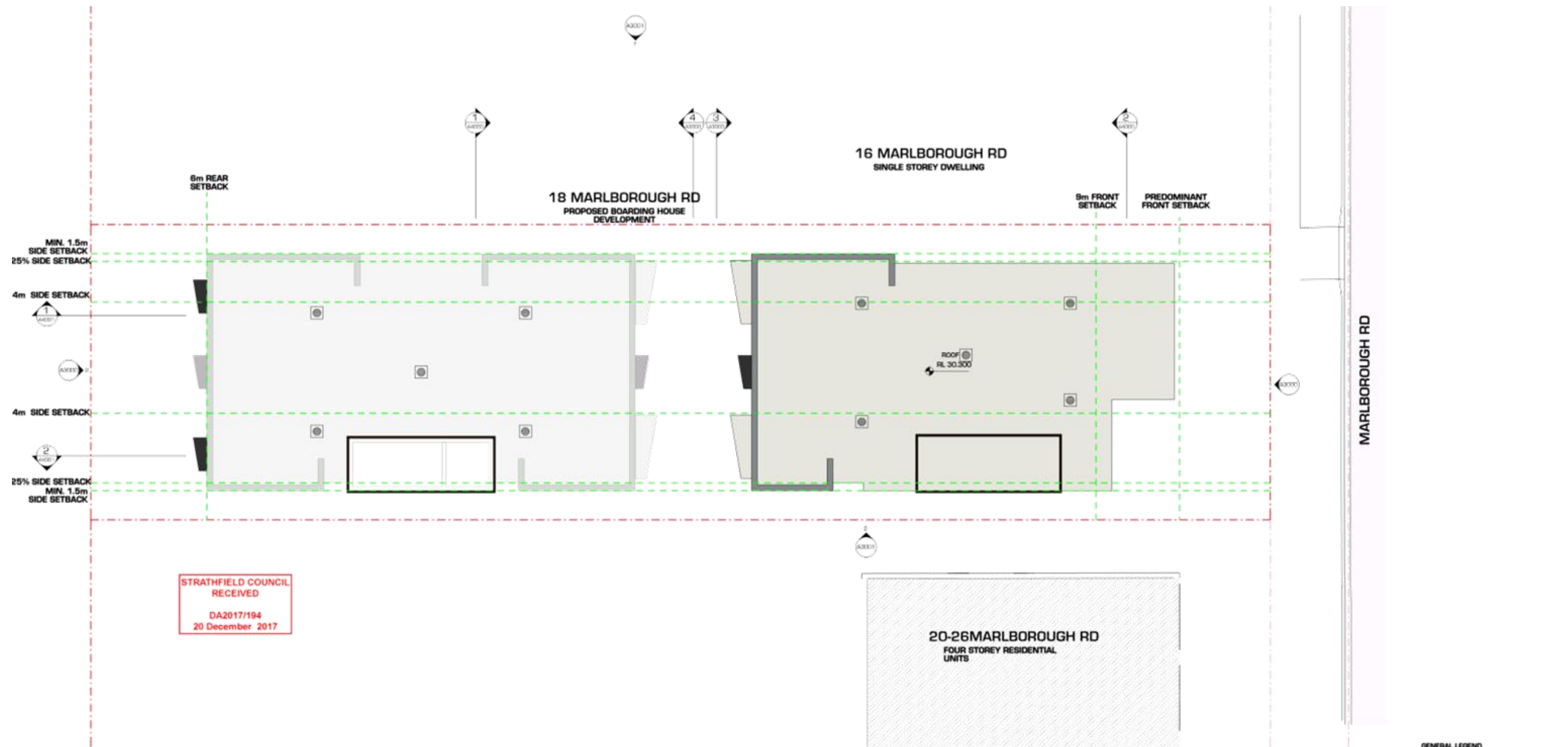


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						27 NOVEMBER 17	A2005	F
						Scale	Issue	Revision
						As indicated		



GENERAL LEGEND

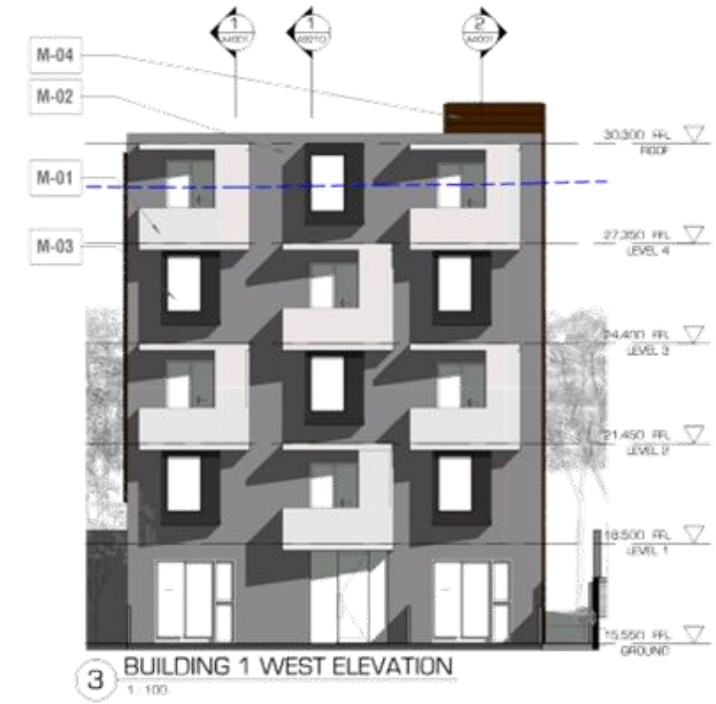
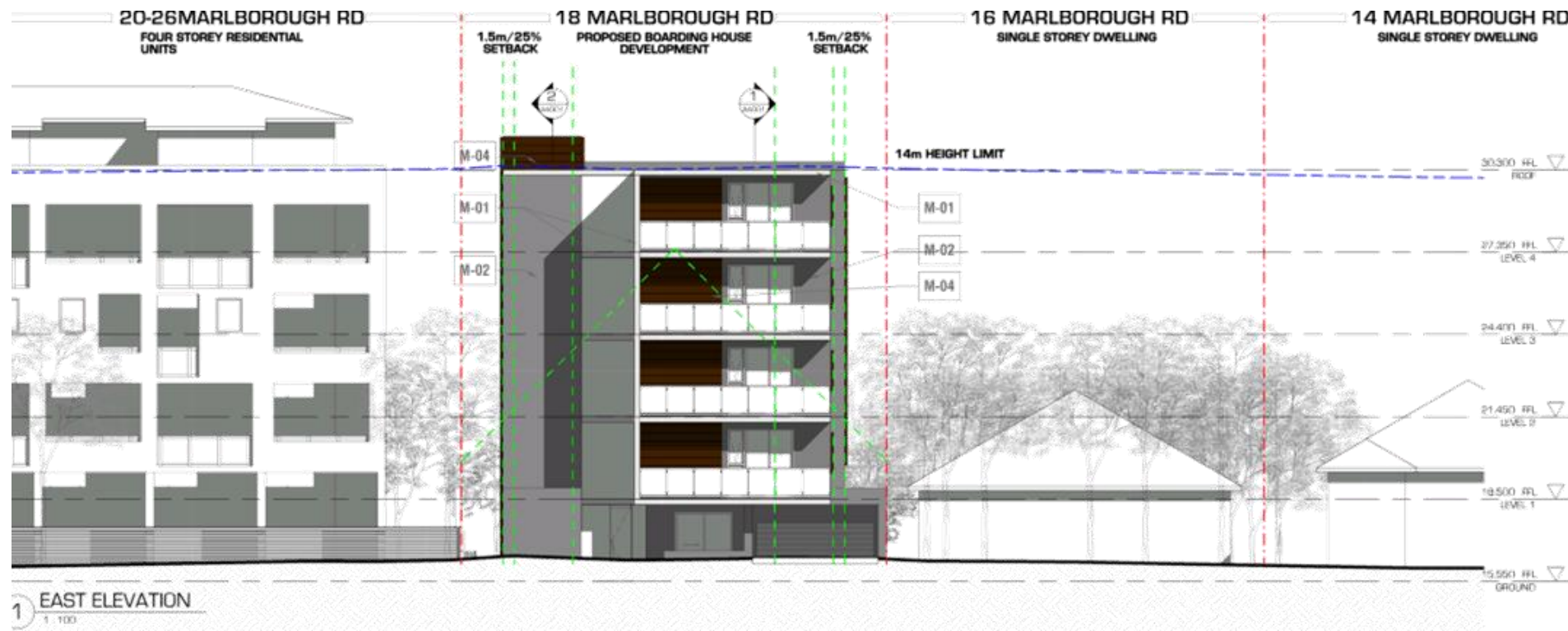
- PROPOSED BUILDING
- EXISTING BUILDING
- TO BE DEMOLISHED
- SITE BOUNDARY
- DCP LIMITS
- SETBACK
- EXISTING HOUSE TO BE DEMOLISH



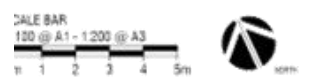
DEVELOPMENT APPLICATION

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LIQUID DESIGN <small>Liquid Design Pty Ltd Suite 1.17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9555 5233</small>	<small>27/11/17 DEVELOPMENT APPLICATION SET 27/11/17 FINAL DEVELOPMENT SET 29/11/17 DEVELOPMENT APPLICATION SET</small>	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
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						27 NOVEMBER 17		A2006
						As indicated		F



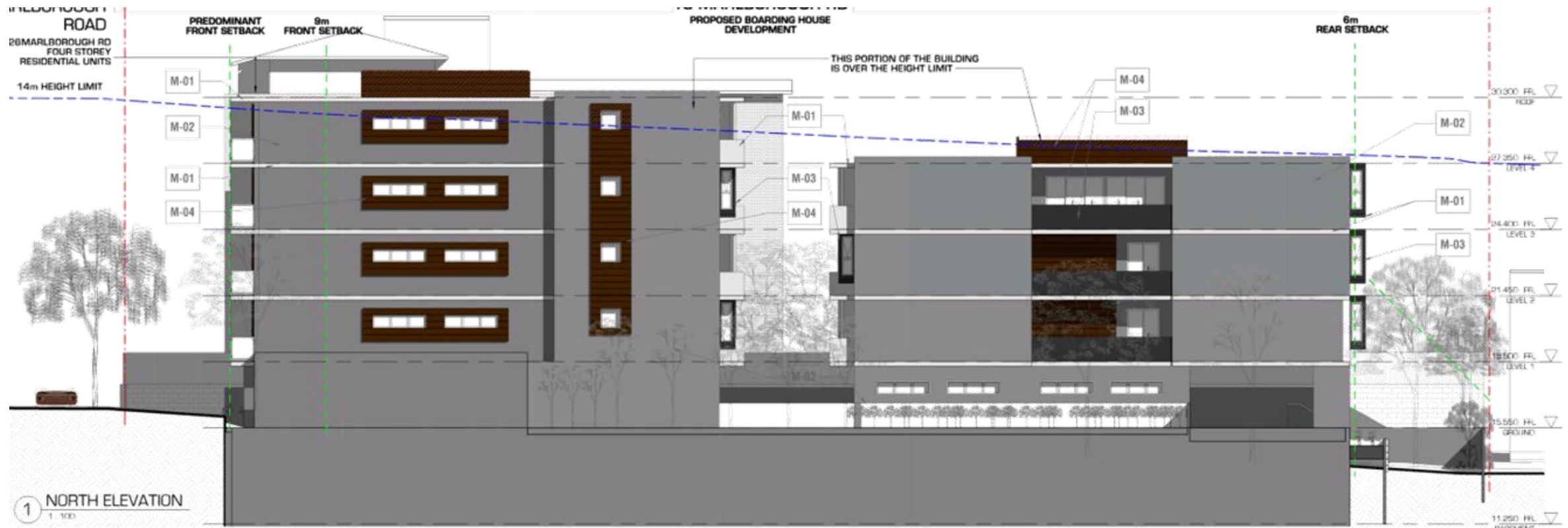
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LIQUID DESIGN LIQUID DESIGN PTY LTD Suite 4, 17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9551 5333	27/11/17 27/11/17	2017/11/17 2017/11/17	Contractor: Client:	Project: PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title: EAST & WEST ELEVATIONS	Drawn By: DY	Checked By: CB	Project No: 3212	
						Date: 27 NOVEMBER 17	Sheet No.: A3000		
							Scale: 1:100	Issue: E	



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GENERAL LEGEND

	PROPOSED BUILDING
	EXISTING BUILDING
	TO BE DEMOLISHED
	SITE BOUNDARY
	DCP LIMITS
	SETBACK
	EXISTING HOUSE TO BE DEMOLISHED

NOTE!
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SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

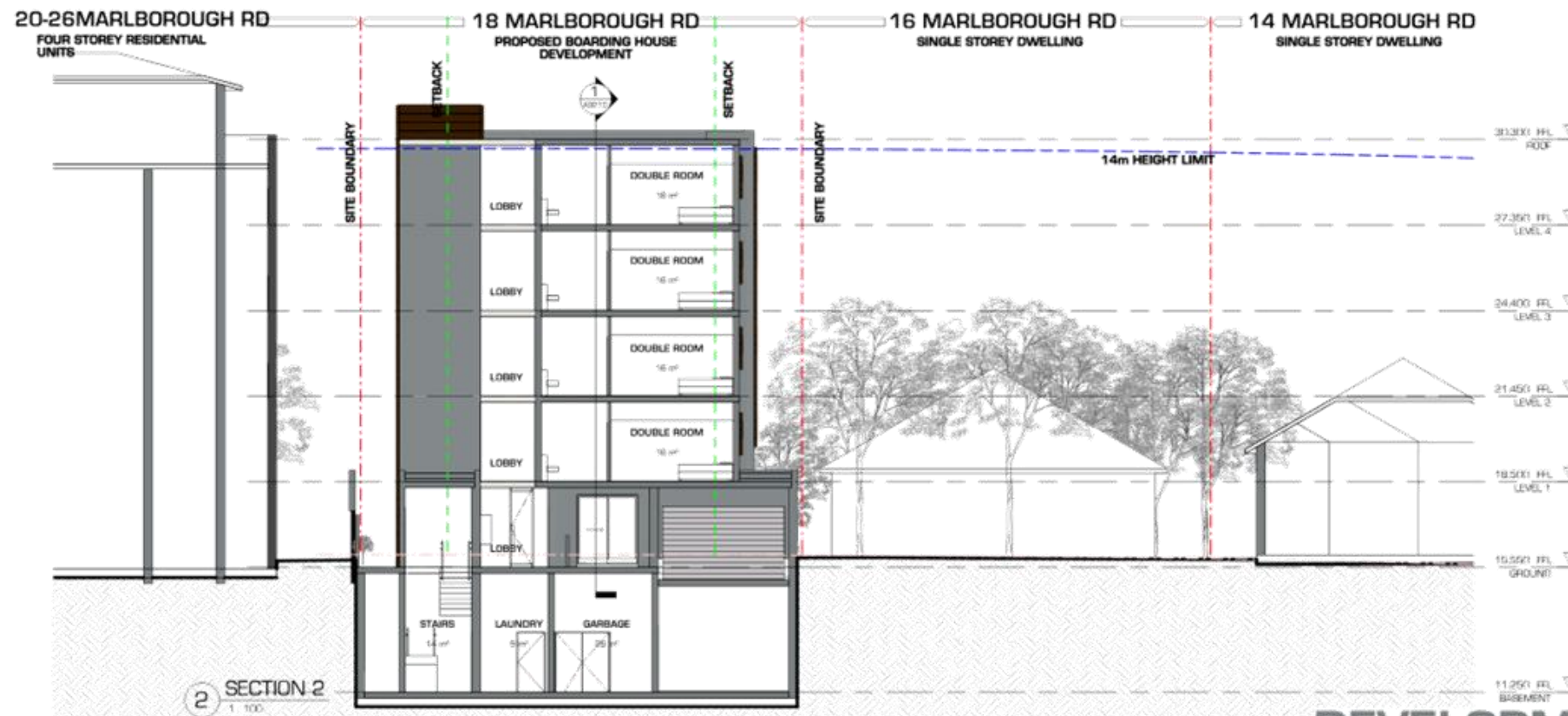
DEVELOPMENT APPLICATION

<p>LIQUID DESIGN</p> <p>Liquid Design Pty Ltd Suite 4/17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9555 5295</p>	<p>27/11/17</p> <p>27/11/17</p>	<p>CONTRACTOR</p>	<p>CLIENT</p>	<p>PROJECT</p> <p>PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST</p>	<p>TITLE</p> <p>NORTH & SOUTH ELEVATIONS</p>	<p>Drawn By</p> <p>DY</p>	<p>Checked By</p> <p>CB</p>	<p>Project No</p> <p>3212</p>
						<p>Date</p> <p>27 NOVEMBER 17</p>	<p>Scale</p> <p>As indicated</p>	<p>Sheet No</p> <p>A3001</p>

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1 SECTION 1
1:100



2 SECTION 2
1:100

GENERAL LEGEND

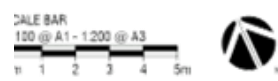
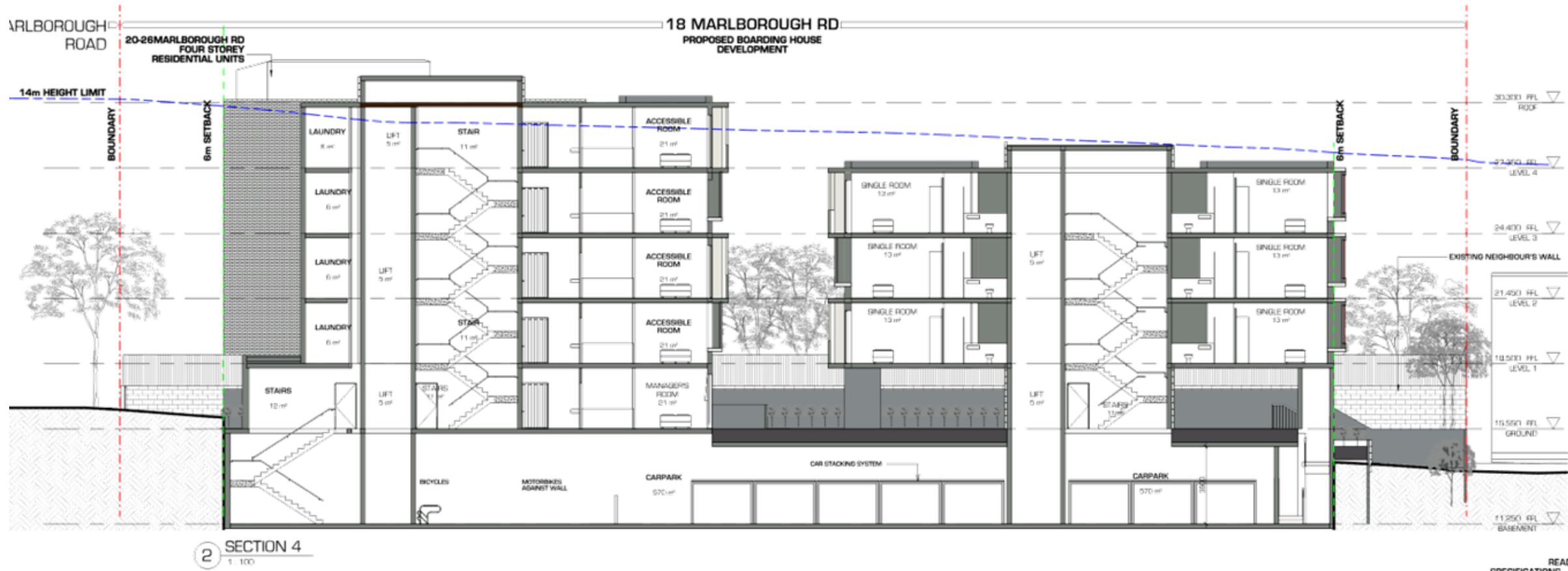
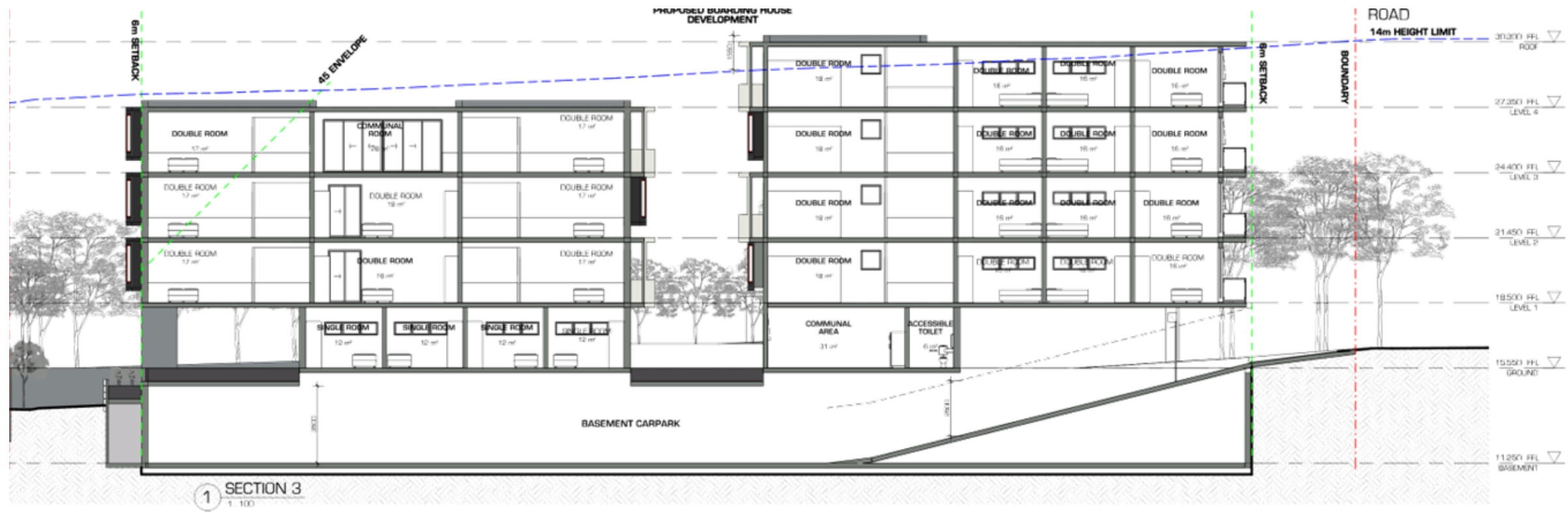
	PROPOSED BUILDING
	EXISTING BUILDING
	TO BE DEMOLISHED
	SITE BOUNDARY
	DGP LIMITS
	SETBACK
	EXISTING HOUSE TO BE DEMOLISHED

NOTE:
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DEVELOPMENT APPLICATION



LIQUID DESIGN <small>Liquid Design Pty Ltd Suite 4, 17, 25 Market Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9551 5293</small>	Contractor:	Client:	Project: PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title: CROSS SECTIONS	Drawn By: DY	Checked By: CB	Project No: 3212
					Date: 27 NOVEMBER 17	Scale: As indicated	Sheet No: A4000



DEVELOPMENT APPLICATION

LIQUID DESIGN <small>Liquid Design Pty Ltd Suite 4.17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9551 5293</small>	Contractor	Client	Project PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title LONG SECTIONS	Drawn By DY	Checked By CB	Project No. 3212
					Date 27 NOVEMBER 17	Sheet No. A4001	
					Scale As indicated	Issue	Revision D

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DEVELOPMENT APPLICATION

LIQUID DESIGN D <small>Liquid Design Pty Ltd 20/20-22, 20-22 Market Street, Pyrmont, Sydney, NSW 2009 T: +61 2 9555 5295</small>	Contractor:	Client:	Project:	Title:	Drawn By:	Checked:	Project No:
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	PHOTOMONTAGE OF MARLBOROUGH RD	LiquidDesign@me.com		32-12
						Date:	Sheet No.:
					27 NOVEMBER 17	A9000	A
					Scale:	Issue:	Revision:

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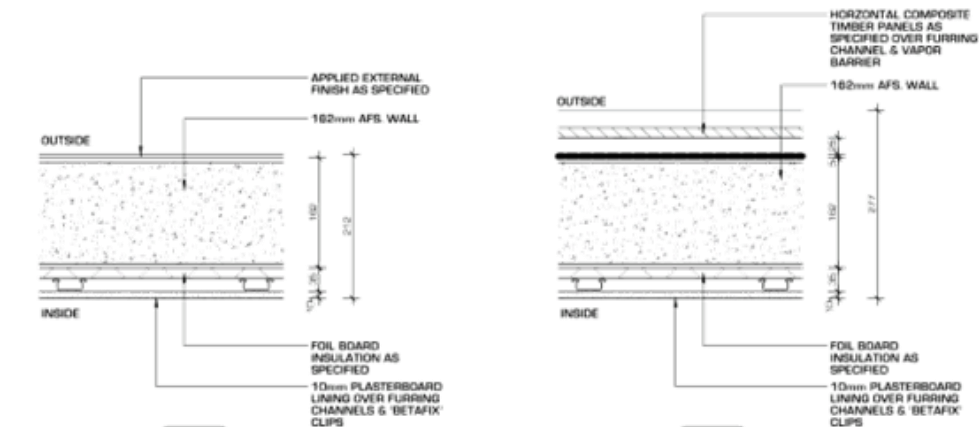


NOTE:
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SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

DEVELOPMENT APPLICATION

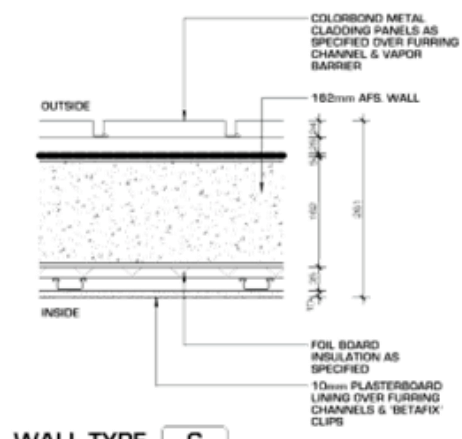
LIQUID DESIGN D <small>Liquid Design Pty Ltd Suite 6/17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9851 5215</small>	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	3D VIEWS	DY	CB	3212
					Date	Sheet No.	Revision
					27 NOVEMBER 17	A9001	D
					Scale	Issue	

SCHEDULE OF COLOURS & MATERIALS					
LOCATION	CODE	ITEM	DESCRIPTION	SUPPLIER	IMAGE
BALCONY / SLAB EDGE	M-01	PAINT	PAINT ON AFS WALL COLOUR: WHITSUNDAY ISLAND	DULUX	
WALL	M-02	PAINT	PAINT ON AFS WALL COLOUR: TIMELESS GREY	DULUX	
BAY WINDOW	M-03	METALWORK	COLOUR: MONUMENT	COLORBOND	
WALL	M-04	SUSTAINABLE COMPOSITE TIMBER	COLOUR: SPOTTED GUM FINISH: BRUSHED	INNOWOOD	
FLOOR / BALCONY FLOOR	M-05	PORCELAIN FLOOR TILES	COLOUR: BROOKLYN GRIGG FINISH: GLAZED	BEAUMONT TILES	
BALLUSTRADE	M-06	STAINLESS STEEL	FINISH: SATIN		



WALL TYPE A
SCALE 1:5
EXTERNAL WALL WITH PAINT FINISH
ACOUSTIC RW - 44
INSULATION R-VALUE - 1.77

WALL TYPE B
SCALE 1:5
EXTERNAL WALL WITH COMPOSITE TIMBER CLADDING
ACOUSTIC RW - 44
INSULATION R-VALUE - 1.77



WALL TYPE C
SCALE 1:5
EXTERNAL WALL WITH COLORBOND CLADDING
ACOUSTIC RW - 44
INSULATION R-VALUE - 1.77

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BUILDING FABRIC - INTEGRITY OF THE INSULATION
ANY INSULATION MUST BE INSTALLED SO THAT IT ABUTS OR OVERLAPS ADJOINING INSULATION, FORMS A CONTINUOUS BARRIER WITH CEILINGS, WALLS, BULKHEADS, FLOORS OR THE LIKE, AND DOES NOT AFFECT THE SAFE OR EFFECTIVE OPERATION OF A SERVICE OR FITTING.

BUILDING FABRIC - REFLECTIVE INSULATION
REFLECTIVE INSULATION MUST BE INSTALLED TO ACHIEVE THE REQUIRED R-VALUE BETWEEN A REFLECTIVE SURFACE OF THE REFLECTIVE INSULATION AND A BUILDING LINING OR CLADDING. IT MUST BE CLOSELY FITTED AGAINST ANY PENETRATION, DOOR OR WINDOW OPENING, ADEQUATELY SUPPORTED AND OVERLAPPED, NOT LESS THAN 50MM OR TAPPED TOGETHER.

BUILDING FABRIC - BULK INSULATION
BULK INSULATION MUST BE INSTALLED SO THAT IT MAINTAINS ITS POSITION AND THICKNESS AND IN A CEILING WHERE THERE IS NO BULK OR REFLECTIVE INSULATION IN THE WALL BENEATH IT OVERLAPS THE WALL BY NOT LESS THAN 50MM.

CEILINGS
PROVIDE A MINIMUM R2.55 INSULATION TO THE FOLLOWING CEILINGS:
A. REAR PORTION OF ROOM 8 CEILING ON THE GROUND FLOOR OF THE REAR BUILDING THAT IS NOT BELOW A CONDITIONED AREA.
B. ALL OF THE CEILINGS TO LEVEL 3 REAR BUILDING AND LEVEL 4 FRONT BUILDING.

EXTERNAL WALLS
PROVIDE INSULATION OF MINIMUM R1.77 TO ALL EXTERNAL CONCRETE PANEL OR AFS WALLS TO THE CONDITIONED AREAS.

INTERNAL WALLS
PROVIDE INSULATION OF MINIMUM R1.19 TO ALL INTERNAL CONCRETE WALLS SEPARATING THE CONDITIONED AREAS FROM THE NON-CONDITIONED AREAS.

FLOORS
PROVIDE INSULATION OF MINIMUM R1.25 TO THE FOLLOWING FLOORS:
A. ALL OF THE CONDITIONED AREAS ON THE GROUND FLOOR OF BOTH BUILDINGS ABOVE THE CARPARK.
B. THOSE PARTS OF FLOORS TO ROOMS 14, 15 & 16 ON LEVEL 1 (FRONT BUILDING) ABOVE THE DRIVEWAY.

GLAZING
PROVIDE GLAZING TO ALL WINDOWS AND GLASS DOORS OF THE CONDITIONED AREAS THAT HAVE THE U-VALUE AND SHGC VALUES AS NOMINATED IN SECTION J REPORT AND WINDOW SCHEDULE AS4001 & AS4041.

OPENABLE WINDOWS & DOORS
PROVIDE SEALS TO ANY OPENABLE WINDOWS AND DOORS WITHIN THE CONDITIONED AREAS AS MENTIONED IN B.1.3 OF SECTION J REPORT.

ENTRY DOOR
THE MAIN ENTRY DOOR TO THE GROUND FLOOR LOBBY SHALL BE A SELF-CLOSING DOOR WITH A DRAFT PROTECTION DEVICE ATTACHED TO THE UNDERSIDE OF THE DOOR.

EXHAUST FANS
ANY MISCELLANEOUS EXHAUST FAN SUCH AS A BATHROOM EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF-CLOSING DAMPER OR THE LIKE WHEN SERVING A CONDITIONED AREA.

EVAPORATIVE COOLER
ANY EVAPORATIVE COOLER MUST BE FITTED WITH A SELF-CLOSING DAMPER OR THE LIKE WHEN SERVING A HEATED SPACE OR AN HABITABLE ROOM OR A PUBLIC AREA OF THE CONDITIONED AREAS.

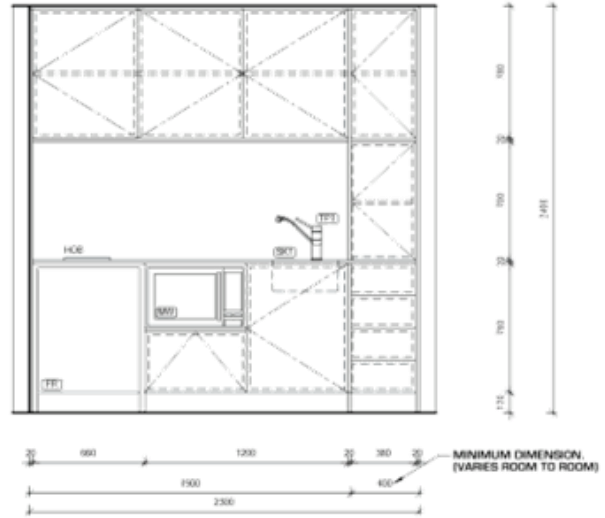
INTERNAL LININGS
ALL INTERNAL LININGS TO THE CONDITIONED AREAS SHALL BE CLOSE FITTING AT THE JUNCTION OF CEILING WALL AND FLOORS OR SEALED BY CAULKING SKirting, ARCHITRAVES CORNICES OR THE LIKE.

MECHANICAL VENTILATION / AIR CONDITIONING
ANY AIR CONDITIONING OR MECHANICAL VENTILATION SYSTEM TO THE CONDITIONED AREAS MUST COMPLY WITH THE REQUIREMENTS OUTLINED IN HEADING 10.D OF SECTION J REPORT.

LIGHTING AND POWER
LIGHTING AND POWER TO THE BUILDING SHALL COMPLY WITH THE REQUIREMENTS OUTLINED IN HEADING 11 AND ANNEXURE 2 OF SECTION J REPORT.

HEATED WATER SUPPLY
ANY HEATED WATER SUPPLY FOR FOOD PREPARATION AND SANITARY PURPOSES MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART B2 OF NZCC VOLUME 3 - PLUMBING CODE OF AUSTRALIA.

GAS AND ELECTRICITY
THE BUILDING MUST HAVE THE FACILITY TO RECORD THE CONSUMPTION OF GAS AND ELECTRICITY.



1 TYPICAL KITCHENETTE ELEVATION
1:20

- ALL MATERIALS ARE TO BE APPROVED BY THE ARCHITECT PRIOR TO ORDERING
- ANY SUBSTITUTIONS ARE TO BE APPROVED BY THE ARCHITECT
- CONTRACTOR IS TO CONFIRM ALL LEAD TIMES PRIOR TO ORDERING
- AGRIED CONTROL SAMPLES ARE TO IN THE SITE OFFICE
- ALL MATERIALS ARE TO BE APPLIED OR INSTALLED IN ACCORDANCE WITH APPROPRIATE AUSTRALIAN STANDARD
- ALL MATERIALS ARE TO BE INSTALLED TO THE MANUFACTURERS REQUIREMENTS
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE MANUALS UPON PRACTICAL COMPLETION
- THE CONTRACTOR SHALL HOLD AND PASS ON DOCUMENTED EVIDENCE OF ALL WARRANTIES TO THE ESTABLISHED BODY CORPORATE OR THE SITE OWNER ON PRACTICAL COMPLETION

ACOUSTIC NOTES:
ALL WINDOWS & SLIDING DOORS IN BOARDING ROOMS 2, 16, 30, 44 & 56 ARE TO BE DOUBLE GLAZED SYSTEM THAT IS 8mm LAMINATED WITH 50mm AIR GAP THEN 8mm LAMINATED WITH FULL PERIMETER SCHLEGEL G-LON ACOUSTIC SEALS (1) OR 6mm LAMINATED SECONDARY WINDOW / SLIDER FOLLOWED BY A MIN 5mm WINDOW AT 50MM GAP OR ANY OTHER WINDOW SYSTEM THAT ACHIEVES AN RW OF 39-41.

WINDOWS & SLIDING DOORS IN BOARDING ROOMS 15, 28, 43 & 55 ARE TO BE 10mm LAMINATED TYPE WITH FULL PERIMETER SCHLEGEL G-LON ACOUSTIC SEALS (1) AND ACHIEVE AN RW RATING OF 33-38.

WINDOWS & SLIDING DOORS IN COMMUNAL ROOM & ALL OTHER BOARDING ROOMS ARE TO BE 8mm LAMINATED TYPE WITH FULL PERIMETER SCHLEGEL G-LON ACOUSTIC SEALS (1) AND ACHIEVE AN RW RATING OF 30-33.

WINDOWS & SLIDERS IN OTHER AREAS OF BOARDING HOUSE (BATHROOMS/LAUNDRIES, STAIRWELLS, HALLWAY ETC) ARE UNRESTRICTED AND TO BE IN ACCORDANCE WITH AS6047 (WINDOWS IN BUILDINGS). (1)

EXTERNAL DOORS ARE TO BE SOLID CORE WITH ACOUSTIC SEALS FITTED AROUND THE DOOR. A DROP SEAL IS REQUIRED AT THE BASE OF THE EXTERNAL DOOR WITH A RW RATING OF 30-33 TO BE ACHIEVED.

EXTERNAL WALLS ARE TO BE DOUBLE SKIN CAVITY BRICK WALLS MINIMUM 270 / 250mm DOUBLE BRICK / BRICK VENEER CONSTRUCTION OR ANY OTHER METHOD OF WALL CONSTRUCTION WITH AN RW OF 44.

ROOF IS TO BE MINIMUM 150mm CONCRETE AND / OR GALVANNEED STEEL THROUGH ROOFING (15mm) ON 10mm PLASTERBOARD CEILING & 75mm, 1kg/m³ MINERAL WOOL BATTS BETWEEN CEILING JOISTS (1) WITH A RW RATING OF 40-44 TO BE ACHIEVED.

(1) NO WEEP HOLES IN WINDOWS / SLIDERS. ALL GAPS BETWEEN WINDOW / DOOR FRAMES AND THE MASONRY WALLS ARE TO BE SEALED USING ACOUSTIC FOAM MILT OPS20 OR SIMILAR. GLASS WOOL BATTS CAN BE APPLIED PRIOR TO THE APPLICATION OF THE FOAM TO SEAL LARGER GAPS.
(2) ALL GAPS ARE TO BE ACOUSTICALLY SEALED.

IN GENERAL, ALL NEW EXTERNAL AIR CONDITIONING UNITS ARE TO BE ACOUSTICALLY ENCLOSED OR SET AWAY BY MORE THAN 3.0M FROM ANY BOUNDARY.

CAR PARK SUPPLY AIR (IF APPLICABLE) INSTALL A SILENCER MIN 20 (E29 / 90) OR EQUIVALENT.

CAR PARK EXHAUST FAN (IF APPLICABLE) PROVIDE SILENCER BEFORE AND AFTER FAN. SILENCER MIN 20 (E29 / 90) OR EQUIVALENT. LAGGED DUCT WITH MIN 38mm 32KG/m³ ACOUSTIC INSULATION A MINIMUM 10 METRES INTO THE CAR PARK.

ALL SILENCERS SHOULD BE PLACED 1 TO 2 DUCT DIAMETER DISTANCE AWAY FROM THE FAN.

SOUND BARRIER FENCE: 1.8 METRE GAP FREE FENCE IS INSTALLED ON THE GROUND FLOOR BOUNDARIES ADJACENT TO THE NEAREST RECEIVERS AT 16 & 20/25 MARLBOROUGH ROAD AND THE REAR OF THE SITE ADJACENT TO NO. 30/32 COLVILLE AVE, HOME BUSH WEST. THE FENCE CAN BE OF LAPPED & CARVED TIMBER, COLORBOND STEEL C MASONRY CONSTRUCTION.

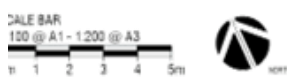
SUPERVISION: MANAGEMENT IS TO ENSURE THAT LODGERS ARE SUPERVISED AT ALL TIMES AND HOUSE RULES ARE FOLLOWED. TO MINIMIZE NOISE GENERATED BY RESIDENCES OF THE BOARDING HOUSE. IN ACCORDANCE WITH A PLAN OF MANAGEMENT. NO LARGE SOCIAL GATHERINGS ARE TO OCCUR AND NO MUSIC IS TO BE PLAYED IN OUTDOOR COMMON AREAS. IT IS RECOMMENDED THAT WHEN TV OR MUSIC IS PLAYED IN BOARDING ROOMS OR COMMUNAL ROOM, MANAGEMENT IS TO ENCOURAGE LODGERS TO HAVE THEIR WINDOWS AND DOORS CLOSED.

SIGNS: SIGNS REMAINING RESIDENTS OF THE NEARBY RESIDENTIAL RECEPTORS AND TO MINIMIZE NOISE AT ALL TIMES SHALL BE INSTALLED AT ENTRY AND HALLWAYS OF THE BOARDING HOUSE. THE COMMUNAL ROOM AND COMMUNAL TERRACE TO ENSURE THAT ALL MUSIC AND SOUNDS ARE RESTRICTED WITHIN THE PROPERTY AND NOT TRANSMITTED INTO ADJOINING RESIDENCES.

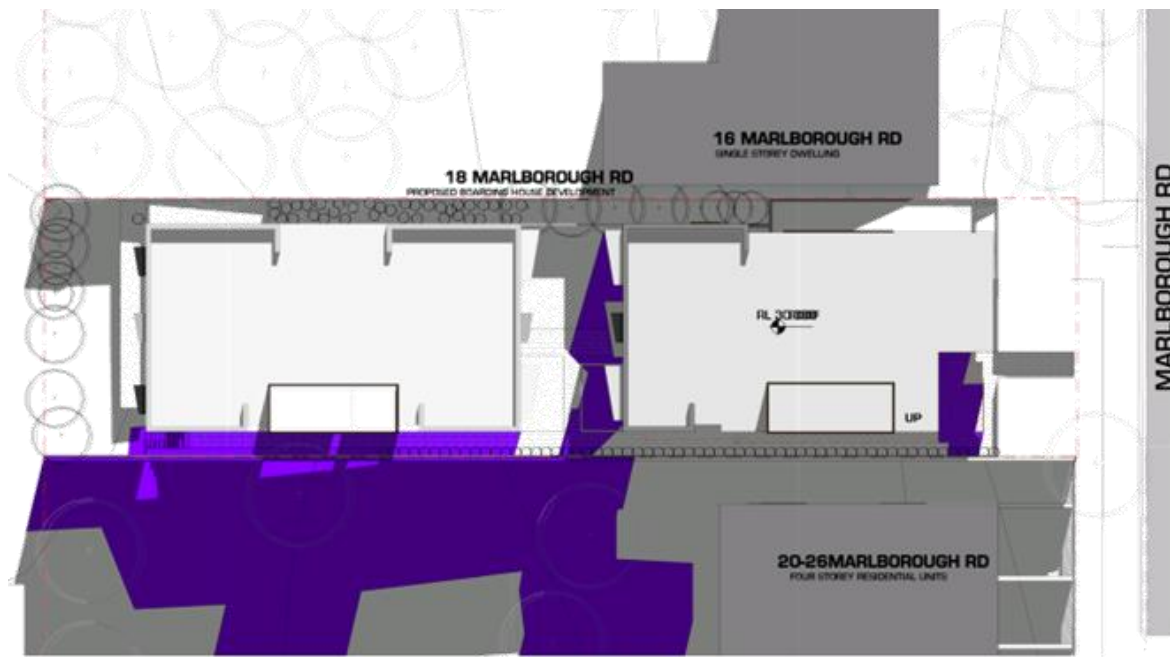
NOISE MANAGEMENT PLAN: INSTALL A CONTACT NUMBER AT THE FRONT OF THE BOARDING HOUSE SO THAT COMPLAINTS REGARDING THE STATION OPERATION CAN BE MADE. IMPLEMENT A COMPLAINT HANDLING PROCEDURE. IF A NOISE COMPLAINT IS RECEIVED THE COMPLAINT SHOULD BE RECORDED ON A COMPLAINT FORM, CONTAINING THE FOLLOWING:
- NAME AND ADDRESS OF THE COMPLAINANT
- TIME AND DATE THE COMPLAINT WAS RECEIVED
- THE NATURE OF THE COMPLAINT AND THE TIME / DATE THE NOISE WAS HEARD
- THE NAME OF THE EMPLOYEE THAT RECEIVED THE COMPLAINT
- ACTIONS TAKEN TO INVESTIGATE THE COMPLAINT AND THE SUMMARY OF THE RESULTS OF THE INVESTIGATION
- INDICATION OF WHAT WAS OCCURRING AT THE TIME THE NOISE WAS HAPPENING (IF APPLICABLE)
- REQUIRED REMEDIAL ACTION (IF APPLICABLE)
- VALIDATION OF THE REMEDIAL ACTION
- SUMMARY OF FEEDBACK TO THE COMPLAINT
ALSO A PERMANENT REGISTER OF COMPLAINTS SHOULD BE HELD ON THE PREMISES, WHICH SHALL BE REVIEWED MONTHLY BY STAFF TO ENSURE ALL COMPLAINTS ARE BEING RESPONDED TO. ALL COMPLAINTS REQUEST SHALL BE REPORTED TO MANAGEMENT WITH INITIAL ACTION INVESTIGATION COMMENCING WITHIN 7 DAYS. THE COMPLAINT SHOULD ALSO BE NOTIFIED OF THE RESULTS AND ACTIONS ARISING FROM THE INVESTIGATION.

NOTE:
READ DRAWINGS IN CONJUNCTION WITH SCHEDULES & SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VARIFIED ON SITE

DEVELOPMENT APPLICATION

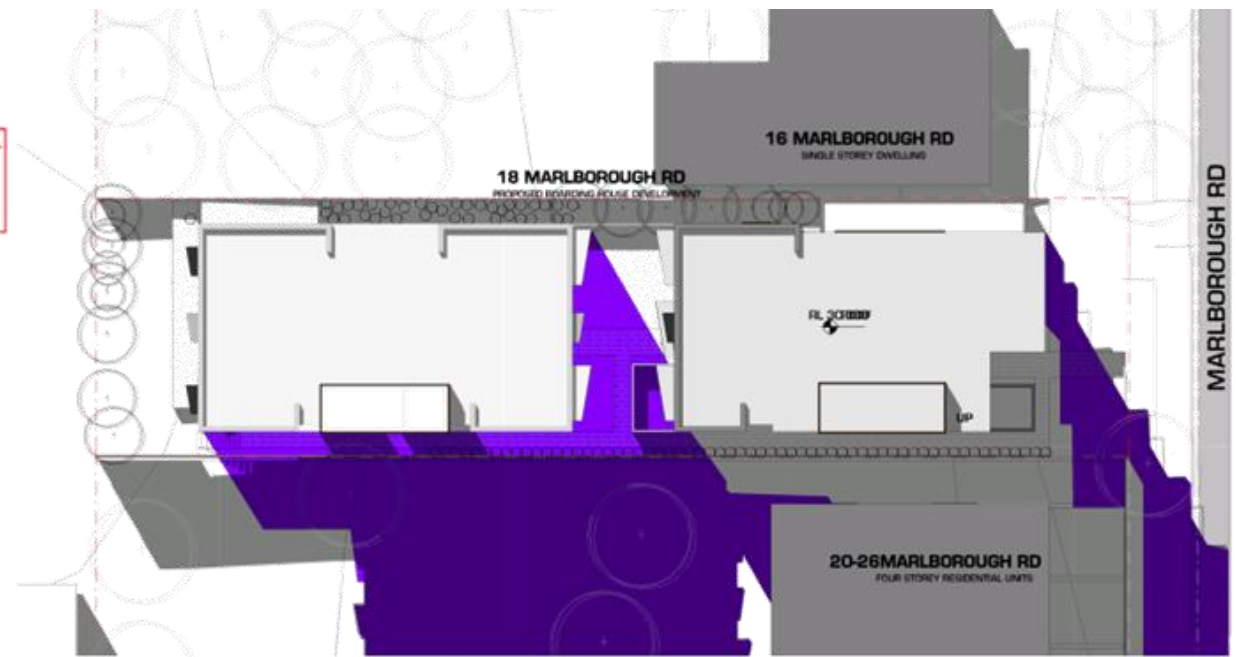


 Liquid Design Pty Ltd Suite 117, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9551 6295	Contractor	Client	Project	Title: FINISHES, NOTES AND DETAILS	Drawn By	Checked By	Project No	
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST		27 NOVEMBER 17	Issue	3212	
					Scale	As indicated	Sheet No	A9100
							Revision	C

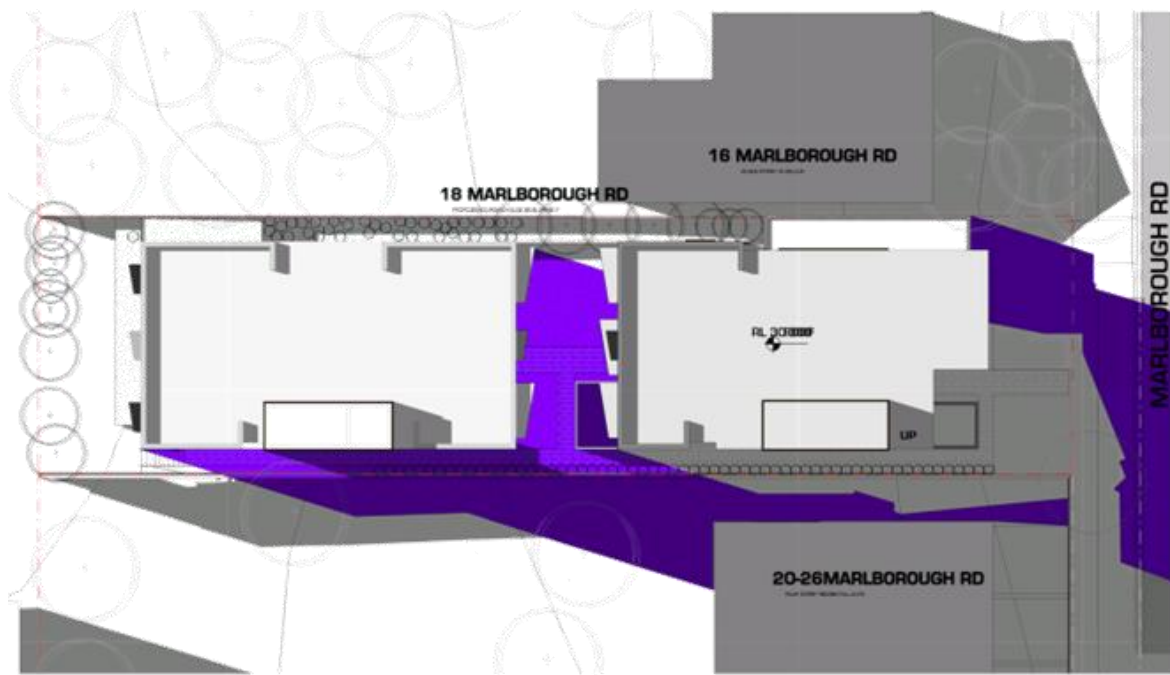


1 SHADOW STUDY 9AM
1:200

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2 SHADOW STUDY 12PM
1:200



3 SHADOW STUDY 3PM
1:200



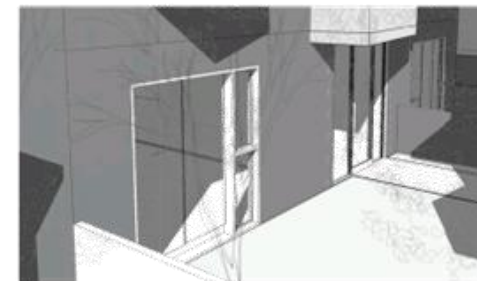
4 SOLAR ACCESS 9AM
LEVEL 3 COMMUNAL ROOM



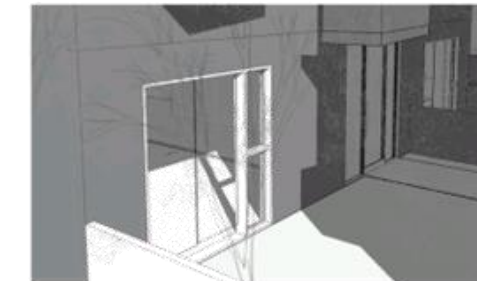
5 SOLAR ACCESS 1030AM
LEVEL 3 COMMUNAL ROOM



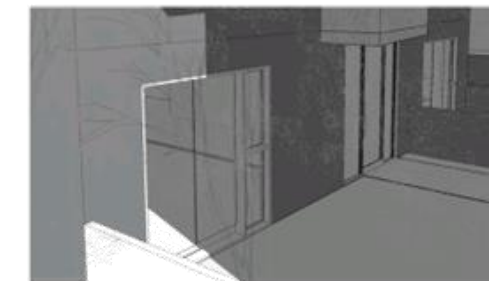
6 SOLAR ACCESS 12PM
LEVEL 3 COMMUNAL ROOM



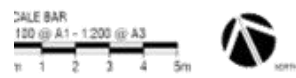
7 SOLAR ACCESS 1200PM
GROUND FLOOR COMMUNAL ROOM



8 SOLAR ACCESS 0130PM
GROUND FLOOR COMMUNAL ROOM



9 SOLAR ACCESS 3PM
GROUND FLOOR COMMUNAL ROOM

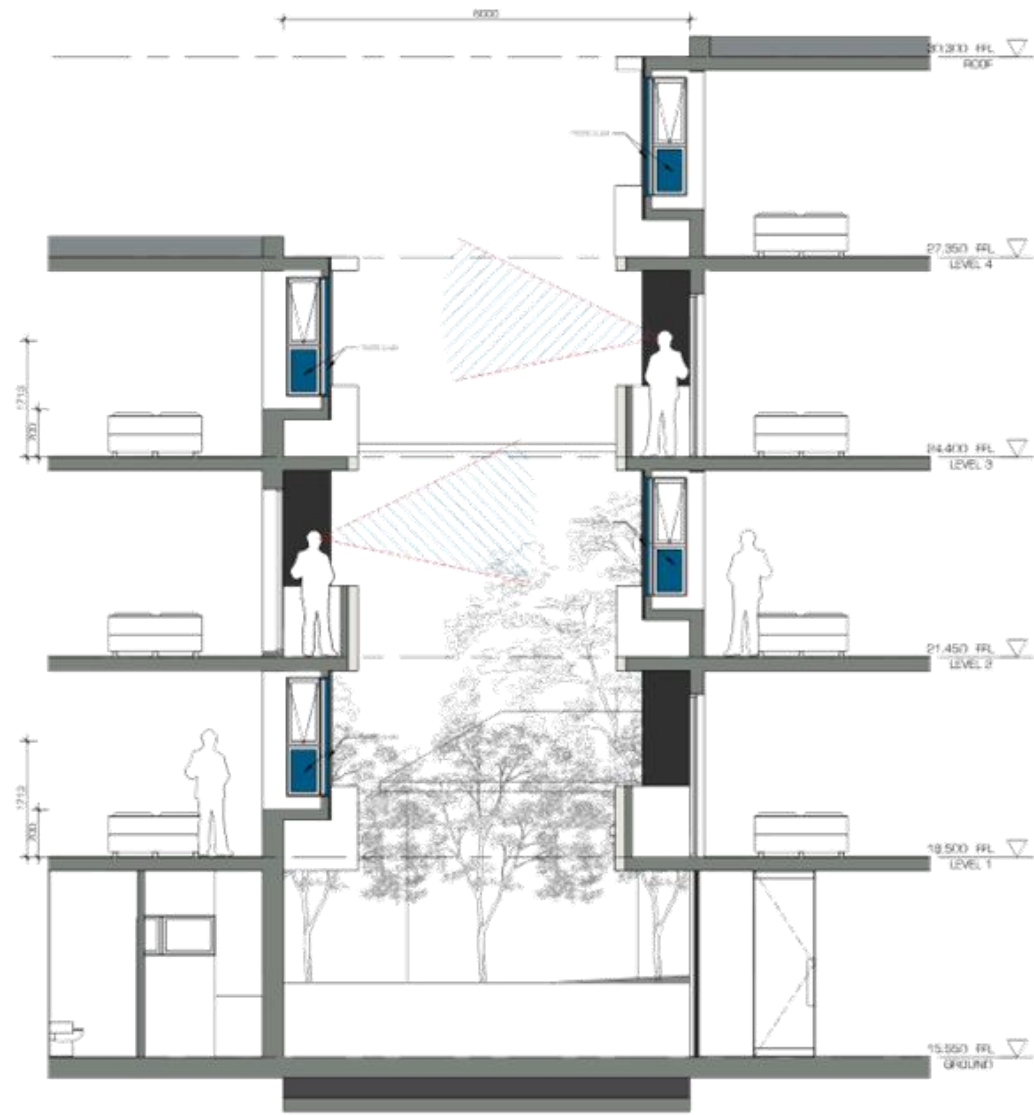


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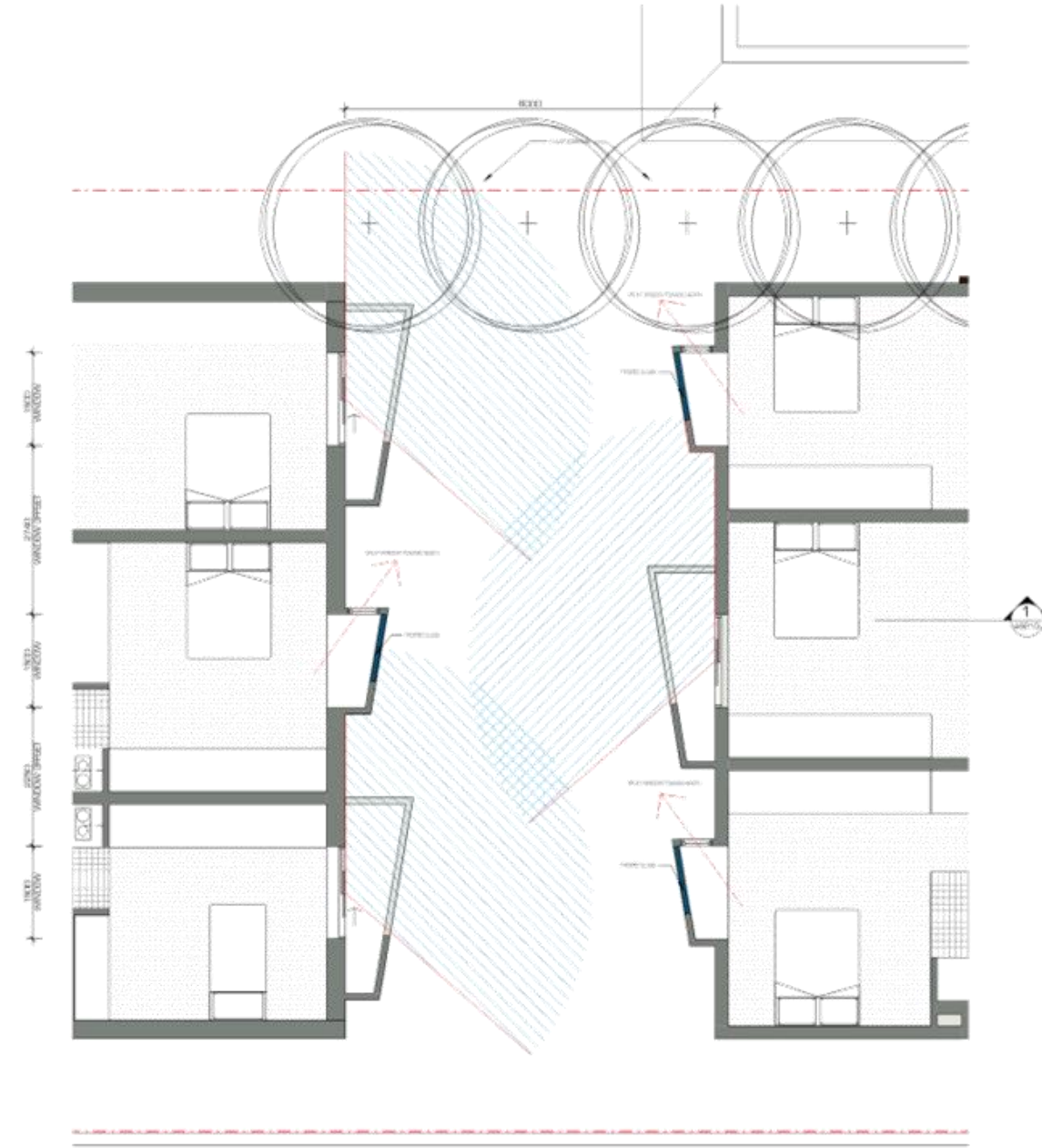
LIQUID DESIGN Liqui Design Pty Ltd Suite 4/17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9555 5295	Contractor:	Client:	Project:	Title:	Drawn By:	Checked By:	Project No:
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	SHADOWS & SOLAR ACCESS	DY	CB	3212
					27 NOVEMBER 17		Sheet No:
					Scale:		A9200
					1:200		Revision:
							C

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OUR OBJECTIVE OF THIS STUDY IS TO ENSURE THE SETTING AND DESIGN OF BUILDINGS PROVIDES VISUAL PRIVACY FOR RESIDENTS AND THEIR NEIGHBOURS IN THEIR DWELLINGS AND OPEN SPACE AREAS. (TOP PART OF 2B)
AS WINDOWS ARE LESS THAN 5m APART FROM ADJOINING DWELLINGS WE HAVE APPLIED TECHNIQUES SUCH AS BAY WINDOWS, SCREENING AND OFFSET WINDOWS TO RESPECT THE VISUAL PRIVACY RESIDENTS AND THEIR NEIGHBOURS.
1. ALL BAY WINDOWS HAVE BEEN SPLAYED TOWARDS NORTH TO MAXIMISE SOLAR ACCESS AND TILT ORIENTATION AWAY FROM OPPOSITE DWELLINGS.
2. FROSTED GLASS HAS BEEN APPLIED AT BAY WINDOW GLAZING FACING OPPOSITE DWELLINGS TO INCREASE VISUAL PRIVACY AND SOLAR ACCESS. GILL HEIGHT OF OPENABLE WINDOWS AT LEAST 1700mm ABOVE FLOOR LEVEL. ANYTHING BELOW 1700mm ARE FROSTED GLASS.
3. PLANTER SCREENING HAS BEEN APPLIED ALONG THE NORTHERN BOUNDARY TO ASSIST PRIVACY BUFFER OF NEIGHBOURS ON THE NORTH AS ALL BALCONES AND BAY WINDOWS ARE SPLAYED TOWARDS NORTH.
4. WINDOWS ARE OFFSET FROM ADJOINING DWELLINGS WILL OVER 0.5m TO ENCOURAGE VISUAL PRIVACY BETWEEN ADJACENT AND ADJOINING DWELLINGS. BALCONES AND BAY WINDOWS ALTERNATE SO THAT NO TWO BALCONES EVER LOOK INTO ONE ANOTHER.



1 SECTION DIAGRAM
1:50



2 PLAN DIAGRAM
1:50



LIQUID
DESIGN

Liquid Design Pty Ltd
20/21, 17, 20 Miller Street, Pyrmont, Sydney, NSW, 2009
T: +61 2 9551 5293

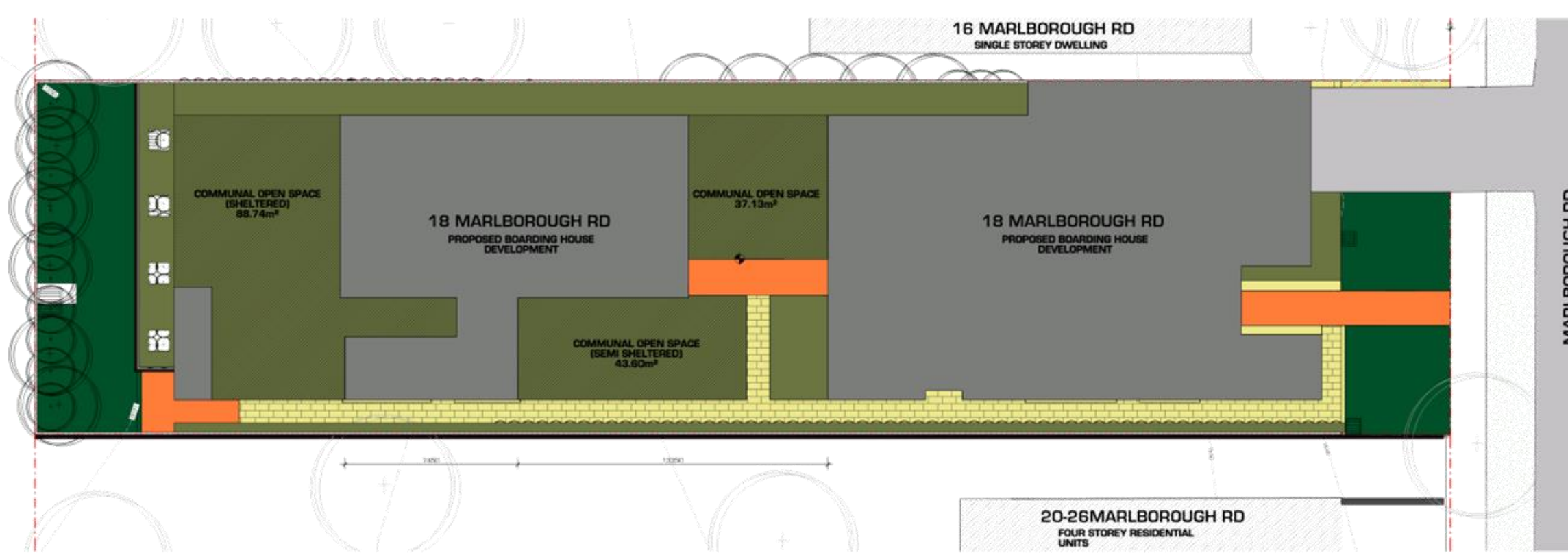
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		PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	PRIVACY STUDY	DY	CB	3212
				Date	Sheet No.	
				27 NOVEMBER 17	A9210	
				Scale	Issue	Revision
				1:50		C

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AS THERE IS NO BOARDING HOUSE DEVELOPMENT AS DESCRIBED IN DCP PART C 2.7, A MAXIMUM LANDSCAPE AIR REQUIREMENT OF 50% (RESIDENTIAL DPH) IS ASSUMED. TAKING THIS ASSUMPTION, THE LANDSCAPING AREA TABLE BELOW INDICATES THE PROPOSED DEVELOPMENT IS BELOW THE 50% REQUIREMENT. AT 47.38% LANDSCAPED AREA AT GROUND LEVEL, HOWEVER, THE DESIGN INTENT IS ALIGNED WITH THE OBJECTIVES AS LISTED IN DCP PART C 2.7. THREE COMMUNAL OPEN SPACES ARE PROVIDED ON GROUND FLOOR, BOTH SHELTERED AND OPEN TO ENCOURAGE VARIOUS GROUP BATHING AND ACTIVITIES AMONGST RESIDENTS AND TO PROVIDE ADEQUATE OPEN SPACE FOR THE RECREATION NEEDS OF RESIDENTS. (DCP PART C 2.7). THESE OPEN SPACES ARE READILY ACCESSIBLE AND DIRECTLY ADJACENT TO THE COMMUNAL AREA AND LOBBIES, SO THEY RELATE WELL TO THE LIVING AREAS OF DWELLINGS. (DCP PART C 2.7)



AREAS:

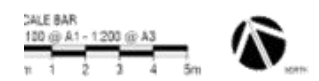
EXISTING BUILDING	95.10m ²
EXISTING SHED	12.78m ²
TOTAL EXISTING GFA	107.88m ²
EXISTING FSR	0.12
PROPOSED BASEMENT	9.36m ²
PROPOSED GROUND FLOOR	264.14m ²
PROPOSED FIRST FLOOR	420.10m ²
PROPOSED SECOND FLOOR	420.10m ²
PROPOSED THIRD FLOOR	420.10m ²
PROPOSED FOURTH FLOOR	201.21m ²
TOTAL PROPOSED GFA	1735.01m ²
SITE AREA	929m ²
ALLOWABLE FSR	1.50
SEPP (AFFORDABLE RENTAL HOUSING 2008) DIV. 3, 2B - 1C	-0.50
TOTAL ALLOWABLE FSR	2.00
PROPOSED FSR	1.87

LANDSCAPING:

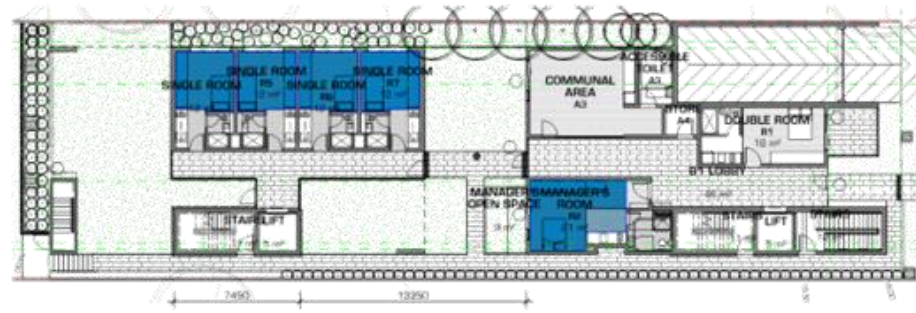
SITE AREA	929m ²
PERMABLE LANDSCAPE	61.00m ²
SOFT LANDSCAPE	274.20m ²
DEEP SOIL LANDSCAPE	104.94m ²
TOTAL LANDSCAPE PROVIDED	440.14m ²
(% OF SITE AREA)	47.38%
TOTAL LANDSCAPE REQUIRED	464.5m ²
(% OF SITE AREA)	50.0%
UNPAVED LANDSCAPE PROVIDED	378.14m ²
(% OF LANDSCAPED AREA)	81.60%
UNPAVED LANDSCAPE REQUIRED	278.7m ²
(% OF LANDSCAPED AREA)	60%
DEEP SOIL PROVIDED	104.94m ²
(% OF REQUIRED LANDSCAPED AREA)	22.59%
DEEP SOIL REQUIRED	162.58m ²
(% OF REQUIRED LANDSCAPED AREA)	35%
COMMUNAL OPEN SPACE PROVIDED	168.47m ²
COMMUNAL OPEN SPACE REQUIRED	100m ²

NOTE:
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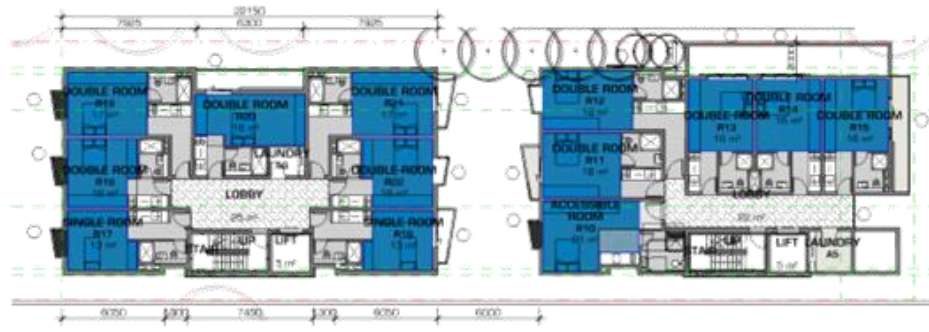
DEVELOPMENT APPLICATION



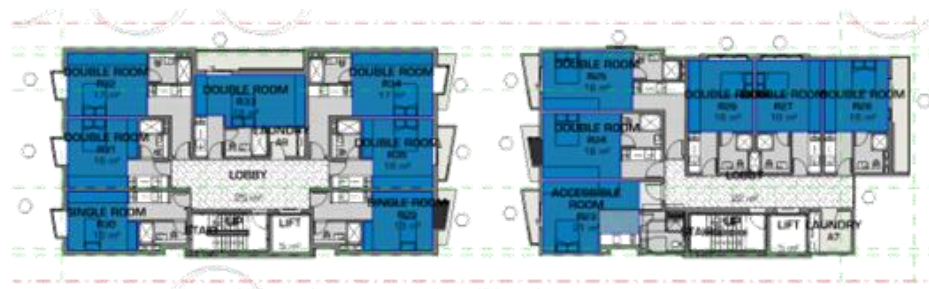
LIQUID DESIGN <small>Liquid Design Pty Ltd Suite 117, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T +61 2 9851 5191</small>	Contractor	Client	Project	Title	Drawn By	Checked	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	FSR & LANDSCAPING AREAS	DY	CB	3212
					Date	Sheet No.	
					27 NOVEMBER 17	A9300	
					Scale	Issue	Revision
					As indicated		C



1 GROUND - ROOM
1:200



2 LEVEL 1 - ROOM
1:200



3 LEVEL 2 - ROOM
1:200



4 LEVEL 3 - ROOM
1:200



5 LEVEL 4 - ROOM
1:200

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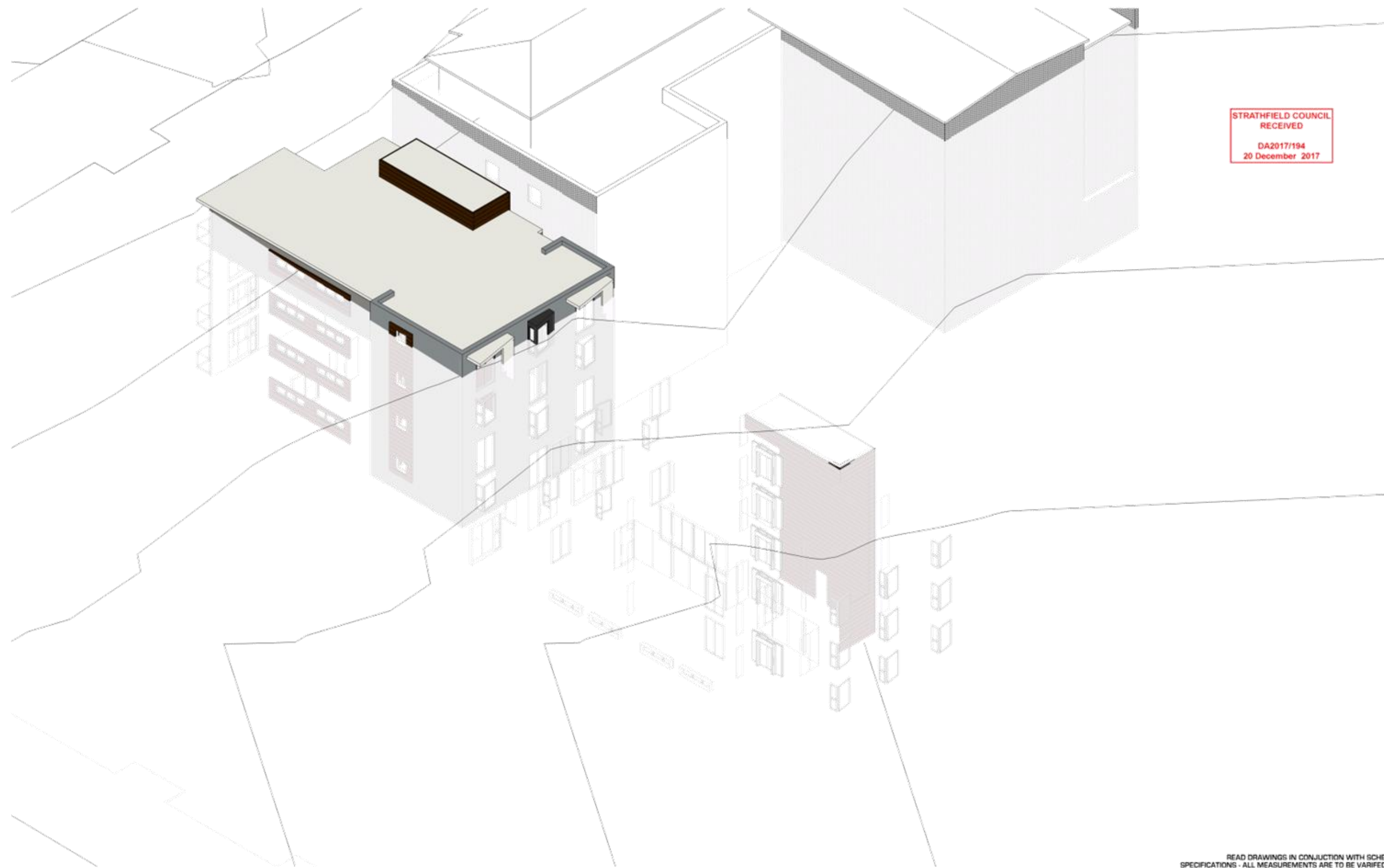
Name	Number	Area
ACCESSIBLE ROOM	R10	21 m
ACCESSIBLE ROOM	R23	21 m
ACCESSIBLE ROOM	R36	21 m
ACCESSIBLE ROOM	R48	21 m
4		
DOUBLE ROOM	R1	18 m
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R12	18 m
DOUBLE ROOM	R13	18 m
DOUBLE ROOM	R14	16 m
DOUBLE ROOM	R15	16 m
DOUBLE ROOM	R18	16 m
DOUBLE ROOM	R19	17 m
DOUBLE ROOM	R20	18 m
DOUBLE ROOM	R21	17 m
DOUBLE ROOM	R22	16 m
DOUBLE ROOM	R24	18 m
DOUBLE ROOM	R25	18 m
DOUBLE ROOM	R26	16 m
DOUBLE ROOM	R27	16 m
DOUBLE ROOM	R28	16 m
DOUBLE ROOM	R31	16 m
DOUBLE ROOM	R32	17 m
DOUBLE ROOM	R33	18 m
DOUBLE ROOM	R34	17 m
DOUBLE ROOM	R35	16 m
DOUBLE ROOM	R37	18 m
DOUBLE ROOM	R38	18 m
DOUBLE ROOM	R39	16 m
DOUBLE ROOM	R40	16 m
DOUBLE ROOM	R41	16 m
DOUBLE ROOM	R44	16 m
DOUBLE ROOM	R45	16 m
DOUBLE ROOM	R46	17 m
DOUBLE ROOM	R47	17 m
DOUBLE ROOM	R48	18 m
DOUBLE ROOM	R50	18 m
DOUBLE ROOM	R51	16 m
DOUBLE ROOM	R52	16 m
DOUBLE ROOM	R53	16 m
35		
MANAGER'S ROOM	R2	21 m
1		
SINGLE ROOM	R4	12 m
SINGLE ROOM	R5	12 m
SINGLE ROOM	R6	12 m
SINGLE ROOM	R7	12 m
SINGLE ROOM	R16	13 m
SINGLE ROOM	R17	13 m
SINGLE ROOM	R29	13 m
SINGLE ROOM	R30	13 m
SINGLE ROOM	R42	13 m
SINGLE ROOM	R43	13 m
10		
Grand total	50	



NOTE:
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DEVELOPMENT APPLICATION

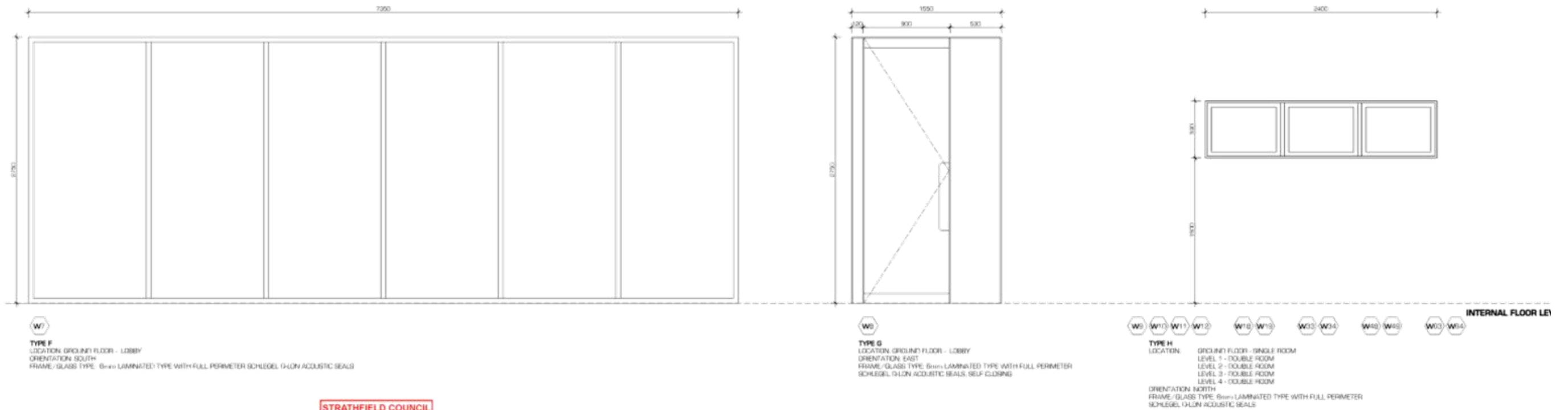
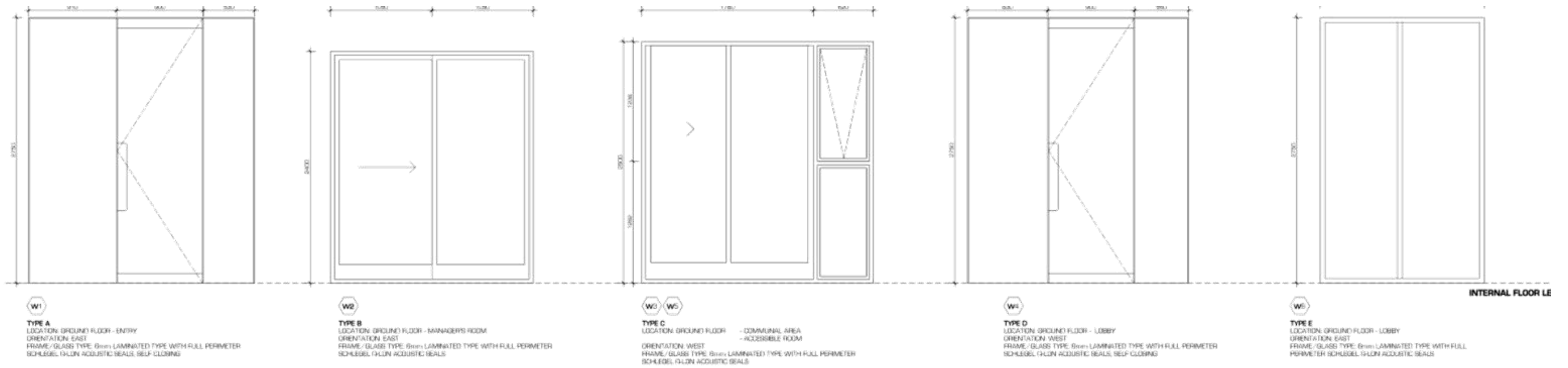
LIQUID DESIGN Liqui Design Pty Ltd 200/117, 20 Market Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9551 5295	Contractor	Client	Project PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title ROOM AREAS	Drawn By DY	Checked By CB	Project No 3212
					Date 27 NOVEMBER 17	Sheet No A9310	Revision C
					Scale 1:200		



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			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	HEIGHT STUDY	DY	CB	3212		
								Sheet No. A9320	
							Scale	Issue	Revision
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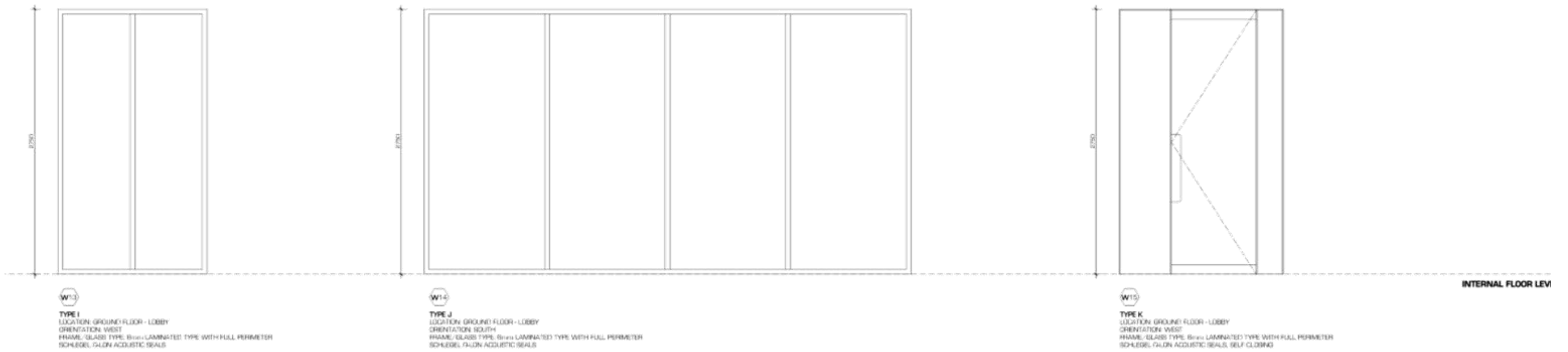
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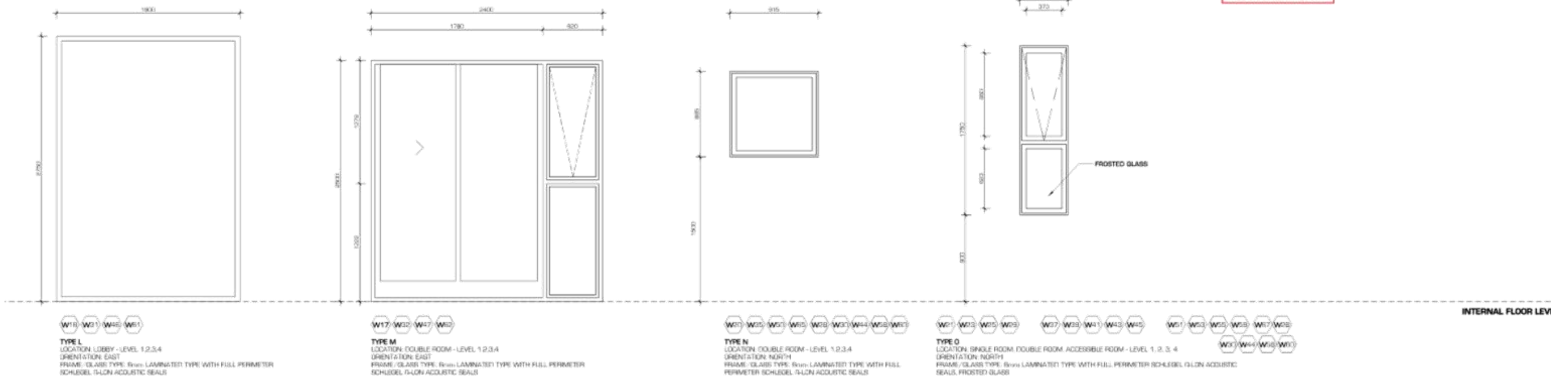
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					Date 27 NOVEMBER 17		Sheet No. A9400
						Scale 1:20	Issue



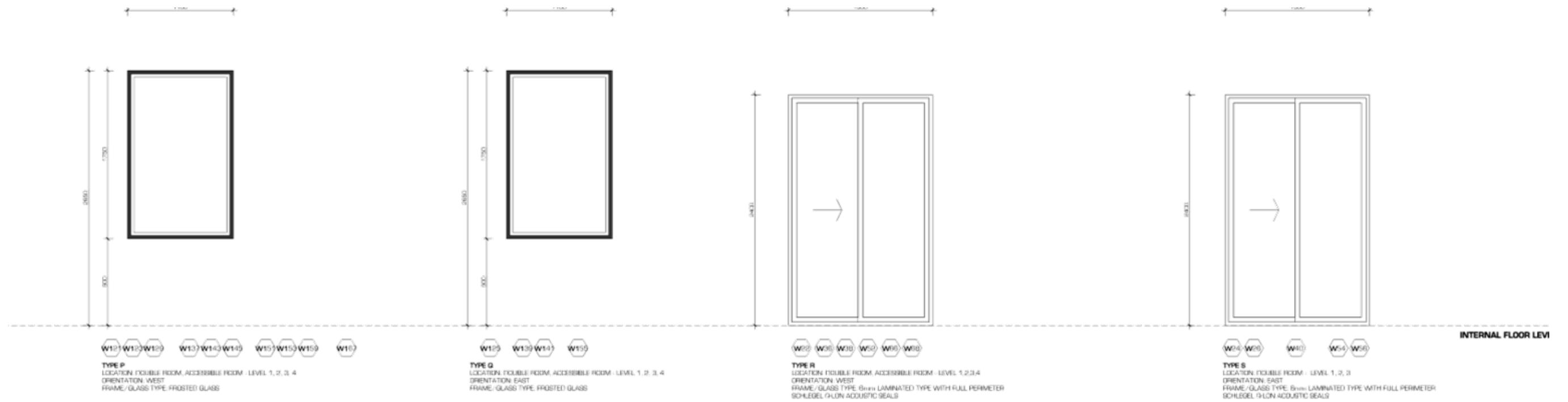
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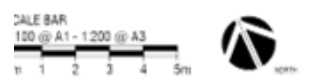
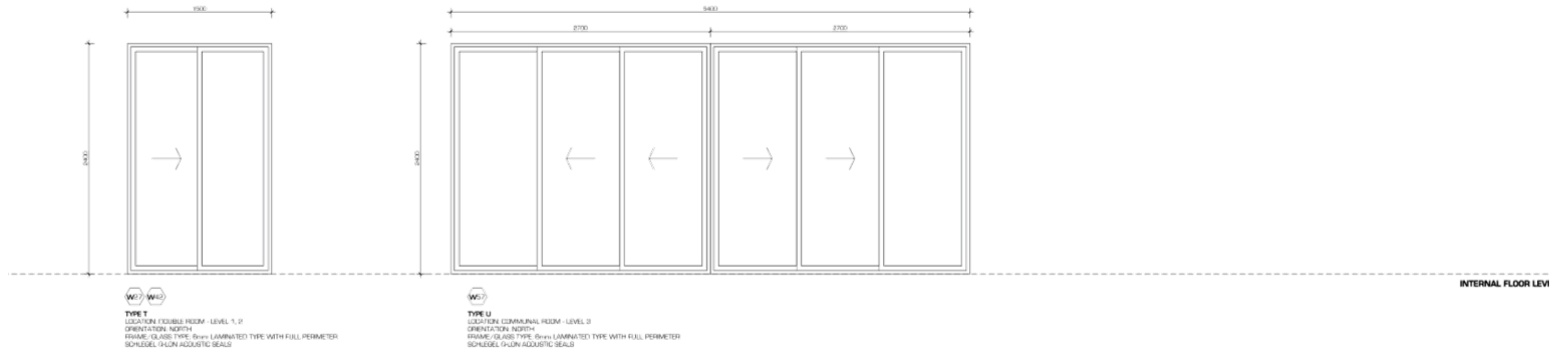
NOTE:
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 SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

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			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	WINDOW SCHEDULE 2	DY	CB	3212
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					27 NOVEMBER 17	A9401	C
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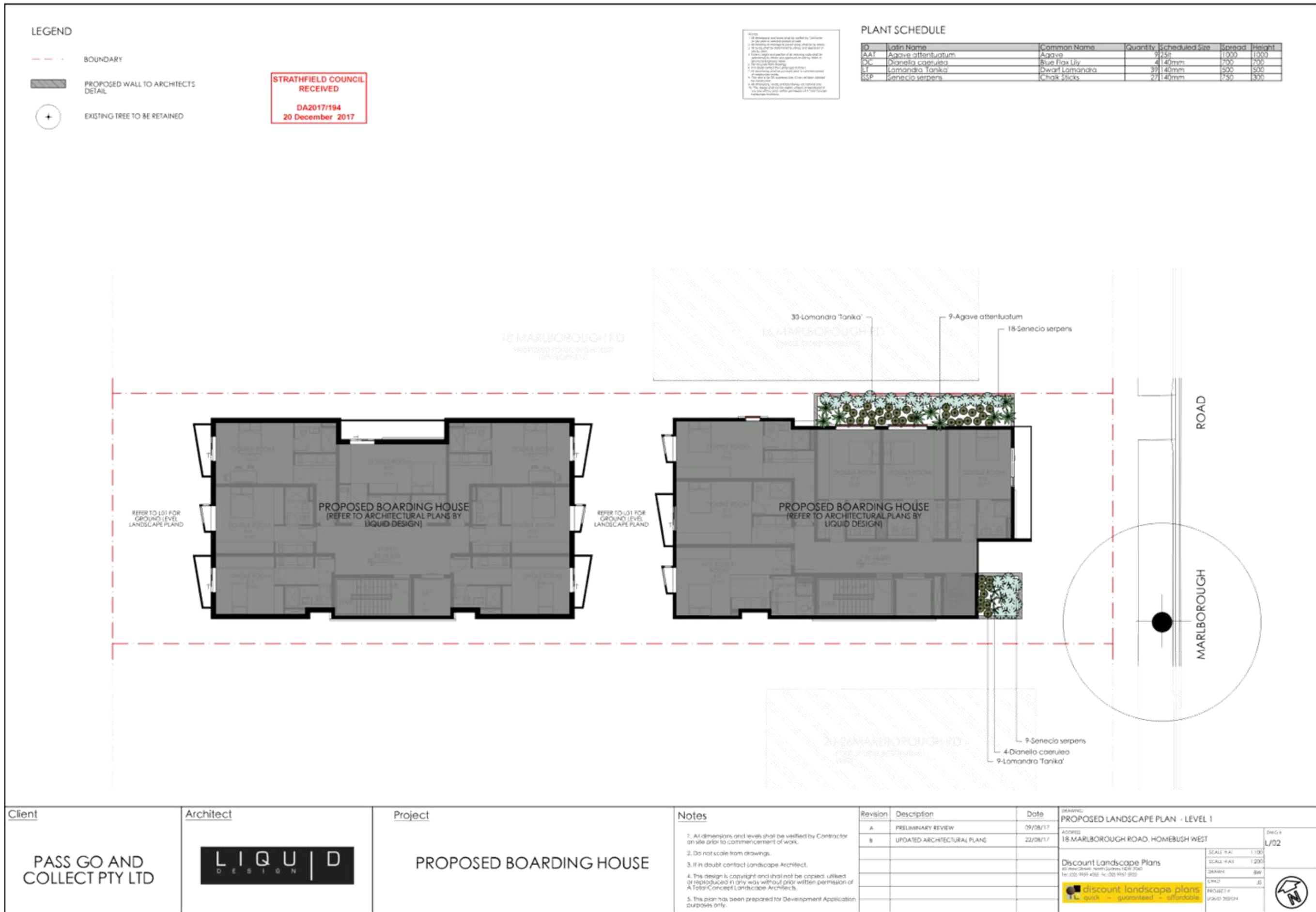
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					Date 27 NOVEMBER 17		Sheet No A9402
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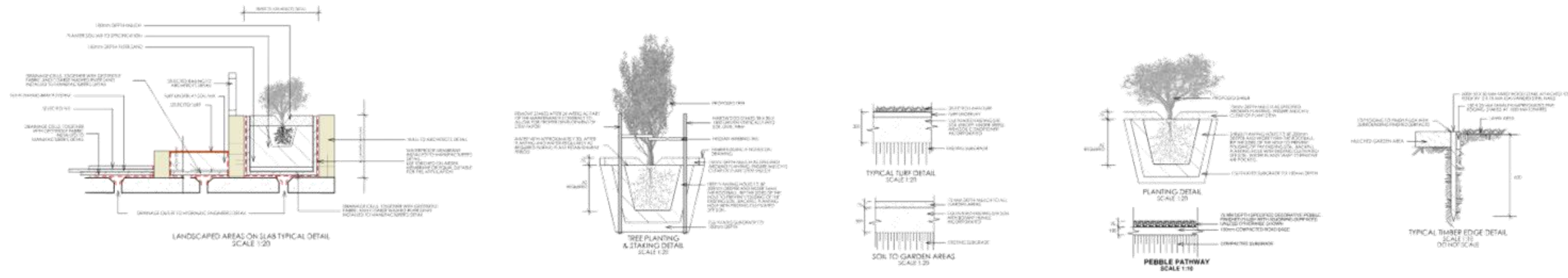
18 MARLBOROUGH ROAD, HOMEBUSH WEST

PROPOSED BOARDING HOUSE

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SHEET NO.	SHEET TITLE	DATE
L/00	COVER SHEET	23/10/17
L/01	GROUND FLOOR LANDSCAPE PLAN	23/10/17
L/02	LEVEL 1 LANDSCAPE PLAN	22/08/17

TYPICAL LANDSCAPE DETAILS



OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc., not noted to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas, shall be required depths not less than 150mm of topsoil in lawn areas and 150mm of topsoil in garden areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface damage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilized if there is insufficient site topsoil available. Stone in Tenders a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not noted to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architect's onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas, incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 300mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay soils and that all garden beds and lawn areas drain satisfactorily. Note: It is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractor's responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & sub-surface) and at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of tender and request Landscape Architect's on site instructions.

Lawn Edging and Stepping Stones: 125 x 25mm approved hardwood impregnated edge edging shall be installed, to lines as indicated on plan and staked with approved stakes of maximum 1500mm centres at ends, and changes of direction; stakes shall be nailed to edging with approved galvanneal steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging. (Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick top set in to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 15mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm over sand bed.

Retaining Walls: Positions, detail and height of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further basebed. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil tamped into place. An approved shallow dish shall be formed to contain water around base of stem. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 30mm x 30mm x 2000mm long hardwood stakes per plant and with heavy webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, saving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for level & lay cultivated Permatex Buffalo turves to all areas nominated on plan as being lawn. Roll water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrain and reseed councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards graded drains with all drains connected to stormwater system and installed by builder.

Irrigation: Contractor shall supply and install an approved fully automatic, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Irrigation system shall be to approval of Water Board and shall utilize pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southeast corner of residence by others and shall consist of an approved weatherproof G.P.C. The irrigation system controller shall be housed in an approved weatherproof cabinet mounted to external wall of residence.

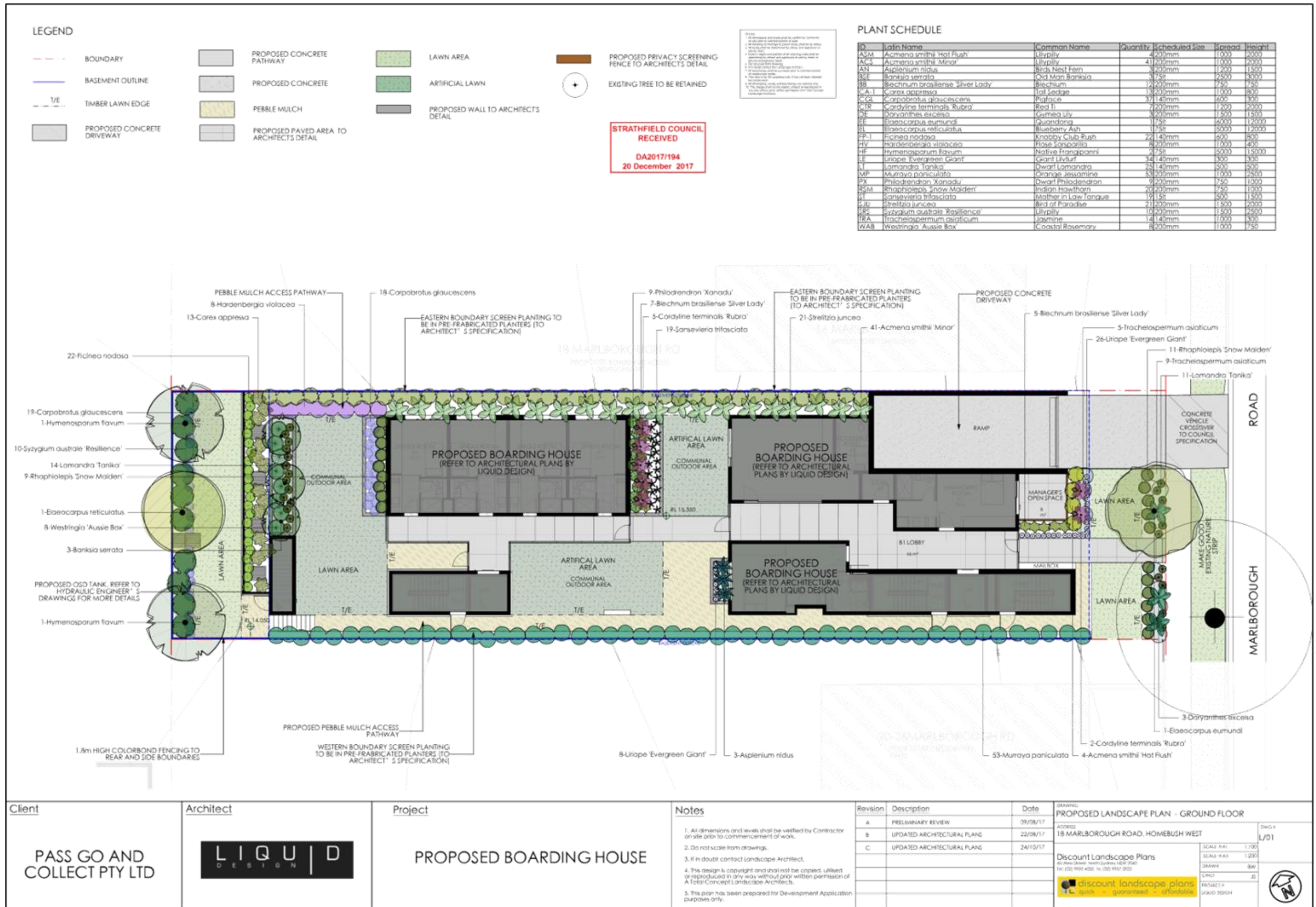
Coastlines: Contractor shall allow for all necessary labour and materials and shall install coastline to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Coastline type shall be equal to '48, Tokkaine'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Notify Council that all landscaping work has been undertaken in strict accordance with Council's landscape codes & guidelines.

Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owner's representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period:

- Watering: Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity allowed with regard to climatic conditions present at the time.
- Replacements: Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractor's expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.
- Mulch: Maintain mulched surfaces in clean, tidy, weed free condition and shall reapply mulch as necessary to maintain specified depths.
- Stakes & Ties: Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.
- Lawn Care: Lawn areas shall be mowed at regular intervals to ensure non-heading of lawn with a fine cutting finishing mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of solar pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.
- Weeding: Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed free condition.
- Pruning: Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.
- Lopping/Spraying for Insect, Fungal and Disease Control: Lopping and/or spraying shall be undertaken as required and in accordance with any manufacturer's recommendations of insecticide taking into account the season of year during which landscape works are to be implemented.
- Tree Care: Should any existing trees be damaged during construction work immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

Client PASS GO AND COLLECT PTY LTD	Architect LIQUID DESIGN	Project PROPOSED BOARDING HOUSE	Notes 1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work. 2. Do not scale from drawings. 3. If in doubt contact Landscape Architect. 4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects. 5. This plan has been prepared for Development Application purposes only.	Revision A PRELIMINARY REVIEW 09/08/17 B ADDITIONAL LEVEL 1 SHEET TITLE 23/10/17	Date	DRAWING COVER SHEET ADDRESS 18 MARLBOROUGH ROAD, HOMEBUSH WEST SCALE: RAIL 1:100 SCALE: RAS 1:200 DRAWN \$90 LW02 \$5 PROJECT # JK02 20174	DWG # L/00
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STATEMENT OF ENVIRONMENTAL EFFECTS

DEMOLITION OF EXISTING DEVELOPMENT AND ERECTION OF A
BOARDING HOUSE

No.18 MARLBOROUGH ROAD

HOMEBUSH WEST

**STRATHFIELD COUNCIL
RECEIVED**

**DA2017/194
20 December 2017**



STATEMENT OF ENVIRONMENTAL EFFECTS

DEMOLITION OF EXISTING DEVELOPMENT AND ERECTION OF A BOARDING
HOUSE

No.18 MARLBOROUGH ROAD

HOMEBUSH WEST

11 December 2017

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- Attachment 1: Reduced copies of the development plans.
Attachment 2: Site survey.
Attachment 3: Plan of Management.

1. INTRODUCTION

Nexus Environmental Planning Pty Ltd has been requested by the Liquid Design Pty Ltd to prepare a Statement of Environmental Effects (**SEE**) to accompany a Development Application to the Strathfield Council (**the Council**) for demolition of the existing development and erection of a boarding house at No.18 Marlborough Road, Homebush West (**the Site**). The location of the Site is shown on **Figure 1**.

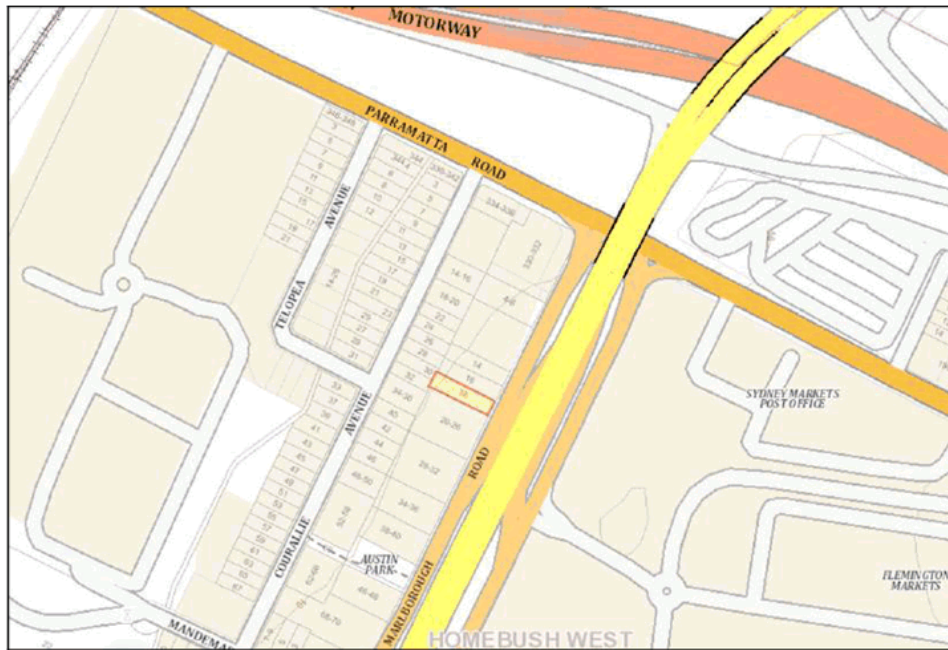


Figure 1: Site location map with the Site highlighted in yellow. © SIX Maps

2. THE SITE

The Site has an area of 929m² and is legally defined as:

Lot 12, Section 1, DP 827
No.18 Marlborough Road
HOME BUSH WEST

An extract from an aerial photograph of the Site is at **Figure 2**.

A cadastral map is at **Figure 3**.

A survey of the Site has been prepared, a reduced copy of which is at **Figure 4**. A copy of the survey is at **Attachment 2**.



Figure 2: Extract from an aerial photograph with the Site outlined in red.



Figure 3: Extract from a cadastral map with the Site highlighted in yellow. © SIX Maps

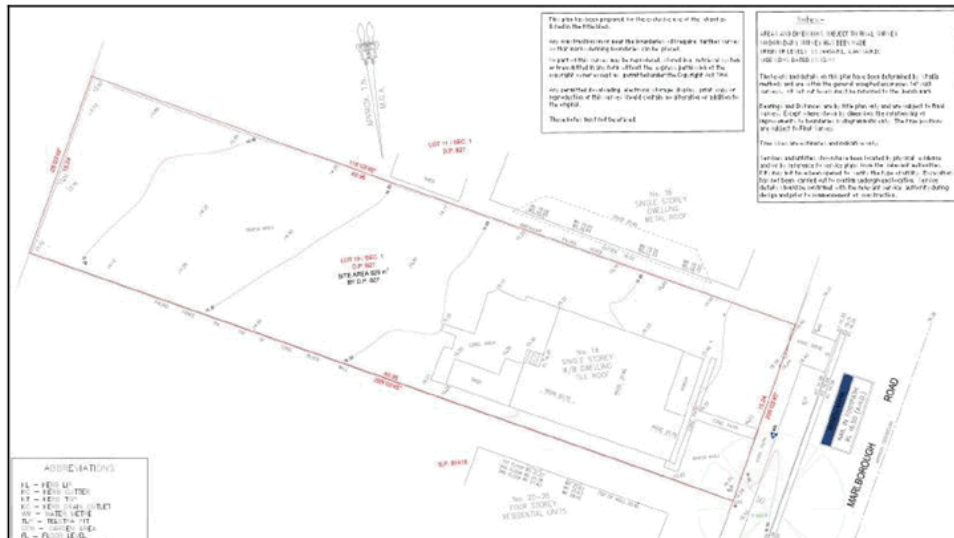


Figure 4: Extract from the survey of the Site.

3. NEW GENERATION BOARDING HOUSES

In 2009, the NSW Government introduced new amendments to legislation relating to Affordable Rental Housing which included State Environmental Planning Policy (Affordable Rental Housing) 2009 (SEPP ARH). SEPP ARH covers the regulation and definition of what is known as new generation boarding houses. The SEPP was established to increase the supply and diversity of affordable rental and social housing in NSW.

Traditionally, boarding houses were a form of temporary accommodation where lodgers may have had separate rooms but generally used shared facilities such as bathrooms and a kitchen. There is a perception that these boarding houses were located in rundown dwellings where an on-site landlord collected rent on a weekly basis.

Traditionally, boarding houses have had a bad reputation, however, demographics are changing. Although SEPP ARH still permits traditional boarding houses with shared facilities, it also encourages new generation boarding houses which provide a range of self-contained rooms with their own kitchenettes and bathrooms.

According to the Australian Housing and Urban Research Institute, new generation boarding houses are attracting key workers and young professionals. The concept of new generation boarding houses was introduced to offer a business investment opportunity targeting students, young working singles and couples.

Boarding house rooms are often occupied by students or professionals who, due to the nature of their jobs or studies, do not require a long-term lease and or do not wish to enter into a typical residential tenancy agreement. With the changing nature of the workforce, this type of accommodation is likely to become even more popular.

Sites within close proximity to universities, hospitals and other social infrastructure are very popular for new generation boarding house developments, as there is significant demand for temporary accommodation in these locations. Access to transport and local services is also an important consideration in selecting the right site.

New generation boarding housing is still a relatively new concept, however, the name boarding house continues to be associated with a particular character of tenant who may exhibit anti-social behaviour. Although this notion is outdated, this perception is evidenced by the number and nature of submissions made against boarding houses development applications. This new type of boarding house includes private bathrooms, laundries and food preparation facilities which are self-contained rooms with similarities to studio apartments with higher rents than traditional boarding houses.

New generation boarding houses are subject to formal occupancy agreements which offer tenants (and landlords) more security and certainty. New generation boarding houses have these different features because they target a very different market than the traditional boarding house.

A growing section of Australia's population do not live in nuclear families, and the housing stock is shifting alongside this. There is a need for more diverse choices for people who want to continue to enjoy the amenity of suburban neighbourhoods, and keep their existing social networks there.

Opposition often stems from the perceived impact of boarding houses, such as additional noise or traffic, however, these impacts come with people, not housing stock. In many instances, a purposely designed and managed boarding house will be better equipped to minimise, for example, the impacts of noise than if those same tenants were renting a family home.

Managing affordable housing involves the standard property and tenancy management requirements of managing any rental housing, however, it also involves additional responsibilities around setting rent, letting properties to eligible households and meeting the requirements of the relevant affordable housing program.

In general, managing affordable housing involves:

- Establishing and implementing rent policy,
- Determining household eligibility for affordable housing properties,
- Finding eligible tenants, managing applications and assessments and allocating properties,
- Managing eligible tenancies, including collecting rent and maintaining properties, and
- Reviewing eligibility and managing a tenant's exit if they are no longer eligible to stay in the property.

All tenancy managers of affordable housing in NSW must comply with the Residential Tenancies Act 2010.

4. PROPOSED DEVELOPMENT

The proposed development is a "boarding house" which is defined in Strathfield Local Environmental Plan 2012 (**LEP 2012**) as:

boarding house means a building that:

- (a) is wholly or partly let in lodgings, and
- (b) provides lodgers with a principal place of residence for 3 months or more, and
- (c) may have shared facilities, such as a communal living room, bathroom, kitchen or laundry, and
- (d) has rooms, some or all of which may have private kitchen and bathroom facilities, that accommodate one or more lodgers,

but does not include backpackers' accommodation, a group home, hotel or motel accommodation, seniors housing or a serviced apartment.

The boarding house comprises the following:

- 49 boarding rooms
- 1 manager's room
- 20 car parking spaces including 1 disabled car parking space
- 12 bicycle parking spaces
- 11 motorcycle parking spaces
- storage areas
- indoor communal areas including:
 - kitchen facilities
 - lounge area
- outdoor communal areas including:
 - outdoor tables and chairs in a landscaped setting.

Table 1 provides a summary of the boarding rooms.

Table 1: Summary of Boarding Rooms

	Single Rooms	Double Rooms	Total Rooms	Total Occupants
Manager	-	1	1	2
Ground floor	4	1	5	6
Level 1	2	11	13	24
Level 2	2	11	13	24
Level 3	2	10	12	22
Level 4	-	6	6	12
TOTAL	10	40	50	90

Plans of the proposed development have been prepared by Liquid Design, reduced copies of which are at **Attachment 1**.

The Gross Floor Area of the development is 1,735.01m². The area of the Site is 929m² which results in a Floor Space Ratio of the development of 1.87:1.

An internal communal area is provided as Rooms A3 at the Ground Floor Level and A10 at Level 3 with area of 31m² and 28m² respectively. Outdoor communal areas of 83.36m² are provided at Ground Floor Level.

Landscaping of area 440.14m² (47.38% of the Site) is provide with 104.94m² (22.59% of the Site) being deep soil.

5. ENVIRONMENTAL IMPACT OF PROPOSED DEVELOPMENT

This section provides an analysis of the proposed development in terms of its impact on the environment. Specific reference is made to the relevant heads of consideration contained in Section 79C of the Environmental Planning and Assessment Act 1979. The relevant Section 79C head is shown in italics with comments as appropriate.

Section 79C(1)(a)(i)

(a) *the provisions of:-*

(i) *any environmental planning instrument.*

5.1 State Environmental Planning Policy (Affordable Rental Housing) 2009

The Aims of *State Environmental Planning Policy (Affordable Rental Housing) 2009 (SEPP ARH)* are:

SEE, Boarding House, 18 Marlborough Road, Homebush West

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- (a) *to provide a consistent planning regime for the provision of affordable rental housing,*
- (b) *to facilitate the effective delivery of new affordable rental housing by providing incentives by way of expanded zoning permissibility, floor space ratio bonuses and non-discretionary development standards,*
- (c) *to facilitate the retention and mitigate the loss of existing affordable rental housing,*
- (d) *to employ a balanced approach between obligations for retaining and mitigating the loss of existing affordable rental housing, and incentives for the development of new affordable rental housing,*
- (e) *to facilitate an expanded role for not-for-profit-providers of affordable rental housing,*
- (f) *to support local business centres by providing affordable rental housing for workers close to places of work,*
- (g) *to facilitate the development of housing for the homeless and other disadvantaged people who may require support services, including group homes and supportive accommodation.*

Part 3, Division 3 of SEPP ARH relates to Boarding Houses. **Clause 26** of SEPP ARH states:

This Division applies to land within any of the following land use zones or within a land use zone that is equivalent to any of those zones:

- (a) *Zone R1 General Residential,*
- (b) *Zone R2 Low Density Residential,*
- (c) *Zone R3 Medium Density Residential,*
- (d) *Zone R4 High Density Residential,*
- (e) *Zone B1 Neighbourhood Centre,*
- (f) *Zone B2 Local Centre,*
- (g) *Zone B4 Mixed Use.*

The Site is located within the R3 Medium Density Residential Zone pursuant to the Strathfield Local Environmental Plan 2012 (**LEP 2012**).

Clause 27 of SEPP ARH states:

Development to which Division applies

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- (1) *This Division applies to development, on land to which this Division applies, for the purposes of boarding houses.*
- (2) *Despite subclause (1), this Division does not apply to development on land within Zone R2 Low Density Residential or within a land use zone that is equivalent to that zone in the Sydney region unless the land is within an accessible area.*
- (3) *Despite subclause (1), this Division does not apply to development on land within Zone R2 Low Density Residential or within a land use zone that is equivalent to that zone that is not in the Sydney region unless all or part of the development is within 400 metres walking distance of land within Zone B2 Local Centre or Zone B4 Mixed Use or within a land use zone that is equivalent to any of those zones.*

Clause 4 of SEPP ARH defines "accessible area" as follows:

accessible area means land that is within:

- (a) *800 metres walking distance of a public entrance to a railway station or a wharf from which a Sydney Ferries ferry service operates, or*
- (b) *400 metres walking distance of a public entrance to a light rail station or, in the case of a light rail station with no entrance, 400 metres walking distance of a platform of the light rail station, or*
- (c) *400 metres walking distance of a bus stop used by a regular bus service (within the meaning of the Passenger Transport Act 1990 that has at least one bus per hour servicing the bus stop between 06.00 and 21.00 each day from Monday to Friday (both days inclusive) and between 08.00 and 18.00 on each Saturday and Sunday.*

The Site is not located within an accessible area.

Clause 29 of SEPP ARH contains "Standards that cannot be used to refuse consent" and **Clause 30** of SEPP ARH deals with "Standards for boarding houses".

Sub-clause 29(1) states:

- (1) *A consent authority must not refuse consent to development to which this Division applies on the grounds of density or scale if the density and scale of the buildings when expressed as a floor space ratio are not more than:*
 - (a) *the existing maximum floor space ratio for any form of residential accommodation permitted on the land, or*
 - (b) *if the development is on land within a zone in which no residential accommodation is permitted - the existing maximum floor space ratio for any form of development permitted on the land, or*
 - (c) *if the development is on land within a zone in which residential flat*

buildings are permitted and the land does not contain a heritage item that is identified in an environmental planning instrument or an interim heritage order or on the State Heritage Register - the existing maximum floor space ratio for any form of residential accommodation permitted on the land, plus:

- (i) 0.5:1, if the existing maximum floor space ratio is 2.5:1 or less, or
- (ii) 20% of the existing maximum floor space ratio, if the existing maximum floor space ratio is greater than 2.5:1.

Comment: The Site is within the R3 Medium Density Residential zone within which residential flat buildings are permissible. The Floor Space Ratio development standard for the Site is 1.45:1. With the bonus applicable under the SEPP ARH, the permitted floor space ratio is 1.45:1 + 0.5:1 = 1.95:1. The proposed development has a floor space ratio of 1.87:1.

Table 3 contains an assessment of the proposed development against the provisions of both **sub-clauses 29(2) and (3)** and **sub-clause 30(1)** of SEPP ARH.

Table 3: SEPP ARH Compliance Table

Clause	Requirement	Proposed	Complies
29(2)	A consent authority must not refuse consent to development to which this Division applies on any of the following grounds.		
29(2)(a) Building Height	<i>if the building height of all proposed buildings is not more than the maximum building height permitted under another environmental planning instrument for any building on the land.</i>	The maximum building height pertaining to the Site is 14 metres. The maximum height of the proposed development greater than 14 metres.	Yes subject to cl 29(4)
29(2)(b) Landscape Area	<i>if the landscape treatment of the front setback area is compatible with the streetscape in which the building is located.</i>	The proposed development is to be setback a similar distance to other development nearby and that setback area, apart from the vehicular access to the Site, will be landscaped in a similar manner to the majority of development in this section of Marlborough Road.	Yes
29(2)(c) Solar Access	<i>where the development provides for one or more communal living rooms, if at least one of those rooms receives a minimum of 3 hours direct sunlight between 9am and 3pm in mid-winter.</i>	Communal living rooms are to be located at Ground Floor Level and Level 3 of the proposed development which would receive the required solar access.	Yes
29(2)(d) Private Open Space	<i>if at least the following private open space areas are provided (other than the front setback area):</i> (i) <i>one area of at least 20 square metres with a minimum dimension of 3 metres is provided for the</i>	An area of more than 20m ² of communal open space is to be provided at Ground Floor Level with dimensions meeting the	Yes

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	<p><i>use of the lodgers,</i></p> <p>(ii) <i>if accommodation is provided on site for a boarding house manager - one area of at least 8 square metres with a minimum dimension of 2.5 metres is provided adjacent to that accommodation,</i></p>	<p>requirements of the SEPP.</p> <p>An area of 9m² of private open space is to be provided adjacent to the Manager's room at the ground floor level which meets the requirements of the SEPP.</p>	<p>Yes</p>
<p>29(2)(e) Parking</p>	<p>if:</p> <p>(i) <i>in the case of development in an accessible area - at least 0.2 parking spaces are provided for each boarding room, and</i></p> <p>(ii) <i>in the case of development not in an accessible area - at least 0.4 parking spaces are provided for each boarding room, and</i></p> <p>(iii) <i>in the case of any development - not more than 1 parking space is provided for each person employed in connection with the development and who is resident on site.</i></p>	<p>As detailed elsewhere in this SEE, the Site is not in an accessible area.</p> <p>Car parking has been provided at a rate of 20 spaces for residents which meets the control.</p> <p>One car parking space has been provided for the use of the Manager.</p>	<p>N/A</p> <p>Yes</p> <p>Yes</p>
<p>29(2)(f) Accommodation Size</p>	<p><i>if each boarding room has a gross floor area (excluding any area used for the purposes of private kitchen or bathroom facilities) of at least:</i></p> <p>(i) <i>12 square metres in the case of a boarding room intended to be used by a single lodger, or</i></p> <p>(ii) <i>16 square metres in any other case.</i></p>	<p>There are 10 single lodger rooms which meet this standard.</p> <p>All remaining boarding rooms are a minimum 16 square metres in area.</p>	<p>Yes</p> <p>Yes</p>
<p>29(3) Kitchen & Bathroom Facilities</p>	<p><i>A boarding house may have private kitchen or bathroom facilities in each boarding room but is not required to have those facilities in any boarding room.</i></p>	<p>Each boarding room has a private kitchen area and bathroom facilities.</p>	<p>Yes</p>
<p>30(1) A consent authority must not consent to development to which this Division applies unless it is satisfied of each of the following.</p>			
<p>30(1)(a) Communal Living Room</p>	<p><i>if a boarding house has 5 or more boarding rooms, at least one communal living room will be provided.</i></p>	<p>Communal living rooms are provided at Ground Floor Level and at Level 6.</p>	<p>Yes</p>
<p>30(1)(b)</p>	<p><i>no boarding room will have a gross</i></p>	<p>No boarding room has an area of</p>	<p>Yes</p>

Maximum Boarding Room Size	<i>floor area (excluding any area used for the purposes of private kitchen or bathroom facilities) of more than 25 square metres.</i>	greater than 25 square metres.	
30(1)(c) Maximum Number of Lodgers	<i>no boarding room will be occupied by more than 2 adult lodgers.</i>	No boarding room will be occupied by more than 2 adult lodgers.	Yes
30(1)(d) Bathroom & Kitchen Facilities	<i>adequate bathroom and kitchen facilities will be available within the boarding house for the use of each lodger.</i>	Kitchen and bathroom facilities will be provided in each boarding room, together with communal kitchen facilities in the communal areas of the proposed development.	Yes
30(1)(e) Boarding House Manager	<i>if the boarding house has capacity to accommodate 20 or more lodgers, a boarding room or on site dwelling will be provided for a boarding house manager.</i>	A Manager's room is provided at the Ground Floor Level.	Yes
30(1)(g) Non Residential Zones	<i>if the boarding house is on land zoned primarily for commercial purposes, no part of the ground floor of the boarding house that fronts a street will be used for residential purposes unless another environmental planning instrument permits such a use.</i>	N/A	N/A
30(1)(h) Bicycle & Motorcycle Parking	<i>at least one parking space will be provided for a bicycle, and one will be provided for a motorcycle, for every 5 boarding rooms.</i>	12 bicycle spaces and 11 motorcycle spaces have been provided in the basement level.	Yes

Clause 30A of SEPP ARH states:

A consent authority must not consent to development to which this Division applies unless it has taken into consideration whether the design of the development is compatible with the character of the local area.

The local area is consistent with the R3 Medium Density Residential zone which applies in Marlborough Road and is characterised by a mixture of detached dwelling houses and residential flat buildings.

The R3 Medium Density Residential zone is such that it can be expected that some transition from single detached dwellings to multi-storey development is envisaged as the long term character of the locality. The proposed development is compatible with the character of the local area.

5.2 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 has established a scheme to encourage sustainable residential development under which:

- (a) *an application for a development consent, complying development certificate or construction certificate in relation to certain kinds of residential development must be accompanied by a list of commitments by the applicant as to the manner in which the development will be carried out, and*
- (b) *the carrying out of residential development pursuant to the resulting development consent, complying development certificate or construction certificate will be subject to a condition requiring such commitments to be fulfilled.*

The proposed development is a boarding house which is a Class 3 Building under the Building Code of Australia. As such, a BASIX Certificate is not required. As described in the table below, a Section J Certificate is required.

NSW SECTION J ENERGY EFFICIENCY

Replace Section J with NSW Section J as follows:

Note 1.

NSW Section J consists of two Subsections J(A) and J(B).

NSW Subsection J(A) Energy Efficiency - Class 2 buildings and Class 4 parts

This Subsection contains energy efficiency requirements for Class 2 buildings and Class 4 parts of buildings.

The need for separating these requirements from the requirements for Class 3 buildings arises because, in NSW, Class 2 buildings and Class 4 parts of buildings are subject to BASIX (the Building Sustainability Index), however Class 3 buildings are not.

BASIX is the web-based planning tool designed to assess the potential performance of certain residential buildings against a range of sustainability indices including thermal comfort and energy. Commitments made under BASIX become a condition of the relevant development consent or complying development certificate.

BASIX applies in NSW to all new Class 1 and 2 buildings, and Class 4 parts of buildings; and to alterations and additions to buildings of those classes where the work is subject to BASIX and also where an applicant elects to comply with BASIX.

The provisions of NSW Subsection J(A) are therefore designed to complement requirements that arise under BASIX and which are implemented via the development consent. Where BASIX is not applied to alterations and additions to Class 1 and 2 buildings, and Class 4 parts of buildings, these provisions will also complement council development controls that require energy efficiency measures to be incorporated as part of the alterations and additions.

NSW Subsection J(B) Energy Efficiency - Class 3 and Class 5 to 9 buildings

This subsection contains energy efficiency requirements for Class 3 and Class 5 to 9 buildings.

As Class 3 and Class 5 to 9 buildings are not subject to BASIX, NSW Subsection J(B) applies the provisions of the national Section J relevant to Class 3 and Class 5 to 9 buildings, with minor variations.

Note 2.

All definitions in Part A1 that are applicable to the national Section J are also applicable to NSW Section J.

A Section J Report has been provided with the development application.

5.3 State Environmental Planning Policy No.55 - Remediation of Land

State Environmental Planning Policy No.55 - Remediation of Land (SEPP 55) aims:

.... to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment.

Clause 7 of SEPP 55 states:

7. (1) *A consent authority must not consent to the carrying out of any development on land unless:*
 - (a) *it has considered whether the land is contaminated, and*
 - (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
 - (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*
- (2) *Before determining an application for consent to carry out development that would involve a change of use on any of the land specified in subclause (4), the consent authority must consider a report specifying the findings of a preliminary investigation of the land concerned carried out in accordance with the contaminated land planning guidelines.*
- (3) *The applicant for development consent must carry out the investigation required by subclause (2) and must provide a report on it to the consent authority. The consent authority may require the applicant to carry out, and provide a report on, a detailed investigation (as referred to in the contaminated land planning guidelines) if it considers that the findings of the preliminary investigation warrant such an investigation.*
- (4) *The land concerned is:*
 - (a) *land that is within an investigation area,*
 - (b) *land on which development for a purpose referred to in Table 1 to the contaminated land planning guidelines is being, or is known to have been, carried out,*
 - (c) *to the extent to which it is proposed to carry out development on it for residential, educational, recreational or child care purposes, or for the purposes of a hospital land:*

- (i) *in relation to which there is no knowledge (or incomplete knowledge) as to whether development for a purpose referred to in Table 1 to the contaminated land planning guidelines has been carried out, and*
- (ii) *on which it would have been lawful to carry out such development during any period in respect of which there is no knowledge (or incomplete knowledge).*

Figure 5 is an extract from a 1943 aerial photograph. The Site and the surrounding area has been used for many years for residential development and, as such, is unlikely to contain any contamination.



Figure 5: Extract from a 1943 aerial photograph with the Site highlighted in yellow. © SIX Maps

Pursuant to **sub-clause 7(1)**, the Council can be satisfied that the proposed development is suitable for the Site.

5.4 Strathfield Local Environmental Plan 2012 (LEP 2012)

The Site is zoned R3 Medium Density Residential pursuant to LEP 2012. An extract from the LEP 2012 Map is at **Figure 6**.

The proposed development is for demolition and construction of a boarding house which are permissible, with the consent of the Council, in the zone.

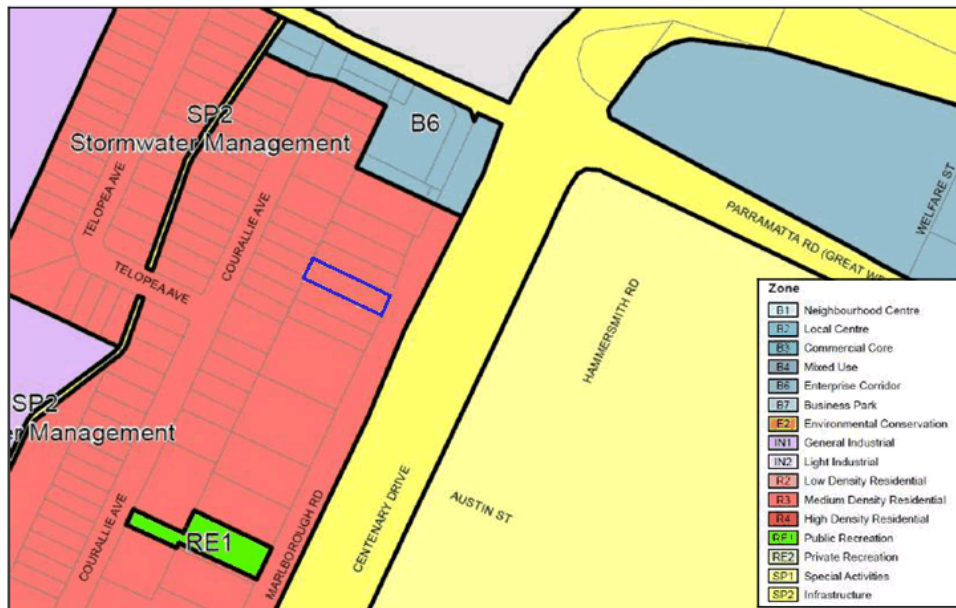


Figure 6: Extract from the LEP 2012 Map with the Site outlined in blue.

Sub-clause 2.3(2) of LEP 2012 states:

- (2) *The consent authority must have regard to the objectives for development in a zone when determining a development application in respect of land within the zone.*

The objectives of the R3 Medium Density Residential zone are:

- *To provide for the housing needs of the community within a medium density residential environment.*
- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

The proposed development would:

- provide for the housing needs of the community,
- provide a concentration of housing with access to services and facilities,
- ensure that a high level of residential amenity is achieved and maintained, and
- facilitate development which assists in the provision of a variety of housing types in the Strathfield Local Government Area.

The proposal would be consistent with the objectives of the R3 Medium Density Residential zone.

Clause 4.3 deals with the height of buildings and states, in part:

- (1) *The objectives of this clause are as follows:*
 - (a) *to ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area,*
 - (b) *to encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area,*
 - (c) *to achieve a diversity of small and large development options.*
- (2) *The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.*

The Height of Buildings Map indicates that a maximum height of 14 metres applies to the Site. The plans of the proposed development (refer **Attachment 2**) indicate that the proposed development is above the maximum 14 metres height limit. An extract from the plans of the proposed development is at **Figure 7**.

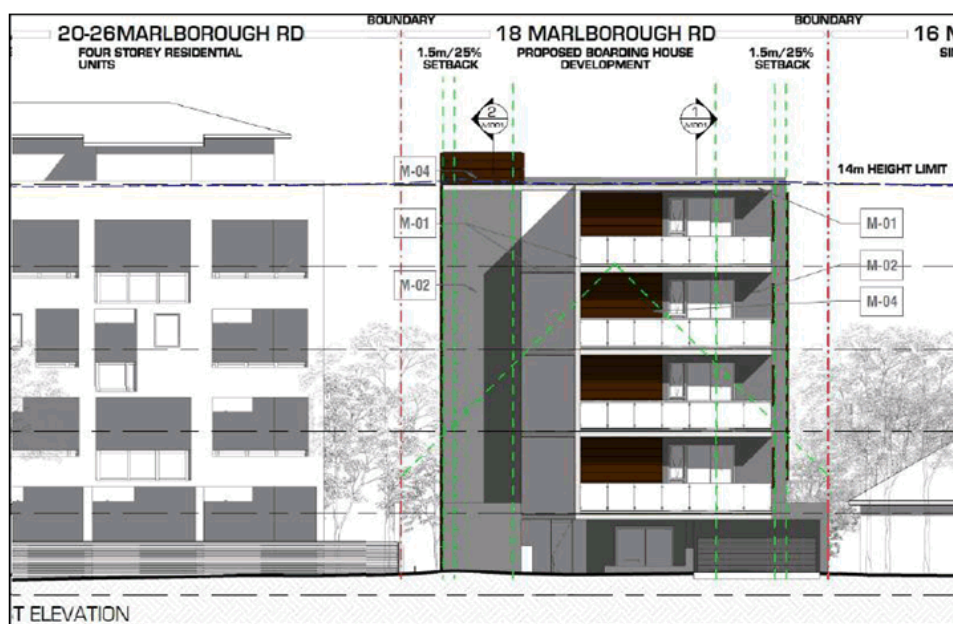


Figure 7: Extract from the plans of the proposed development showing the non-compliance with the height of buildings development standard.

Figure 8 shows where the proposed development intersects the 14 metre building height plane.

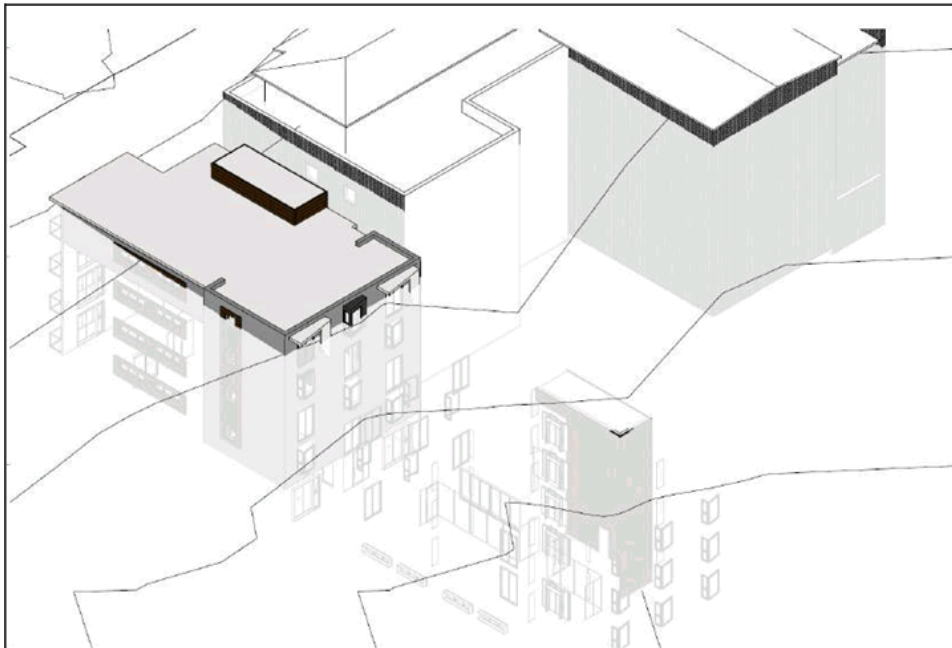


Figure 8: Drawing showing where the proposed development intersections the 14 metre height plane.

Clause 29(4) of SEPP ARH states:

- (4) *A consent authority may consent to development to which this Division applies whether or not the development complies with the standards set out in subclause (1) or (2).*

Having regard to the breach in the height of buildings development standard, it is open to the Council to consent to the development notwithstanding that non-compliance. Having regard to the minor nature of the non-compliance and insignificant impact that non-compliance would have, it is considered that variation to the development standard should be concurred with by the Council. This is particularly the case when the breach of the height plane is compared to the significant non-compliance of the residential flat building adjoining the Site as shown in **Figure 8**.

Clause 4.4 deals with floor space ratio and states, in part:

- (2) *The maximum floor space ratio for a building on any land is not to exceed the floor space ratio shown for the land on the Floor Space Ratio Map.*

The Floor Space Ratio Map indicates that the floor space ratio applying to the Site is 1.45:1.

Clause 29 of SEPP ARH contains "*Standards that cannot be used to refuse consent*" and **Clause 30** of SEPP ARH deals with "*Standards for boarding houses*".

Sub-clause 29(1) states:

- (1) *A consent authority must not refuse consent to development to which this*

Division applies on the grounds of density or scale if the density and scale of the buildings when expressed as a floor space ratio are not more than:

- (a) the existing maximum floor space ratio for any form of residential accommodation permitted on the land, or*
- (b) if the development is on land within a zone in which no residential accommodation is permitted - the existing maximum floor space ratio for any form of development permitted on the land, or*
- (c) if the development is on land within a zone in which residential flat buildings are permitted and the land does not contain a heritage item that is identified in an environmental planning instrument or an interim heritage order or on the State Heritage Register - the existing maximum floor space ratio for any form of residential accommodation permitted on the land, plus:*
 - (i) 0.5:1, if the existing maximum floor space ratio is 2.5:1 or less, or*
 - (ii) 20% of the existing maximum floor space ratio, if the existing maximum floor space ratio is greater than 2.5:1.*

Comment: The Site is within the R3 Medium Density Residential zone within which residential flat buildings are permissible. With the bonus floor space ratio of 0.5:1, the applicable floor space ratio is 1.45:1 + 0.5:1 = 1.95:1. The proposed development has a floor space ratio of 1.87:1.

Clause 5.10 deals with heritage. **Sub-clause 5.10(1)** states:

The objectives of this clause are as follows:

- (a) to conserve the environmental heritage of Strathfield,*
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) to conserve archaeological sites,*
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.*

There are no heritage items or heritage conservation areas in the vicinity of the Site to warrant further investigation of heritage impact.

Clause 6.1 deals with acid sulfate soils. The Site is classified as containing Class 5 acid sulfate soils. The Site is not located within 500 metres of Class 1, 2, 3 or 4 acid sulphate soils and, as such, there is no requirements for further work relating to acid sulfate soils.

Clause 6.4 deals with essential services and states:

- (1) *Development consent must not be granted for development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required:*
- (a) *the supply of water,*
 - (b) *the supply of electricity,*
 - (c) *the disposal and management of sewage,*
 - (d) *the disposal and recycling of waste,*
 - (e) *stormwater drainage or on-site conservation,*
 - (f) *suitable vehicular access.*

The Site has access to all essential services. There may be a requirement for those services to be augmented as part of the proposal.

There are no other provisions of the Strathfield LEP 2012 which are considered relevant to the proposed development.

- Section 79C(1)(a)(ii) (a) *the provisions of:*
- (ii) *any proposed instrument.*

There are no proposed instruments affecting the proposed development of which the writer is aware.

- Section 79C(1)(a)(iii) (a) *the provisions of:*
- (iii) *any development control plan.*

5.5 Strathfield Development Control Plan 2005

Strathfield Development Control Plan 2005 (**DCP 2005**) is used by Council to assess development applications submitted under the Strathfield LEP 2012.

DCP 2005 states:

This Consolidated Plan applies to the construction of new dwelling houses, alterations or additions to existing dwelling houses, structures ancillary to dwelling houses, dual occupancy development, multiple-unit housing, industrial development, child care

centres, bed and breakfast establishments, provision of brothels, requirements for waste management, car parking, the erection and display of advertising signs and structures, development on contaminated land, educational establishments, requirements for water sensitive urban design and public notification requirements for development and complying development applications.

There is no section of DCP 2005 which relates specifically to Boarding Houses.

Section 79C(1)(a)(iiia) (a) *the provisions of:*

(iiia) *any planning agreement or draft planning agreement.*

There are no planning agreements or draft planning agreements relating to the proposed development.

Section 79C(1)(a)(iv) (a) *the provisions of:*

(iv) *the regulations.*

There are no specific requirements of the *Environmental Planning and Assessment Regulation 2000*.

Section 79C(1)(a)(v) (a) *the provisions of:*

(v) *any coastal management plan.*

Not applicable.

Section 79C(1)(b) (b) *the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.*

Impacts to the natural and built environment

The proposed development would have no adverse impact on the built environment.

There will, however, be a need for certain demolition activities to be undertaken as part of the proposed development. Those activities would be carried out in accordance with the provisions of *Australian Standard AS 2601 - 1991: The Demolition of Structures*.

Social Impacts

There would be a significant positive social impact resulting from the proposed development in that a new generation boarding house would be established in the Homebush West area to provide for the affordable housing needs of the community.

Economic Impact

The economic impact associated with the proposed development would be that employment opportunities would be available during both the demolition of the existing development on the Site and the construction of the proposed development. There would also be an economic impact through the long term employment of a Manager for the proposed boarding house.

Section 79C(1)(c) (c) *the suitability of the site for the development.*

The Site is within the R3 Medium Density Residential zone. The Site is not in an "accessible area" pursuant to *State Environmental Planning Policy (Affordable Rental Housing) 2009*, however, it meets the controls of the Policy.

The proposed development is permitted in the zone and the Site is suitable for the proposed development.

Section 79C(1)(d) (d) *any submissions made.*

Not applicable.

Section 79C(1)(e) (e) *the public interest.*

The public interest is an overarching requirement, which includes the consideration of matters discussed in this SEE. Implicit to the public interest is the achievement of future built outcomes adequately responding to and respecting the future desired outcomes expressed in environmental planning instruments and development control plans.

The proposed development is considered to have satisfactorily addressed Council's criteria and would provide a development outcome that, on balance, would result in a positive impact for the community.

The proposed development would have negligible impact on the environment and, with concurrence to the non-compliance with the height of buildings development standard, would be consistent with the Strathfield LEP 2012.

The proposed development would provide more housing in the Homebush West area.

Accordingly, it is considered that approval of the proposal would be in the public interest.

6. CONCLUSION

It is proposed to demolish the existing development on the Site and erect a new generation boarding house containing 49 boarding rooms and accommodation for an on-site Manager.

It has been demonstrated that the proposal would have no adverse impact on the environment.

The proposed development would have a positive impact in that it would provide for much needed affordable rental housing in the Homebush West area and provide employment in both the development stage and in the long term management and maintenance of the facility.

The Site is located within the R3 Low Density Residential zone and the proposed development is permitted with the consent of the Council.

The development has planning merit and should be approved by the Council.

Attachment 1

Reduced copies of the development plans

PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST

DEVELOPMENT APPLICATION

27.11.17

A0000	COVER	F
A0010	SITE PLAN/SITE ANALYSIS	D
A0011	STREETSCAPE ELEVATION PLAN	C
A1000	DEMOLITION PLAN	C
A2000	BASEMENT PLAN	F
A2001	GROUND FLOOR PLAN	F
A2002	LEVEL 1 PLAN	F
A2003	LEVEL 2 PLAN	F
A2004	LEVEL 3 PLAN	F
A2005	LEVEL 4 PLAN	F
A2006	ROOF PLAN	F
A3000	EAST & WEST ELEVATIONS	E
A3001	NORTH & SOUTH ELEVATIONS	E
A4000	CROSS SECTIONS	D
A4001	LONG SECTIONS	D
A9000	PHOTOMONTAGE OF MARLBOROUGH RD	A
A9001	3D VIEWS	D
A9100	FINISHES, NOTES AND DETAILS	C
A9200	SHADOWS & SOLAR ACCESS	C
A9210	PRIVACY STUDY	C
A9300	FSR & LANDSCAPING AREAS	C
A9310	ROOM AREAS	C
A9320	HEIGHT STUDY	A
A9400	WINDOW SCHEDULE	C
A9401	WINDOW SCHEDULE 2	C
A9402	WINDOW SCHEDULE 3	C



LOCATION PLAN



NOTE: READ DRAWINGS IN CONJUNCTION WITH SCHEDULES I SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

DEVELOPMENT APPLICATION

	Contractor	Client	Project	Title	Drawn By	Checked By	Project No
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	COVER	DY	CB	32-12
					Date	Sheet No.	Revision
					27 NOVEMBER 17		A0000
					Scale	Issue	Revision
							F



1) SITE BETWEEN ADJACENT APARTMENT BLOCK AND SINGLE HOUSE



2) MULTIPLE APARTMENT BLOCKS ALONG MARLBOROUGH ROAD



3) STREETSCAPE OF MARLBOROUGH ROAD



2) MULTIPLE APARTMENT BLOCKS ALONG MARLBOROUGH ROAD



3) STREETSCAPE OF MARLBOROUGH ROAD

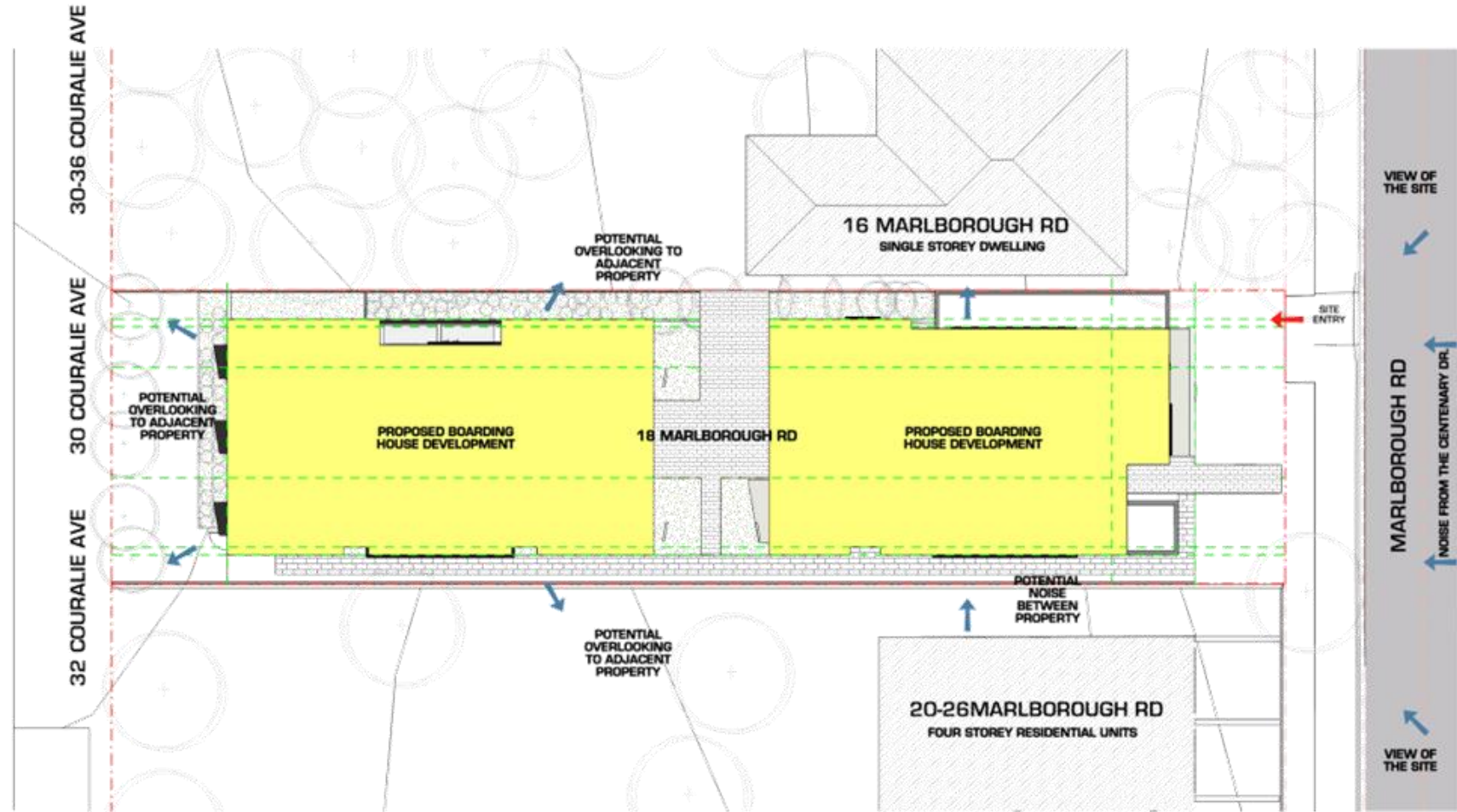
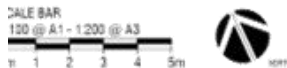
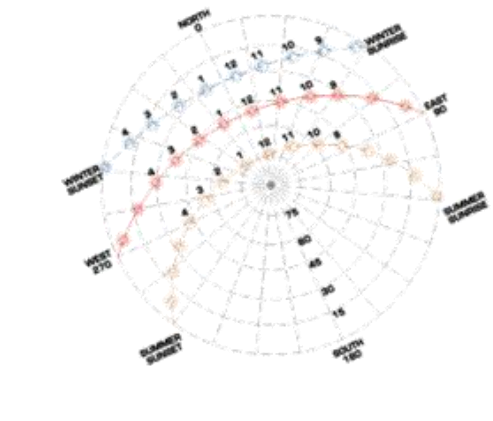


E ANALYSIS

1) SITE ON 18 MARLBOROUGH ROAD, HOME BUSH WEST SITS WITHIN THE VICINITY STRATHFIELD COUNCIL AND IS SURROUNDED BY A WIDE RANGE OF VISUAL LANDMARKS SUCH AS SYDNEY OLYMPIC PARK AND POPULAR SHOPPING DESTINATION DFO ARE ABOUT 1KM NORTH OF THE SITE. IMMEDIATELY EAST OF THE ADJACENT CENTENARY DRIVE IS ANOTHER POPULAR ATTRACTION IN SYDNEY MARKETS AND PADDY'S MARKETS WITH MINGHON STATION LOCATED WITHIN 800M OF THE SITE. COMMERCIAL COMPLEX CAMPUS BUSINESS PARK IS ALSO LOCATED WITHIN 500M WEST OF THE SITE.

MARBOROUGH ROAD RUNS IMMEDIATELY PARALLEL TO CENTENARY DRIVE, A BUSY TRAFFIC ARTERY RUNNING IN THE NORTH SOUTH DIRECTION. THE INTERS AND LEVEL DIFFERENCE AS SEEN IN IMAGES 3 & 5 HELP SOFTEN SOME OF THE VISUAL AND NOISE IMPACT ON THE RESIDENTS OF MARLBOROUGH ROAD. WITH THE EXCEPTION OF THE SUBJECT SITE AND A COUPLE OTHER SINGLE DWELLING HOUSES, MOST LOTS ARE 3-4 STOREY APARTMENT BLOCKS AS SEEN IN IMAGES 2 & 4.

MARBOROUGH ROAD (LOT 12 / SEC 1 D.P. 927) IS A RECTANGULAR SITE APPROXIMATELY 15m WIDE 80m DEEP WITH A SITE AREA OF 929m². THE SITE RUNS LONG IN THE NORTH WEST TO SOUTH EAST DIRECTION WITH ROUGHLY A 2.5m DROP IN LEVEL DIFFERENCE FROM END TO THE OTHER. THERE IS AN EXISTING SINGLE STOREY DWELLING ALONG THE FRONT END OF THE SITE WHERE AN EXISTING CONCRETE DRIVEWAY IS LOCATED TOWARDS THE NORTH END. A POWER POLE AT THE MIDDLE AND A TREE TOWARD THE SOUTH END. THE BACK END OF THE SITE FACES RESIDENTIAL DWELLING ALONG COURALIE AVENUE.



DEVELOPMENT APPLICATION

NOTE: READ DRAWINGS IN CONJUNCTION WITH SCHEDULES AND SPECIFICATIONS. ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE.

	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOME BUSH WEST	SITE PLAN/SITE ANALYSIS	DY	CB	3212
					Date	Issue	Sheet No.
					27 NOVEMBER 17		A0010
					Scale	Revision	
					As indicated	D	

SUBJECT SITE IS ON A LAND ZONING OF R3 AND HAS A HEIGHT LIMIT OF 14m. LOTS ADJACENT TO SITE AND ALONG MARLBOROUGH ROAD SHARE THE SAME PLANNING CONTROLS.

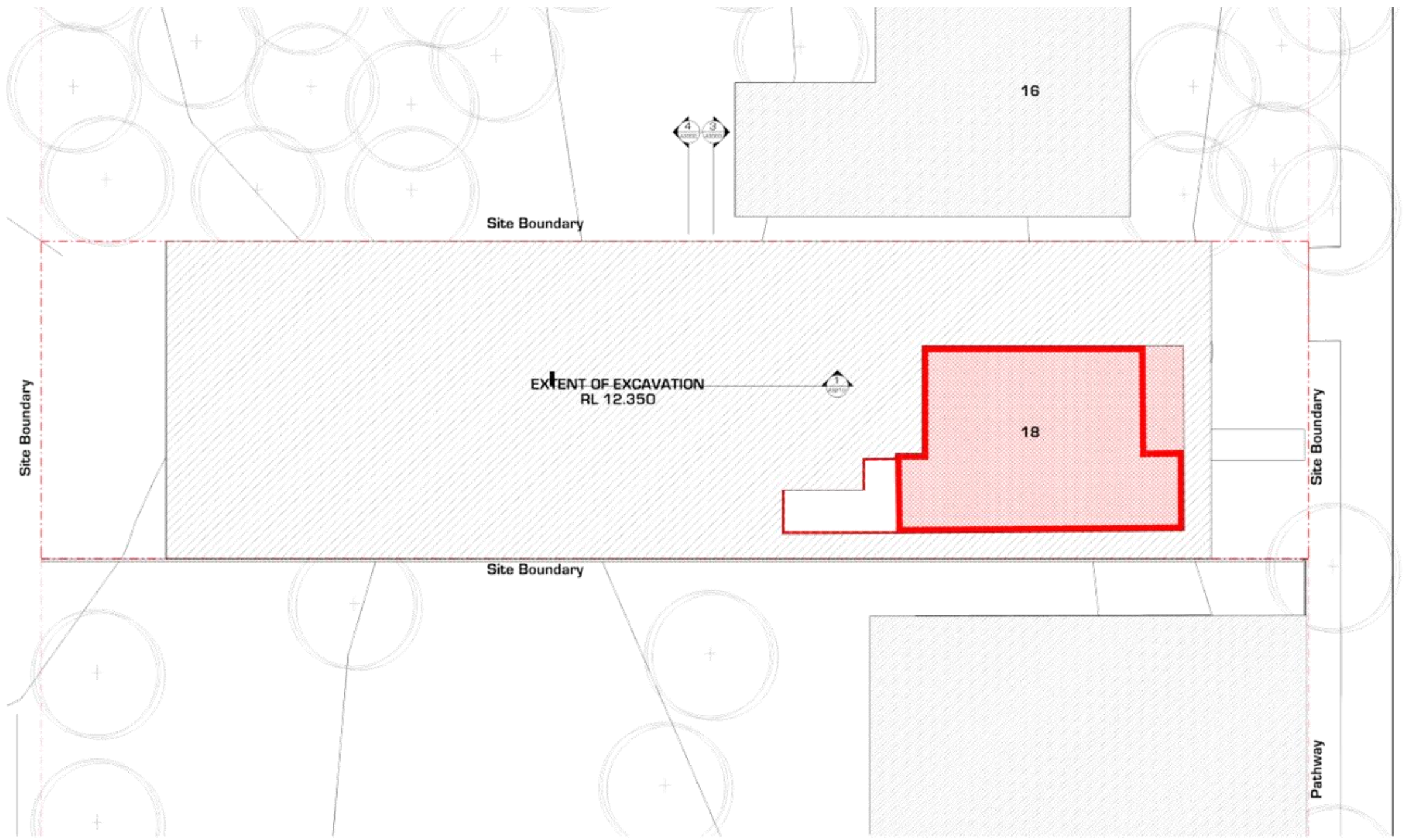
PROPOSED BOARDING HOUSE HAS AREAS PROTRUDING THE 14m HEIGHT LIMIT, MOSTLY DUE TO NATURAL SLOPE OF THE SITE. (SEE ELEVATION DRAWINGS A3001, A3001.1) AS SEEN IN THE STREETSCAPE ELEVATION BELOW. EXISTING BUILDING ON 20-26 MARLBOROUGH ROAD ALSO PROTRUDES 14m HEIGHT LIMIT, AS DOES THE NEXT ADJACENT PROPERTY ON 16-20 MARLBOROUGH ROAD (WHICH SHARES A SIMILAR HEIGHT). HENCE, THE HEIGHT OF PROPOSED DEVELOPMENT AT SUBJECT SITE IS NOT OUT OF CHARACTER OF THE LOCAL AREA ALONG MARLBOROUGH ROAD. (SRPP (AFFORDABLE RENTAL HOUSING) 2008, DIV. 3, SOA)



NOTE:
READ DRAWINGS IN CONJUNCTION WITH SCHEDULES / SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

DEVELOPMENT APPLICATION

LIQUID DESIGN <small>Liquid Design Pty Ltd Suite 1.17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9851 5295</small>	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	STREETSCAPE ELEVATION PLAN	DY	CB	3212
					Date	Issue	Revision
					27 NOVEMBER 17		A0011
				Scale			C
				1 : 100			

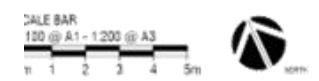


GENERAL LEGEND

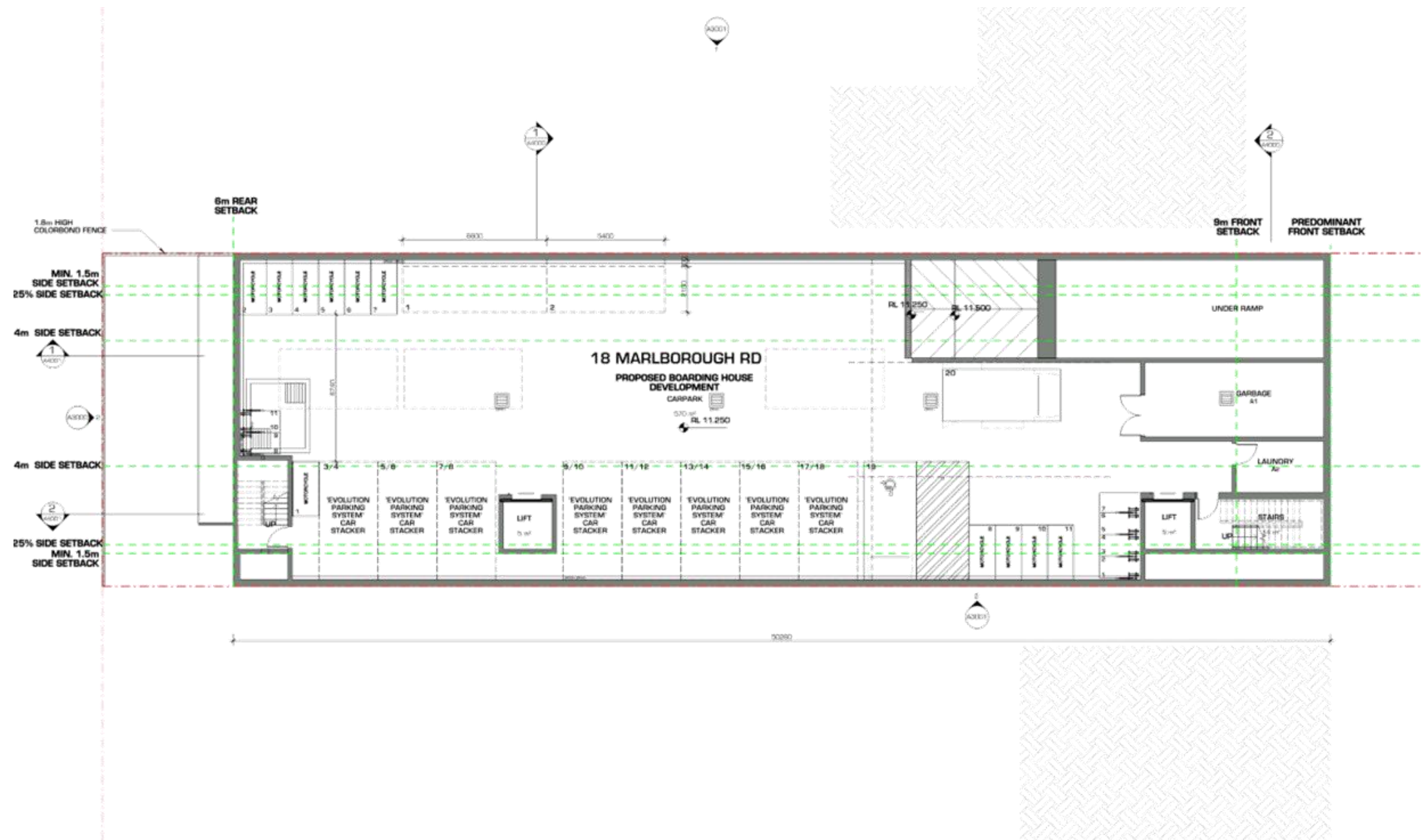
- PROPOSED BUILDING
- EXISTING BUILDING
- TO BE DEMOLISHED
- SITE BOUNDARY
- DCP LIMITS
- SETBACK
- EXISTING HOUSE TO BE DEMOLISHED

NOTE!
 READ DRAWINGS IN CONJUNCTION WITH SCHEDULES I
 SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

DEVELOPMENT APPLICATION



LIQUID DESIGN D <small>Liquid Design Pty Ltd Suite 4, 17, 20 Miller Street, Pyrmont, Sydney, NSW, 2009 T +61 2 9551 5193</small>	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	DEMOLITION PLAN	DY	CB	3212
					Date	Sheet No.	Revision
					27 NOVEMBER 17	A1000	
					Scale	Issue	Revision
					As indicated		C



PARKING:

STACKED PARKING STACKERS ALLOW FOR INDEPENDENT ACCESS TO VEHICLE. SEE TRAFFIC REPORT FOR DETAILS	18
STANDARD PARKING	3
ACCESSIBLE PARKING	1
TOTAL PARKING REQUIRED PARKING 0.4 SPACES PER ROOM	20
MOTORBIKE	11
BICYCLE	12



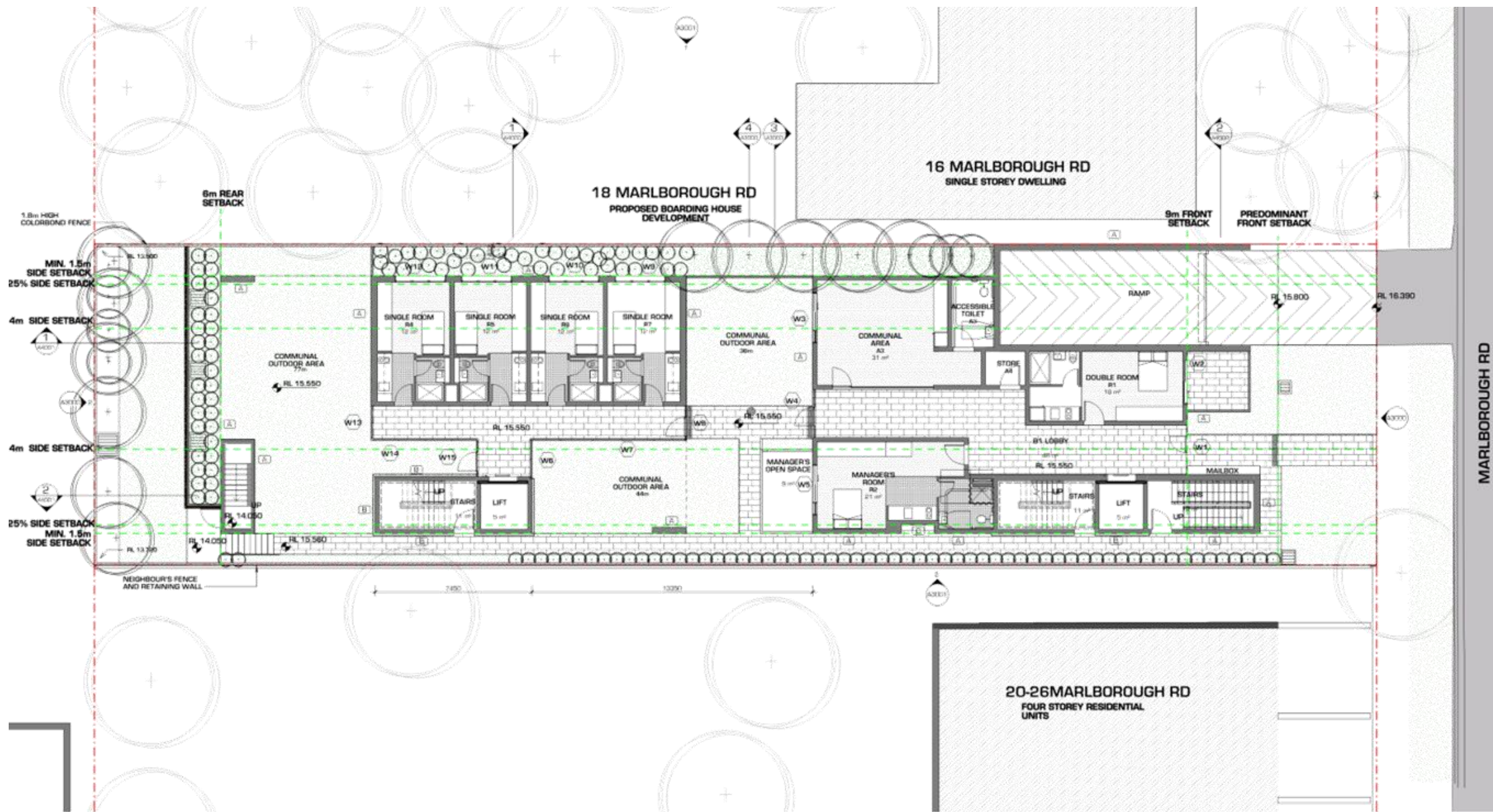
LIQUID DESIGN

Liquid Design Pty Ltd
 Suite 4.17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009
 T: +61 2 9551 5235

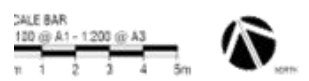
Contractor	Client	Project PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title BASEMENT PLAN	Drawn By DY	Checked By CB	Project No. 3212
				Date 27 NOVEMBER 17	Sheet No. A2000	
				Scale As indicated	Issue	Revision F

DEVELOPMENT APPLICATION

NOTE: READ DRAWINGS IN CONJUNCTION WITH SCHEDULES & SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE



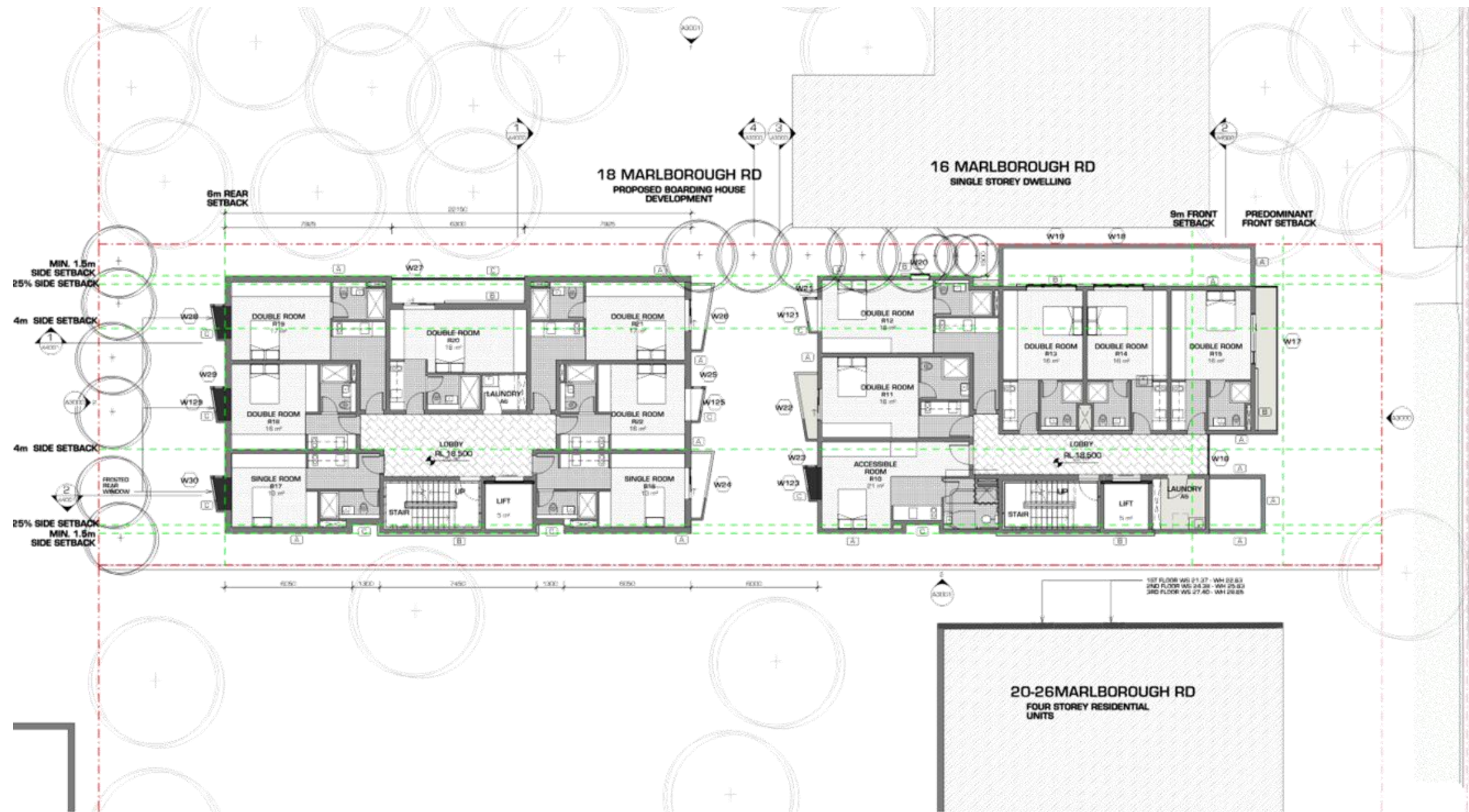
Name	Number	Area
ACCESSIBLE ROOM	R10	21 m
ACCESSIBLE ROOM	R23	21 m
ACCESSIBLE ROOM	R36	21 m
ACCESSIBLE ROOM	R48	21 m
4		
DOUBLE ROOM	R1	18 m
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R12	18 m
DOUBLE ROOM	R13	18 m
DOUBLE ROOM	R14	16 m
DOUBLE ROOM	R15	16 m
DOUBLE ROOM	R18	16 m
DOUBLE ROOM	R19	17 m
DOUBLE ROOM	R20	18 m
DOUBLE ROOM	R21	17 m
DOUBLE ROOM	R22	16 m
DOUBLE ROOM	R24	18 m
DOUBLE ROOM	R25	18 m
DOUBLE ROOM	R26	18 m
DOUBLE ROOM	R27	16 m
DOUBLE ROOM	R28	16 m
DOUBLE ROOM	R31	16 m
DOUBLE ROOM	R32	17 m
DOUBLE ROOM	R33	18 m
DOUBLE ROOM	R34	17 m
DOUBLE ROOM	R35	16 m
DOUBLE ROOM	R37	18 m
DOUBLE ROOM	R38	18 m
DOUBLE ROOM	R39	16 m
DOUBLE ROOM	R40	16 m
DOUBLE ROOM	R41	16 m
DOUBLE ROOM	R44	16 m
DOUBLE ROOM	R45	16 m
DOUBLE ROOM	R46	17 m
DOUBLE ROOM	R47	17 m
DOUBLE ROOM	R48	18 m
DOUBLE ROOM	R50	18 m
DOUBLE ROOM	R51	16 m
DOUBLE ROOM	R52	16 m
DOUBLE ROOM	R53	16 m
35		
MANAGER'S ROOM	R2	21 m
1		
SINGLE ROOM	R4	12 m
SINGLE ROOM	R5	12 m
SINGLE ROOM	R6	12 m
SINGLE ROOM	R7	12 m
SINGLE ROOM	R16	13 m
SINGLE ROOM	R17	13 m
SINGLE ROOM	R29	13 m
SINGLE ROOM	R30	13 m
SINGLE ROOM	R42	13 m
SINGLE ROOM	R43	13 m
10		
Grand total	50	



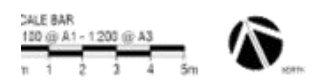
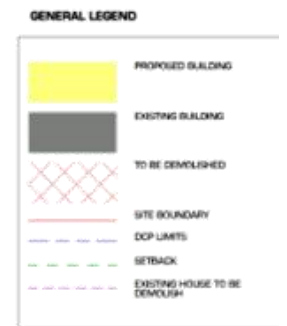
NOTE: READ DRAWINGS IN CONJUNCTION WITH SCHEDULES & SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

DEVELOPMENT APPLICATION

	Contractor	Client	Project	TITLE	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	GROUND FLOOR PLAN	DY	CB	3212
					Date		Sheet No.
					27 NOVEMBER 17		A2001
					Scale	Issue	Revision
					As indicated		F



Name	Number	Area
ACCESSIBLE ROOM	R10	21 m
ACCESSIBLE ROOM	R23	21 m
ACCESSIBLE ROOM	R36	21 m
ACCESSIBLE ROOM	R48	21 m
4		
DOUBLE ROOM	R1	18 m
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R12	18 m
DOUBLE ROOM	R13	18 m
DOUBLE ROOM	R14	16 m
DOUBLE ROOM	R15	16 m
DOUBLE ROOM	R18	16 m
DOUBLE ROOM	R19	17 m
DOUBLE ROOM	R20	18 m
DOUBLE ROOM	R21	17 m
DOUBLE ROOM	R22	16 m
DOUBLE ROOM	R24	18 m
DOUBLE ROOM	R25	18 m
DOUBLE ROOM	R26	18 m
DOUBLE ROOM	R27	16 m
DOUBLE ROOM	R28	16 m
DOUBLE ROOM	R31	16 m
DOUBLE ROOM	R32	17 m
DOUBLE ROOM	R33	18 m
DOUBLE ROOM	R34	17 m
DOUBLE ROOM	R35	16 m
DOUBLE ROOM	R37	18 m
DOUBLE ROOM	R38	18 m
DOUBLE ROOM	R39	16 m
DOUBLE ROOM	R40	16 m
DOUBLE ROOM	R41	16 m
DOUBLE ROOM	R44	16 m
DOUBLE ROOM	R45	16 m
DOUBLE ROOM	R46	17 m
DOUBLE ROOM	R47	17 m
DOUBLE ROOM	R48	18 m
DOUBLE ROOM	R50	18 m
DOUBLE ROOM	R51	16 m
DOUBLE ROOM	R52	16 m
DOUBLE ROOM	R53	16 m
35		
MANAGER'S ROOM	R2	21 m
1		
SINGLE ROOM	R4	12 m
SINGLE ROOM	R5	12 m
SINGLE ROOM	R6	12 m
SINGLE ROOM	R7	12 m
SINGLE ROOM	R16	13 m
SINGLE ROOM	R17	13 m
SINGLE ROOM	R29	13 m
SINGLE ROOM	R30	13 m
SINGLE ROOM	R42	13 m
SINGLE ROOM	R43	13 m
10		
Grand total	50	

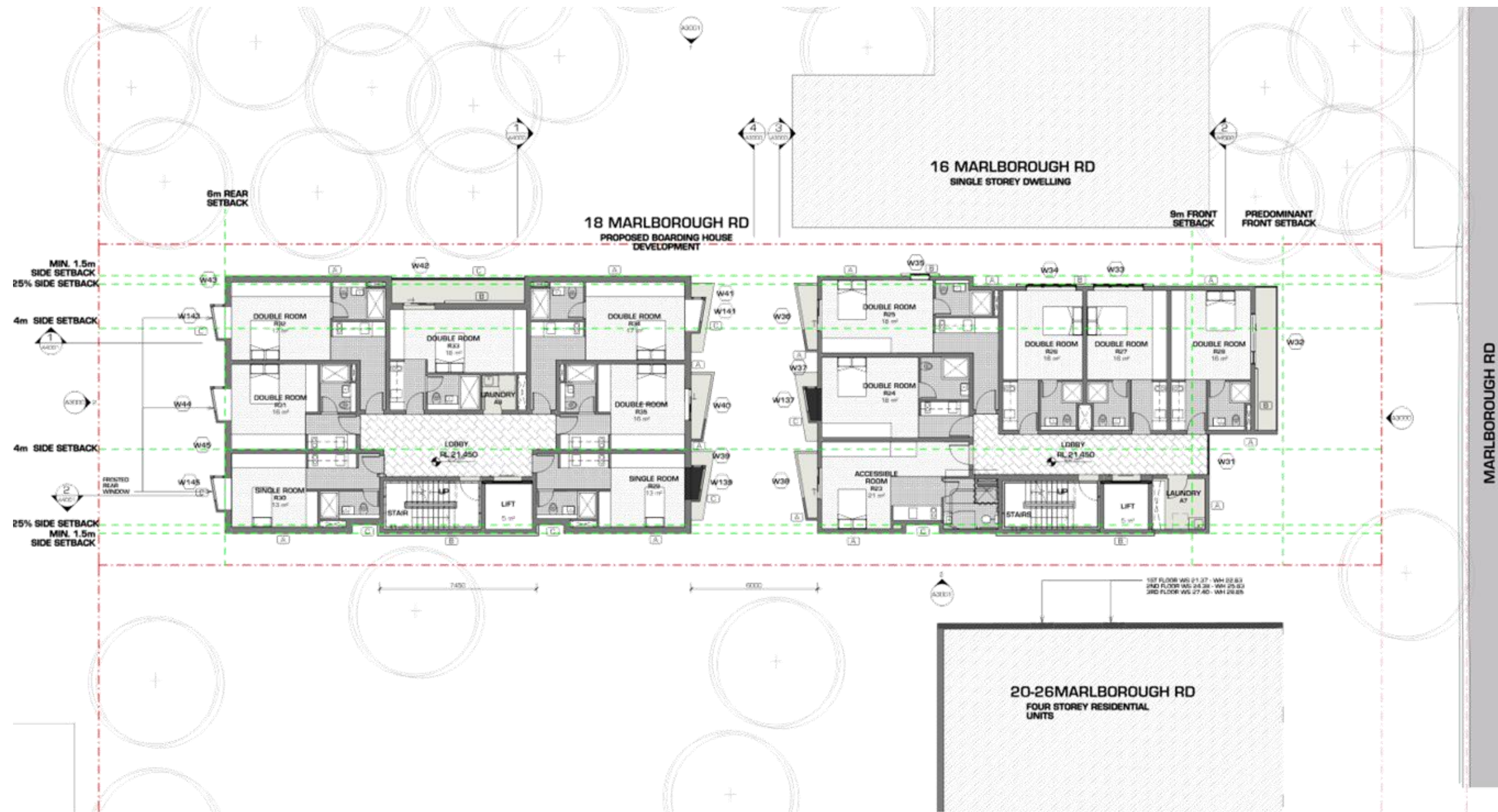


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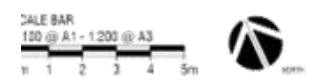
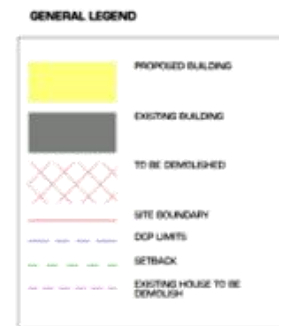
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 2ND FLOOR WS P1.38 - WH 25.83
 3RD FLOOR WS P1.39 - WH 28.83

DEVELOPMENT APPLICATION

Project: PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST
 Title: LEVEL 1 PLAN
 Drawn By: DY
 Checked By: CB
 Project No: 3212
 Date: 27 NOVEMBER 17
 Scale: As indicated
 Sheet No: A2002
 Revision: F



Name	Number	Area
ACCESSIBLE ROOM	R10	21 m
ACCESSIBLE ROOM	R23	21 m
ACCESSIBLE ROOM	R36	21 m
ACCESSIBLE ROOM	R48	21 m
4		
DOUBLE ROOM	R1	18 m
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R12	18 m
DOUBLE ROOM	R13	18 m
DOUBLE ROOM	R14	16 m
DOUBLE ROOM	R15	16 m
DOUBLE ROOM	R18	16 m
DOUBLE ROOM	R19	17 m
DOUBLE ROOM	R20	18 m
DOUBLE ROOM	R21	17 m
DOUBLE ROOM	R22	16 m
DOUBLE ROOM	R24	18 m
DOUBLE ROOM	R25	18 m
DOUBLE ROOM	R26	16 m
DOUBLE ROOM	R27	16 m
DOUBLE ROOM	R28	16 m
DOUBLE ROOM	R31	16 m
DOUBLE ROOM	R32	17 m
DOUBLE ROOM	R33	18 m
DOUBLE ROOM	R34	17 m
DOUBLE ROOM	R35	16 m
DOUBLE ROOM	R37	18 m
DOUBLE ROOM	R38	18 m
DOUBLE ROOM	R39	16 m
DOUBLE ROOM	R40	16 m
DOUBLE ROOM	R41	16 m
DOUBLE ROOM	R44	16 m
DOUBLE ROOM	R45	16 m
DOUBLE ROOM	R46	17 m
DOUBLE ROOM	R47	17 m
DOUBLE ROOM	R48	18 m
DOUBLE ROOM	R50	18 m
DOUBLE ROOM	R51	16 m
DOUBLE ROOM	R52	16 m
DOUBLE ROOM	R53	16 m
35		
MANAGER'S ROOM	R2	21 m
1		
SINGLE ROOM	R4	12 m
SINGLE ROOM	R5	12 m
SINGLE ROOM	R6	12 m
SINGLE ROOM	R7	12 m
SINGLE ROOM	R16	13 m
SINGLE ROOM	R17	13 m
SINGLE ROOM	R29	13 m
SINGLE ROOM	R30	13 m
SINGLE ROOM	R42	13 m
SINGLE ROOM	R43	13 m
10		
Grand total	50	



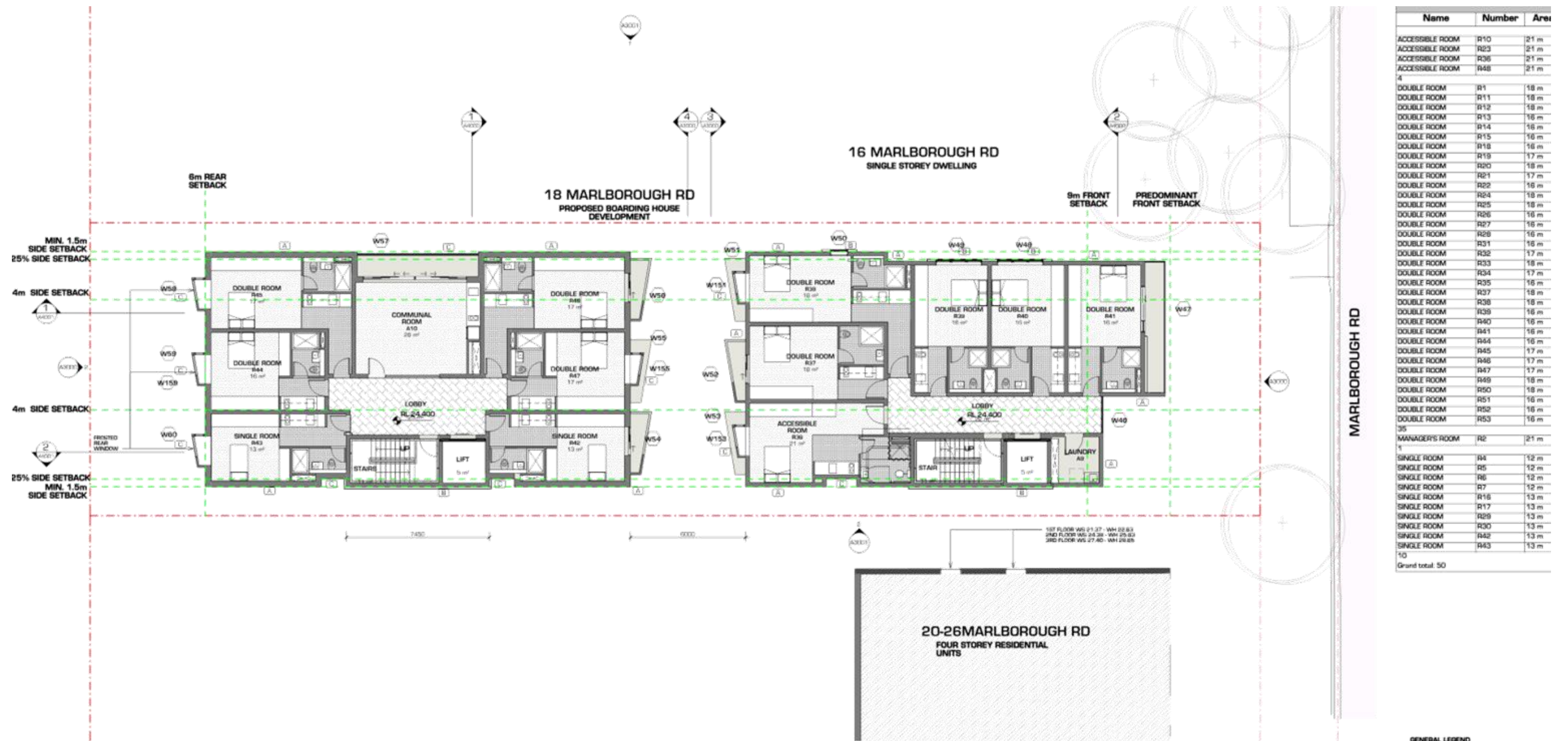
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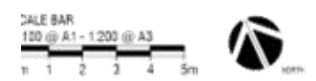
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				Date		Sheet No.
				27 NOVEMBER 17		A2003
				Scale	Issue	Revision
				As indicated		F

DEVELOPMENT APPLICATION

NOTE: READ DRAWINGS IN CONJUNCTION WITH SCHEDULES & SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE



Name	Number	Area
ACCESSIBLE ROOM	R10	21 m
ACCESSIBLE ROOM	R23	21 m
ACCESSIBLE ROOM	R36	21 m
ACCESSIBLE ROOM	R48	21 m
4		
DOUBLE ROOM	R1	18 m
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R12	18 m
DOUBLE ROOM	R13	18 m
DOUBLE ROOM	R14	16 m
DOUBLE ROOM	R15	16 m
DOUBLE ROOM	R18	16 m
DOUBLE ROOM	R19	17 m
DOUBLE ROOM	R20	18 m
DOUBLE ROOM	R21	17 m
DOUBLE ROOM	R22	16 m
DOUBLE ROOM	R24	18 m
DOUBLE ROOM	R25	18 m
DOUBLE ROOM	R26	16 m
DOUBLE ROOM	R27	16 m
DOUBLE ROOM	R28	16 m
DOUBLE ROOM	R31	16 m
DOUBLE ROOM	R32	17 m
DOUBLE ROOM	R33	18 m
DOUBLE ROOM	R34	17 m
DOUBLE ROOM	R35	16 m
DOUBLE ROOM	R37	18 m
DOUBLE ROOM	R38	18 m
DOUBLE ROOM	R39	16 m
DOUBLE ROOM	R40	16 m
DOUBLE ROOM	R41	16 m
DOUBLE ROOM	R54	16 m
DOUBLE ROOM	R45	16 m
DOUBLE ROOM	R46	17 m
DOUBLE ROOM	R47	17 m
DOUBLE ROOM	R48	18 m
DOUBLE ROOM	R50	18 m
DOUBLE ROOM	R51	16 m
DOUBLE ROOM	R52	16 m
DOUBLE ROOM	R53	16 m
35		
MANAGER'S ROOM	R2	21 m
1		
SINGLE ROOM	R4	12 m
SINGLE ROOM	R5	12 m
SINGLE ROOM	R6	12 m
SINGLE ROOM	R7	12 m
SINGLE ROOM	R16	13 m
SINGLE ROOM	R17	13 m
SINGLE ROOM	R29	13 m
SINGLE ROOM	R30	13 m
SINGLE ROOM	R42	13 m
SINGLE ROOM	R43	13 m
10		
Grand total	50	



LIQUID DESIGN

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Project: PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST

Title: LEVEL 3 PLAN

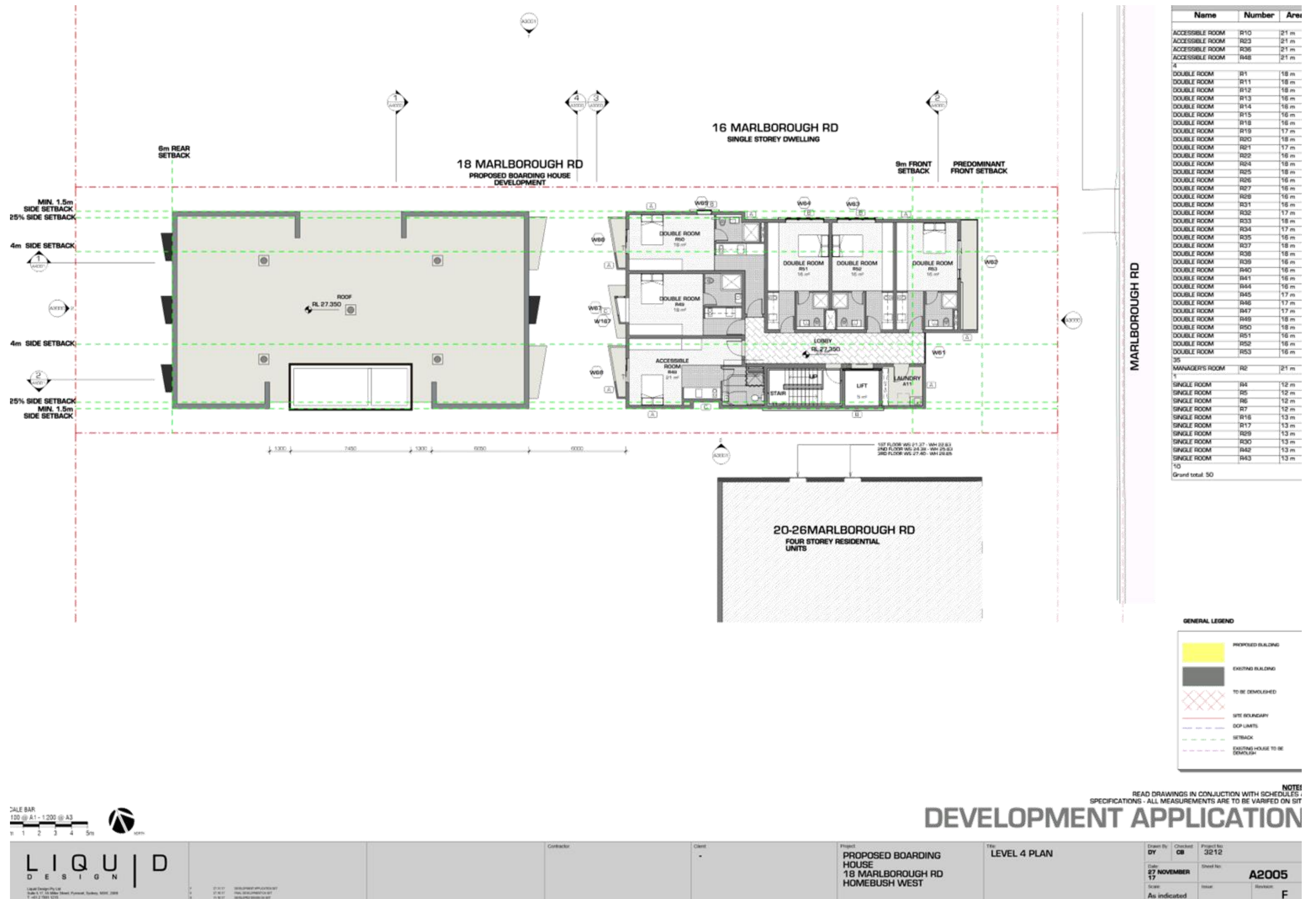
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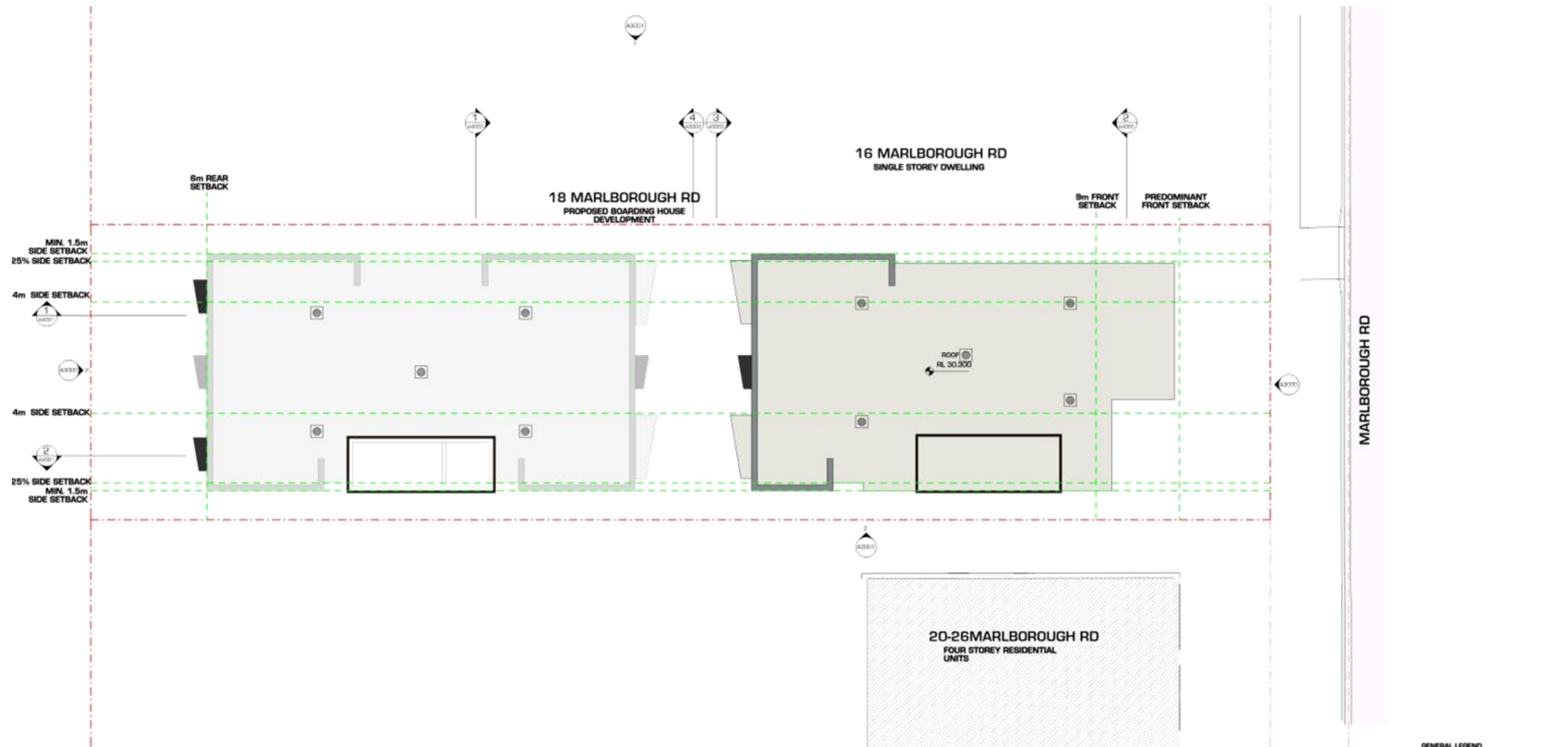
Date: 27 NOVEMBER 17, Sheet No: A2004

Scale: As indicated, Revision: F

DEVELOPMENT APPLICATION

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GENERAL LEGEND

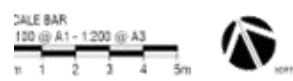
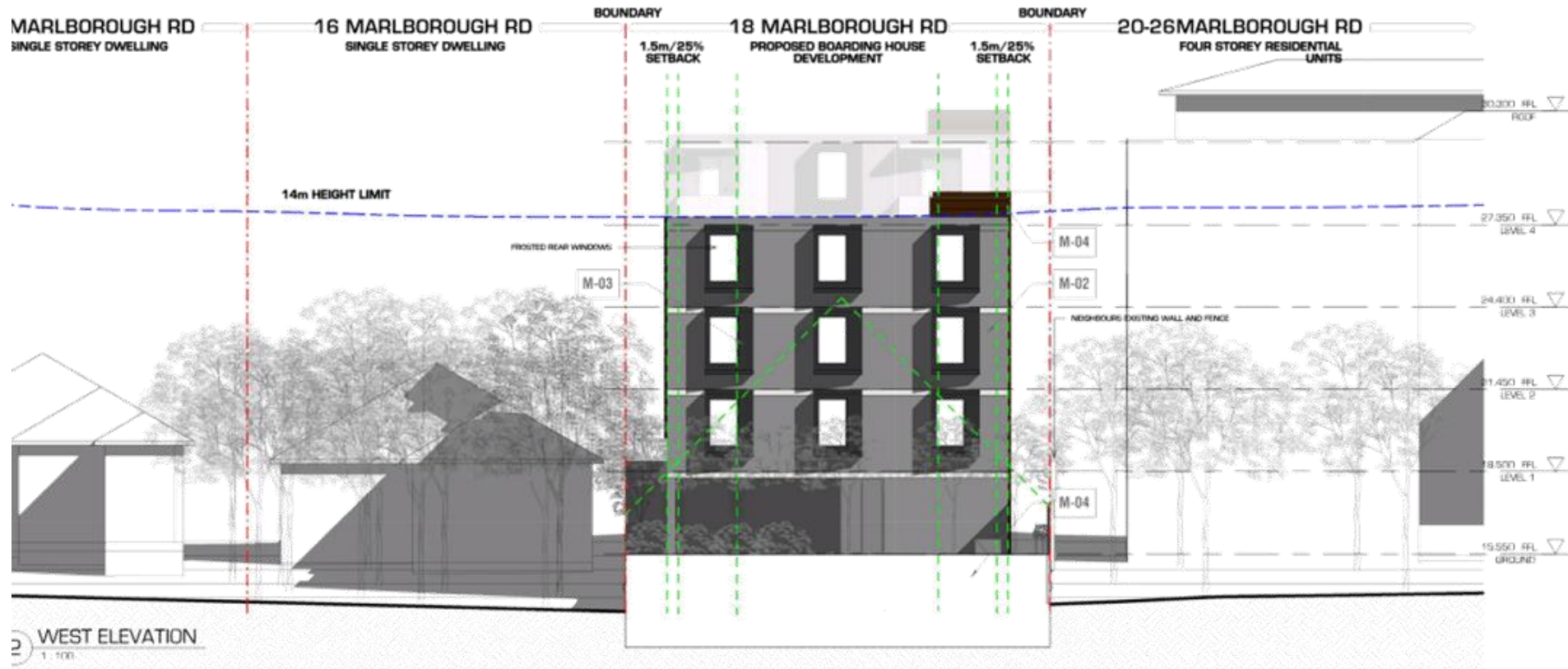
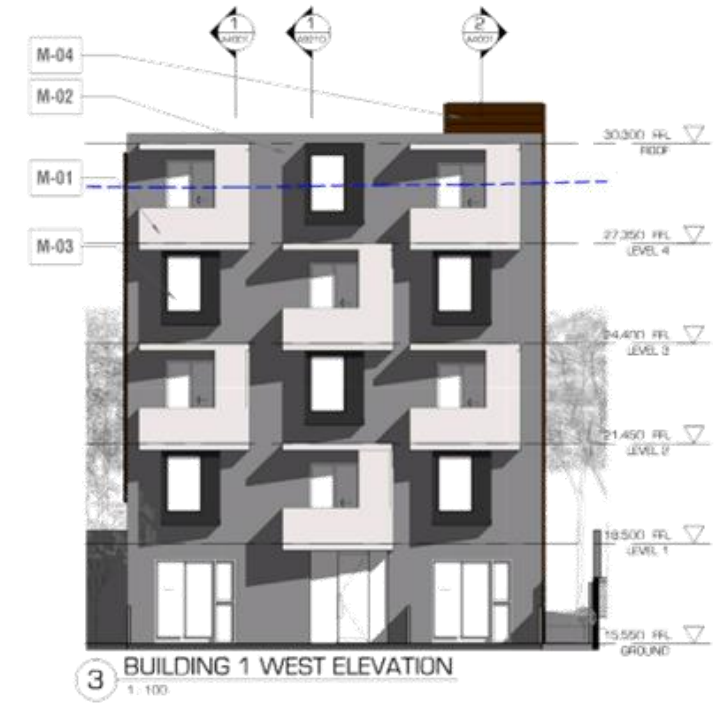
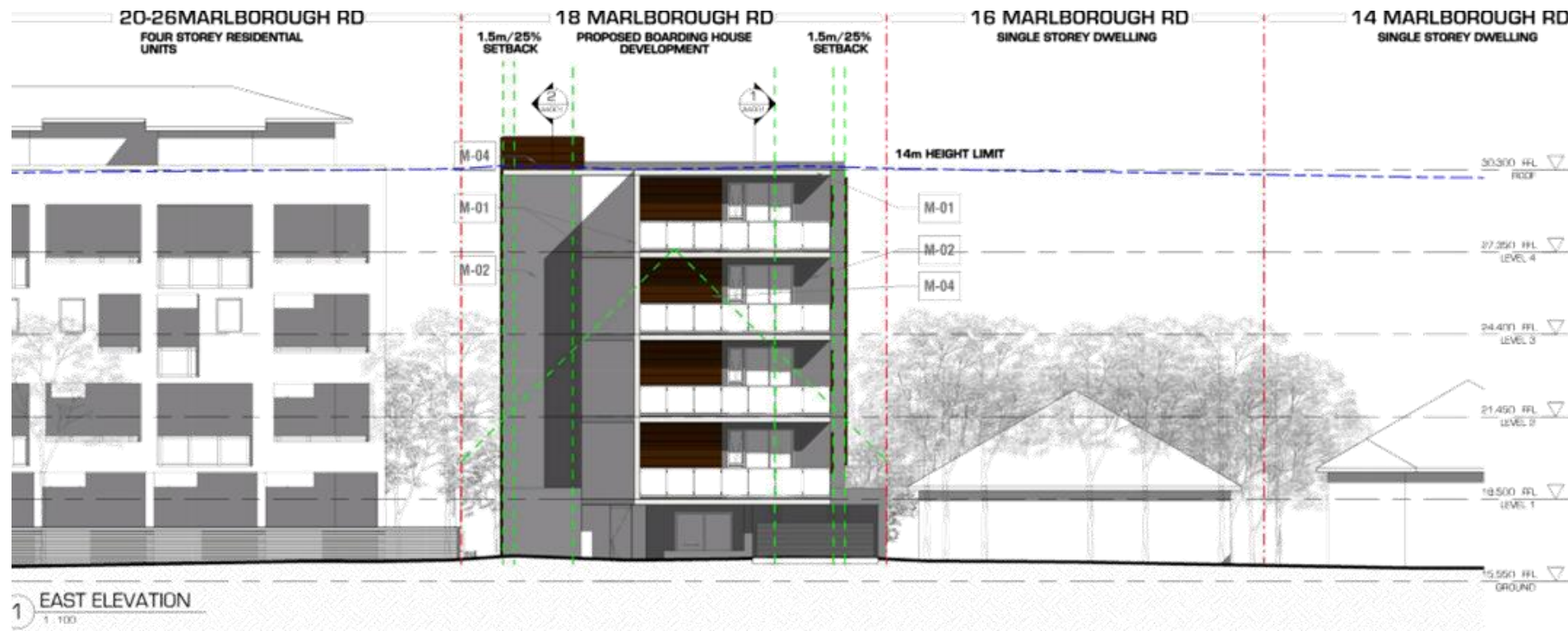
- PROPOSED BUILDING
- EXISTING BUILDING
- TO BE DEMOLISHED
- SITE BOUNDARY
- DCP LIMITS
- SETBACK
- EXISTING HOUSE TO BE DEMOLISH



NOTE!
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DEVELOPMENT APPLICATION

LIQUID DESIGN	Liquid Design Pty Ltd Suite 117, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T: +61 2 9551 5233	27/11/17 DEVELOPMENT APPLICATION SET 27/10/17 FINAL DEVELOPMENT SET 19/10/17 DEVELOPMENT APPLICATION SET	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.	
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	ROOF PLAN	DY	CB	3212			
							Date	Sheet No.		
							27 NOVEMBER 17	A2006		
							Scale	Issue	Revision	
							As indicated	F		



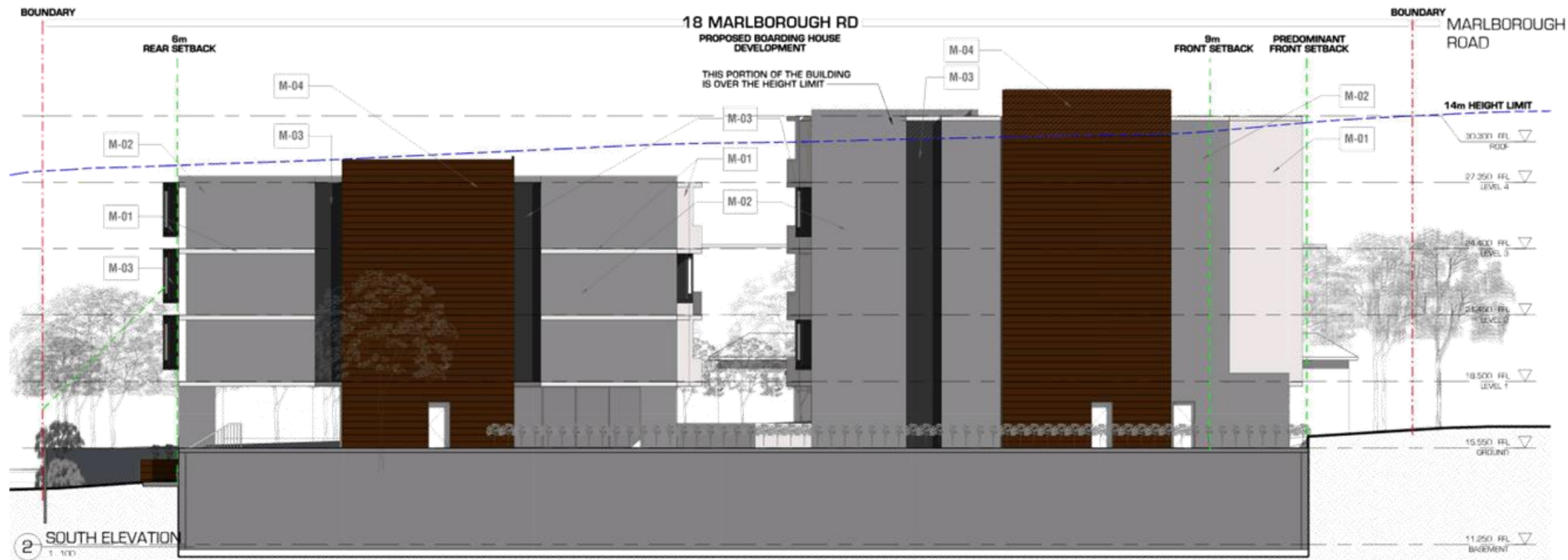
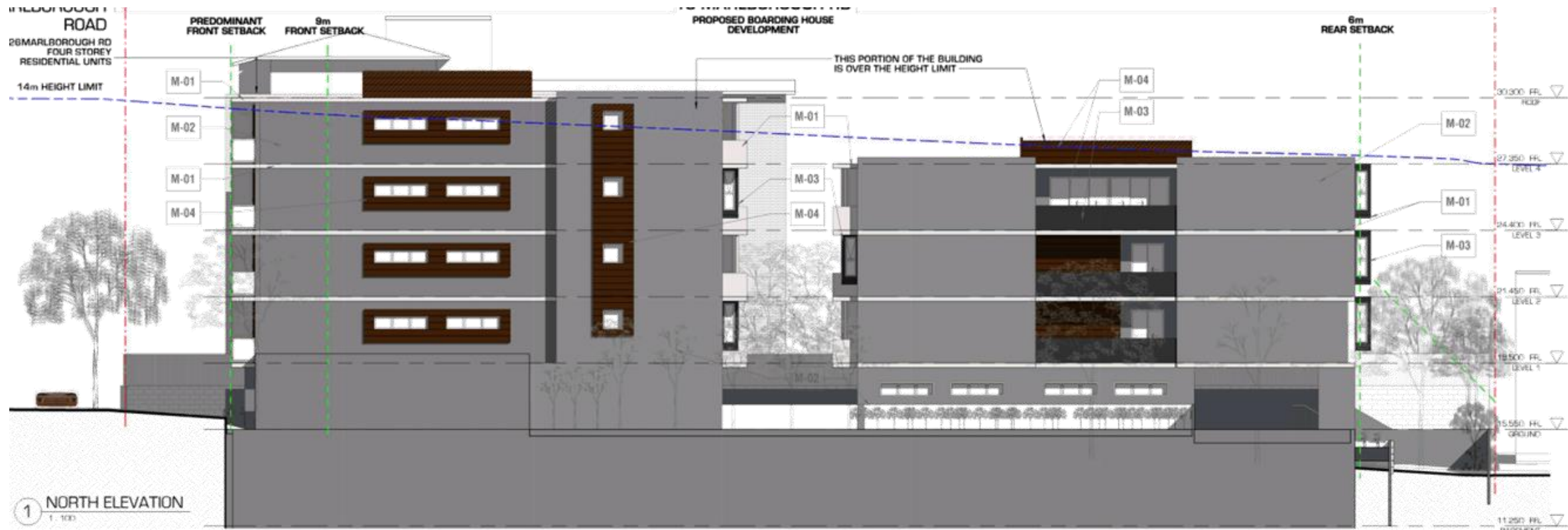
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DEVELOPMENT APPLICATION

Contractor:	Client:	Project: PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title: EAST & WEST ELEVATIONS	Drawn By: DY	Checked By: CB	Project No: 3212
				Date: 27 NOVEMBER 17	Scale: 1:100	Sheet No: A3000
						Revision: E

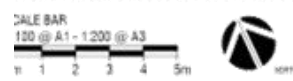


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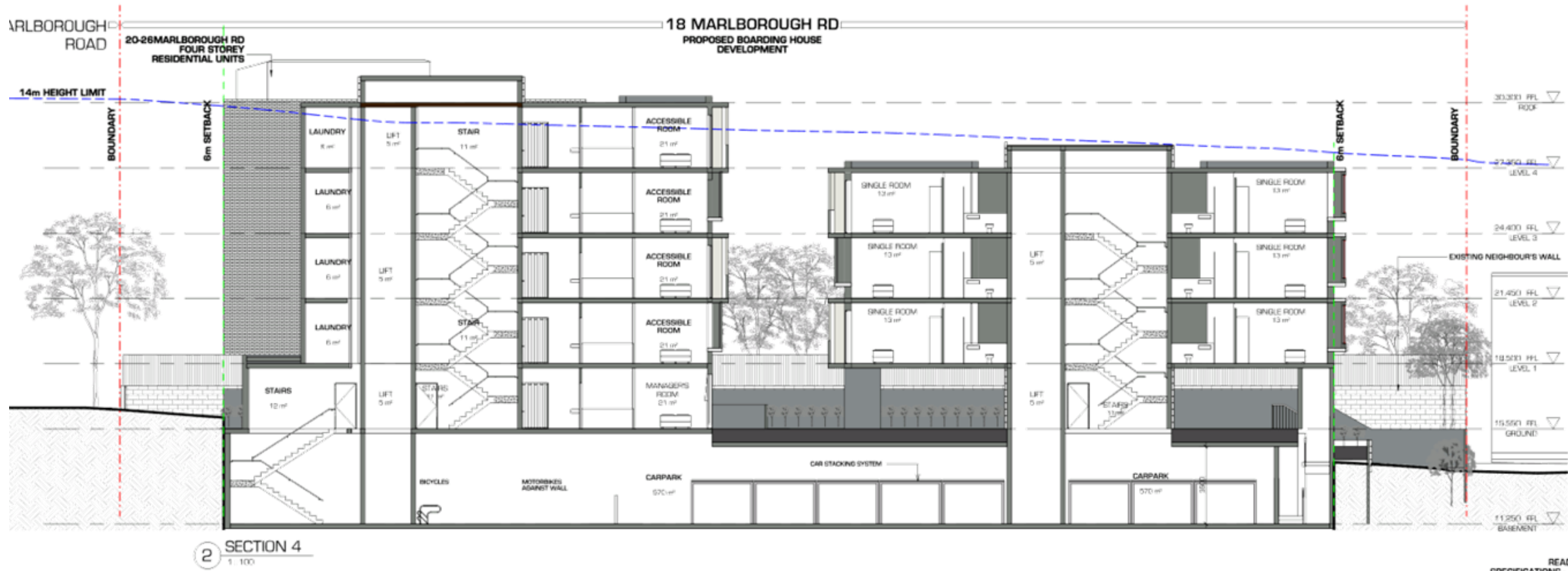
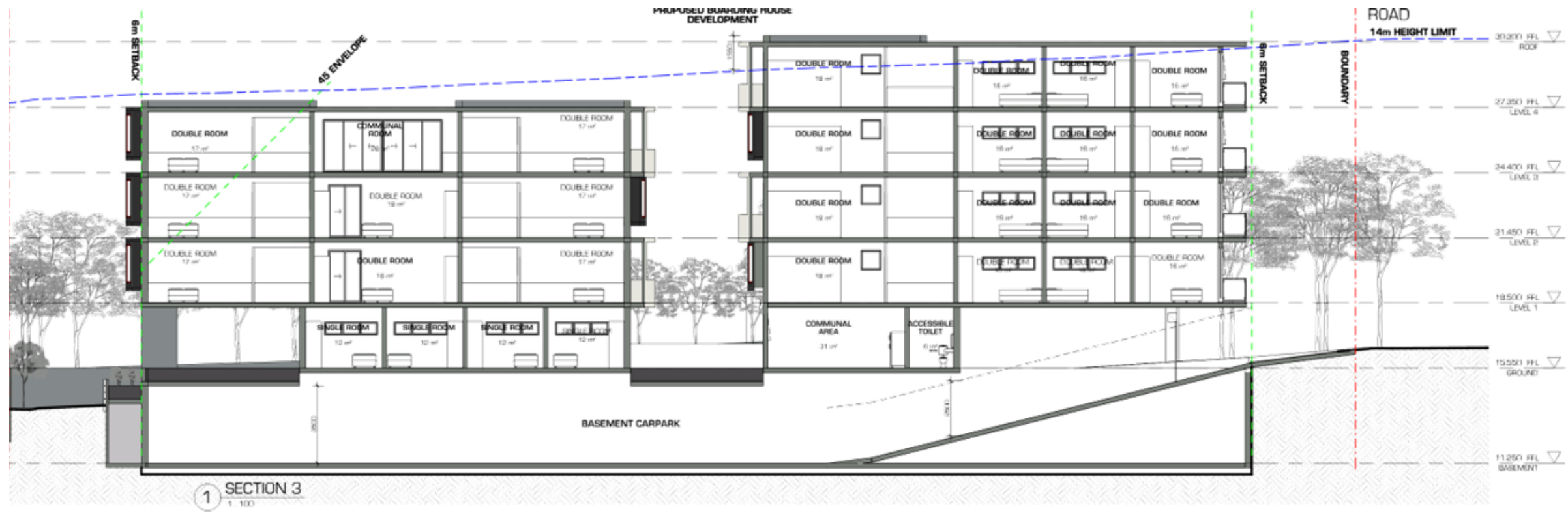
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- EXISTING BUILDING
- TO BE DEMOLISHED
- SITE BOUNDARY
- DCP LIMITS
- SETBACK
- EXISTING HOUSE TO BE DEMOLISHED

NOTE: READ DRAWINGS IN CONJUNCTION WITH SCHEDULES I SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

DEVELOPMENT APPLICATION



LIQUID DESIGN									Drawn By DY	Checked By CB	Project No. 3212
									Date 27 NOVEMBER 17	Sheet No. A3001	Issue E
Project: PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST			Title: NORTH & SOUTH ELEVATIONS			Scale: As indicated					



GENERAL LEGEND

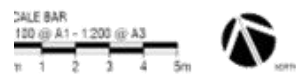
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- EXISTING BUILDING
- TO BE DEMOLISHED
- SITE BOUNDARY
- DCP LIMITS
- SETBACK
- EXISTING HOUSE TO BE DEMOLISH



NOTE:
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SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

DEVELOPMENT APPLICATION

	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	LONG SECTIONS	DY	CB	3212
					Date	Scale	Sheet No.
					27 NOVEMBER 17	As indicated	A4001
					Issue	Revision	D



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Contractor	Client	Project	Title	Drawn By	Checked	Project No.
		PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	PHOTOMONTAGE OF MARLBOROUGH RD	LiquidDesign@me.com		32-12
				Date	Sheet No.	Revision
				27 NOVEMBER 17	A9000	A
				Scale	Issue	Revision

DEVELOPMENT APPLICATION

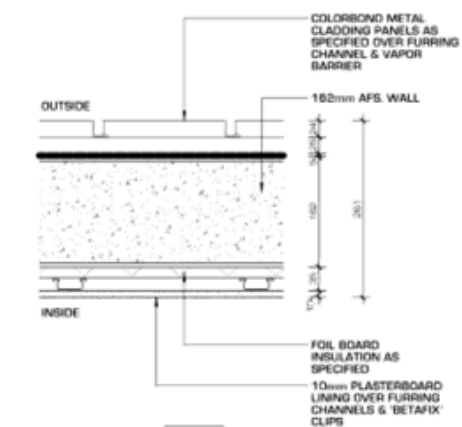
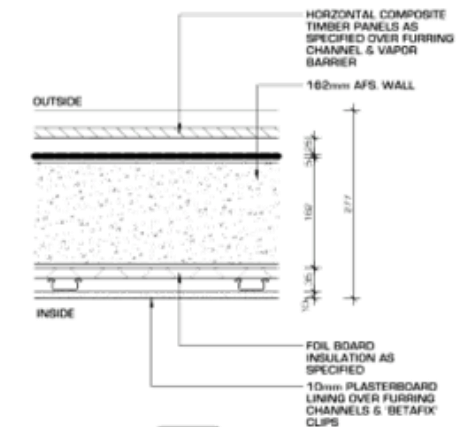
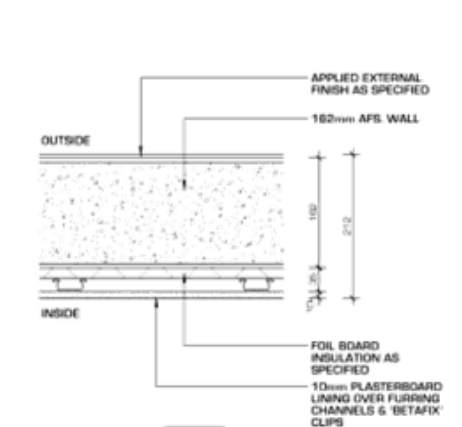
NOTE!
READ DRAWINGS IN CONJUNCTION WITH SCHEDULES &
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DEVELOPMENT APPLICATION

LIQUID DESIGN D <small>Liquid Design Pty Ltd Suite 4/17, 28 Miller Street, Pyrmont, Sydney, NSW, 2009 T +61 2 9555 5295</small>	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	3D VIEWS	DY	CB	3212
					Date	Issue	Revision
							A9001
							D

SCHEDULE OF COLOURS & MATERIALS					
LOCATION	CODE	ITEM	DESCRIPTION	SUPPLIER	IMAGE
BALCONY / SLAB EDGE	M-01	PAINT	PAINT ON AFS WALL COLOUR: WHITSUNDAY ISLAND	DULUX	
WALL	M-02	PAINT	PAINT ON AFS WALL COLOUR: TIMELESS GREY	DULUX	
BAY WINDOW	M-03	METALWORK	COLOUR: MONUMENT	COLORBOND	
WALL	M-04	SUSTAINABLE COMPOSITE TIMBER	COLOUR: SPOTTED GUM FINISH: BRUSHED	INNOWOOD	
FLOOR / BALCONY FLOOR	M-05	PORCELAIN FLOOR TILES	COLOUR: BROOKLYN GRIGG FINISH: GLAZED	BEAUMONT TILES	
BALLRUSTRADE	M-06	STAINLESS STEEL	FINISH: SATIN		



BUILDING FABRIC - INTEGRITY OF THE INSULATION
ANY INSULATION MUST BE INSTALLED SO THAT IT ABUTS OR OVERLAPS ADJOINING INSULATION, FORMS A CONTINUOUS BARRIER WITH CEILINGS, WALLS, BULKHEADS, FLOORS OR THE LIKE, AND DOES NOT AFFECT THE SAFE OR EFFECTIVE OPERATION OF A SERVICE OR FITTING.

BUILDING FABRIC - REFLECTIVE INSULATION
REFLECTIVE INSULATION MUST BE INSTALLED TO ACHIEVE THE REQUIRED R-VALUE BETWEEN A REFLECTIVE SURFACE OF THE REFLECTIVE INSULATION AND A BUILDING LINING OR CLADDING. IT MUST BE CLOSELY FITTED AGAINST ANY PENETRATION, DOOR OR WINDOW OPENING, ADEQUATELY SUPPORTED AND OVERLAPPED, NOT LESS THAN 50MM OR TAPERED TOGETHER.

BUILDING FABRIC - BULK INSULATION
BULK INSULATION MUST BE INSTALLED SO THAT IT MAINTAINS ITS POSITION AND THICKNESS AND IS A CEILING WHERE THERE IS NO BULK OR REFLECTIVE INSULATION IN THE WALL BENEATH IT OVERLAPS THE WALL BY NOT LESS THAN 50MM.

CEILINGS
PROVIDE A MINIMUM R2.55 INSULATION TO THE FOLLOWING CEILINGS:
A. REAR PORTION OF ROOM 8 CEILING ON THE GROUND FLOOR OF THE REAR BUILDING THAT IS NOT BELOW A CONDITIONED AREA.
B. ALL OF THE CEILING TO LEVEL 3 REAR BUILDING AND LEVEL 4 FRONT BUILDING.

EXTERNAL WALLS
PROVIDE INSULATION OF MINIMUM R1.77 TO ALL EXTERNAL CONCRETE PANEL OR AFS WALLS TO THE CONDITIONED AREAS.

INTERNAL WALLS
PROVIDE INSULATION OF MINIMUM R1.19 TO ALL INTERNAL CONCRETE WALLS SEPARATING THE CONDITIONED AREAS FROM THE NON-CONDITIONED AREAS.

FLOORS
PROVIDE INSULATION OF MINIMUM R1.25 TO THE FOLLOWING FLOORS:
A. ALL OF THE CONDITIONED AREAS ON THE GROUND FLOOR OF BOTH BUILDINGS ABOVE THE CARPARK.
B. THOSE PARTS OF FLOORS TO ROOMS 14, 15 & 16 ON LEVEL 1 (FRONT BUILDING) ABOVE THE DRIVEWAY.

GLAZING
PROVIDE GLAZING TO ALL WINDOWS AND GLASS DOORS OF THE CONDITIONED AREAS THAT HAVE THE U-VALUE AND SHGC VALUES AS NOMINATED IN SECTION J REPORT AND WINDOW SCHEDULE AS4001 & AS4041.

OPENABLE WINDOWS & DOORS
PROVIDE SEALS TO ANY OPENABLE WINDOWS AND DOORS WITHIN THE CONDITIONED AREAS AS MENTIONED IN B.1.3 OF SECTION J REPORT.

ENTRY DOOR
THE MAIN ENTRY DOOR TO THE GROUND FLOOR LOBBY SHALL BE A SELF-CLOSING DOOR WITH A DRAFT PROTECTION DEVICE ATTACHED TO THE UNDERSIDE OF THE DOOR.

EXHAUST FANS
ANY MISCELLANEOUS EXHAUST FAN SUCH AS A BATHROOM EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF-CLOSING DAMPER OR THE LIKE WHEN SERVING A CONDITIONED AREA.

EVAPORATIVE COOLER
ANY EVAPORATIVE COOLER MUST BE FITTED WITH A SELF-CLOSING DAMPER OR THE LIKE WHEN SERVING A HEATED SPACE OR AN HABITABLE ROOM OR A PUBLIC AREA OF THE CONDITIONED AREAS.

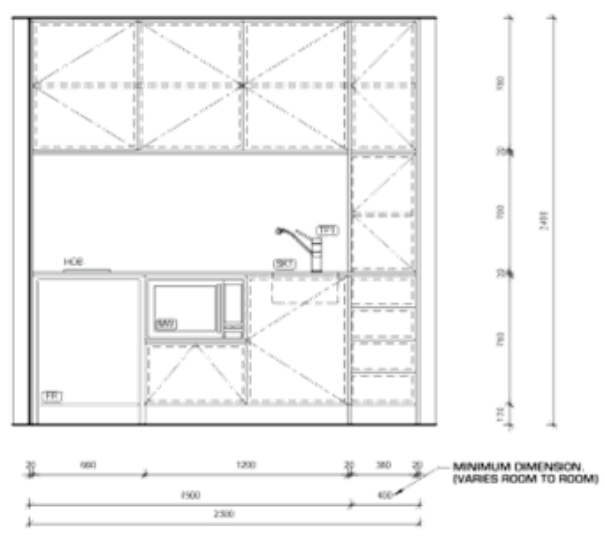
INTERNAL LININGS
ALL INTERNAL LINING TO THE CONDITIONED AREAS SHALL BE CLOSE FITTING AT THE JUNCTION OF CEILING WALL AND FLOORS OR SEALED BY CAULKING SKirting, ARCHITRAVES CORNICES OR THE LIKE.

MECHANICAL VENTILATION / AIR CONDITIONING
ANY AIR CONDITIONING OR MECHANICAL VENTILATION SYSTEM TO THE CONDITIONED AREAS MUST COMPLY WITH THE REQUIREMENTS OUTLINED IN HEADING 10.D OF SECTION J REPORT.

LIGHTING AND POWER
LIGHTING AND POWER TO THE BUILDING SHALL COMPLY WITH THE REQUIREMENTS OUTLINED IN HEADING 11 AND ANNEXURE 2 OF SECTION J REPORT.

HEATED WATER SUPPLY
ANY HEATED WATER SUPPLY FOR FOOD PREPARATION AND SANITARY PURPOSES MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART 182 OF NZCC VOLUME 3 - PLUMBING CODE OF AUSTRALIA.

GAS AND ELECTRICITY
THE BUILDING MUST HAVE THE FACILITY TO RECORD THE CONSUMPTION OF GAS AND ELECTRICITY.



1. ALL MATERIALS ARE TO BE APPROVED BY THE ARCHITECT PRIOR TO ORDERING
2. ANY SUBSTITUTIONS ARE TO BE APPROVED BY THE ARCHITECT
3. CONTRACTOR IS TO CONFIRM ALL LEAD TIMES PRIOR TO ORDERING
4. AGREED CONTROL SAMPLES ARE TO IN THE SITE OFFICE
5. ALL MATERIALS ARE TO BE APPLIED OR INSTALLED IN ACCORDANCE WITH APPROPRIATE AUSTRALIAN STANDARD
6. ALL MATERIALS ARE TO BE INSTALLED TO THE MANUFACTURERS REQUIREMENTS
7. THE CONTRACTOR SHALL PROVIDE MAINTENANCE MANUALS UPON PRACTICAL COMPLETION
8. THE CONTRACTOR SHALL HOLD AND PASS ON DOCUMENTED EVIDENCE OF ALL WARRANTIES TO THE ESTABLISHED BODY CORPORATE OR THE SITE OWNER ON PRACTICAL COMPLETION

ACOUSTIC NOTES:
ALL WINDOWS & SLIDING DOORS IN BOARDING ROOMS 2,16,30,44 & 56 ARE TO BE DOUBLE GLAZED SYSTEM THAT IS 8mm LAMINATED WITH 50mm AIR GAP THEN 8mm LAMINATED WITH FULL PERIMETER SCHLEGEL G-LON ACOUSTIC SEALS (1) OR 6mm LAMINATED SECONDARY WINDOW / SLIDER FOLLOWED BY A MIN 5mm WINDOW AT 50MM GAP OR ANY OTHER WINDOW SYSTEM THAT ACHIEVES AN RW OF 39-41.

WINDOWS & SLIDING DOORS IN BOARDING ROOMS 15,28,43 & 55 ARE TO BE 10mm LAMINATED TYPE WITH FULL PERIMETER SCHLEGEL G-LON ACOUSTIC SEALS (1) AND ACHIEVE AN RW RATING OF 33-38.

WINDOWS & SLIDING DOORS IN COMMUNAL ROOM & ALL OTHER BOARDING ROOMS ARE TO BE 8mm LAMINATED TYPE WITH FULL PERIMETER SCHLEGEL G-LON ACOUSTIC SEALS (1) AND ACHIEVE AN RW RATING OF 30-35.

WINDOWS & SLIDERS IN OTHER AREAS OF BOARDING HOUSE (BATHROOMS/LAUNDRIES, STAIRWELLS, HALLWAY ETC) ARE UNRESTRICTED AND TO BE IN ACCORDANCE WITH AS6047 (WINDOWS IN BUILDINGS). (1)

EXTERNAL DOORS ARE TO BE SOLID CORE WITH ACOUSTIC SEALS FITTED AROUND THE DOOR. A DROP SEAL IS REQUIRED AT THE BASE OF THE EXTERNAL DOOR WITH A RW RATING OF 30-33 TO BE ACHIEVED.

EXTERNAL WALLS ARE TO BE DOUBLE SKIN CAVITY BRICK WALLS MINIMUM 270 / 250mm DOUBLE BRICK / BRICK VENEER CONSTRUCTION OR ANY OTHER METHOD OF WALL CONSTRUCTION WITH AN RW OF 44.

ROOF IS TO BE MINIMUM 150mm CONCRETE AND / OR GALVANNEED STEEL THROUGH ROOFING (15mm) ON 10mm PLASTERBOARD CEILING & 75mm, 11kg/m³ MINERAL WOOL BATTES BETWEEN CEILING JOISTS (1) WITH A RW RATING OF 40-44 TO BE ACHIEVED.

(1) NO WEEP HOLES IN WINDOWS / SLIDERS. ALL GAPS BETWEEN WINDOW / DOOR FRAMES AND THE MASONRY WALLS ARE TO BE SEALED USING ACOUSTIC FOAM MILT OPS20 OR SIMILAR. GLASS WOOL BATTES CAN BE APPLIED PRIOR TO THE APPLICATION OF THE FOAM TO SEAL LARGER GAPS.
(2) ALL GAPS ARE TO BE ACOUSTICALLY SEALED.

IN GENERAL, ALL NEW EXTERNAL AIR CONDITIONING UNITS ARE TO BE ACOUSTICALLY ENCLOSED OR SET AWAY BY MORE THAN 3.0M FROM ANY BOUNDARY.

CAR PARK SUPPLY AIR (IF APPLICABLE) INSTALL A SILENCER MIN 20 (E29 / 90) OR EQUIVALENT

CAR PARK EXHAUST FAN (IF APPLICABLE) PROVIDE SILENCER BEFORE AND AFTER FAN. SILENCER MIN 20 (E29 / 90) OR EQUIVALENT. LAGGED DUCT WITH MIN 38mm 32KG/m³ ACOUSTIC INSULATION A MINIMUM 10 METRES INTO THE CAR PARK.

ALL SILENCERS SHOULD BE PLACED 1 TO 2 DUCT DIAMETER DISTANCE AWAY FROM THE FAN.

SOUND BARRIER FENCE: 1.8 METRE GAP FREE FENCE IS INSTALLED ON THE GROUND FLOOR BOUNDARIES ADJACENT TO THE NEAREST RECEIVERS AT 16 & 20/25 MARLBOROUGH ROAD AND THE REAR OF THE SITE ADJACENT TO NO. 30/32 COLLEGE AVE, HOME BUSH WEST. THE FENCE CAN BE OF LAPPED & CHAPPED TIMBER, COLORBOND STEEL C MASONRY CONSTRUCTION.

SUPERVISION: MANAGEMENT IS TO ENSURE THAT LODGERS ARE SUPERVISED AT ALL TIMES AND HOUSE RULES ARE FOLLOWED. TO MINIMIZE NOISE GENERATED BY RESIDENCES OF THE BOARDING HOUSE. IN ACCORDANCE WITH A P/L OF MANAGEMENT. NO LARGE SOCIAL GATHERINGS ARE TO OCCUR AND NO MUSIC IS TO BE PLAYED IN OUTDOOR COMMON AREAS. IT IS RECOMMENDED THAT WHEN TV OR MUSIC IS PLAYED IN BOARDING ROOMS OR COMMUNAL ROOM, MANAGEMENT IS TO ENCOURAGE LODGERS TO HAVE THEIR WINDOWS AND DOORS CLOSED.

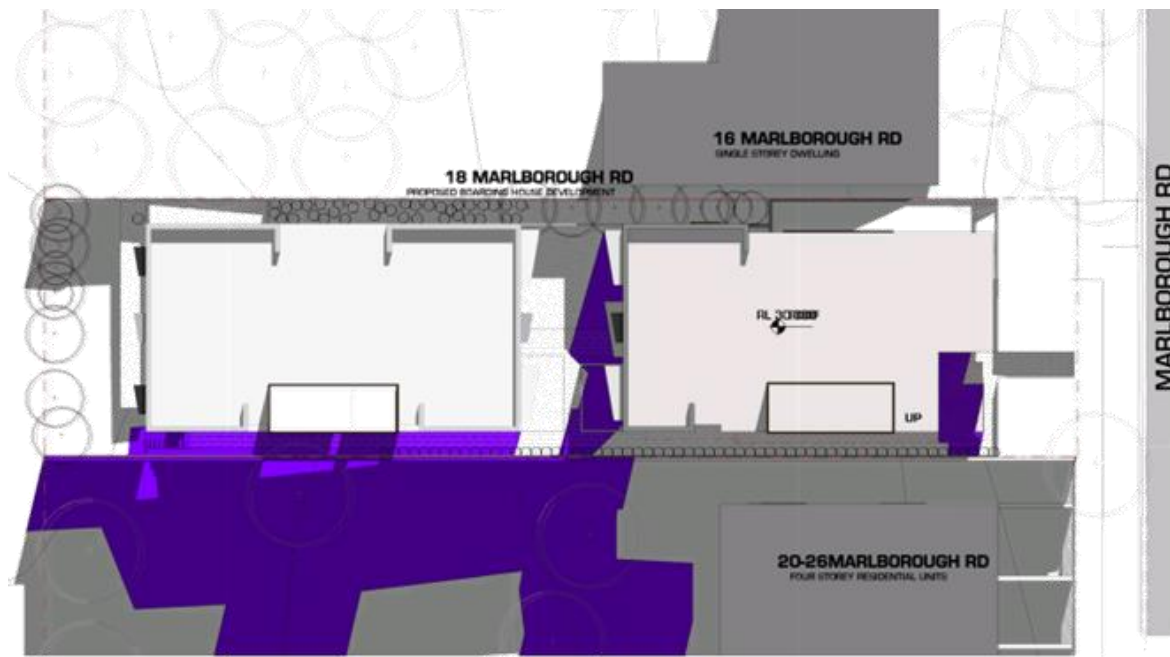
SIGNS: SIGNS REMAINING RESIDENTS OF THE NEARBY RESIDENTIAL RECEIVERS AND TO MINIMIZE NOISE AT ALL TIMES SHALL BE INSTALLED AT ENTRY AND HALLWAYS OF THE BOARDING HOUSE. THE COMMUNAL ROOM AND COMMUNAL TERRACE TO ENSURE THAT ALL MUSIC AND SOUNDS ARE RESTRICTED WITHIN THE PROPERTY AND NOT TRANSMITTED INTO ADJOINING RESIDENCES.

NOISE MANAGEMENT PLAN: INSTALL A CONTACT NUMBER AT THE FRONT OF THE BOARDING HOUSE SO THAT COMPLAINTS REGARDING THE STATION OPERATION CAN BE MADE. IMPLEMENT A COMPLAINT HANDLING PROCEDURE. IF A NOISE COMPLAINT IS RECEIVED THE COMPLAINT SHOULD BE RECORDED ON A COMPLAINT FORM, CONTAINING THE FOLLOWING:
- NAME AND ADDRESS OF THE COMPLAINANT
- TIME AND DATE THE COMPLAINT WAS RECEIVED
- THE NATURE OF THE COMPLAINT AND THE TIME / DATE THE NOISE WAS HEARD
- THE NAME OF THE EMPLOYEE THAT RECEIVED THE COMPLAINT
- ACTIONS TAKEN TO INVESTIGATE THE COMPLAINT AND THE SUMMARY OF THE RESULTS OF THE INVESTIGATION
- INDICATION OF WHAT WAS OCCURRING AT THE TIME THE NOISE WAS HAPPENING (IF APPLICABLE)
- REQUIRED REMEDIAL ACTION (IF APPLICABLE)
- VALIDATION OF THE REMEDIAL ACTION
- SUMMARY OF FEEDBACK TO THE COMPLAINANT
ALSO A PERMANENT REGISTER OF COMPLAINTS SHOULD BE HELD ON THE PREMISES, WHICH SHALL BE REVIEWED MONTHLY BY STAFF TO ENSURE ALL COMPLAINTS ARE BEING RESPONDED TO. ALL COMPLAINTS REGISTERED SHALL BE REPORTED TO MANAGEMENT WITH INITIAL ACTION INVESTIGATION COMMENCING WITHIN 7 DAYS. THE COMPLAINT SHOULD ALSO BE NOTIFIED OF THE RESULTS AND ACTIONS ARISING FROM THE INVESTIGATION.

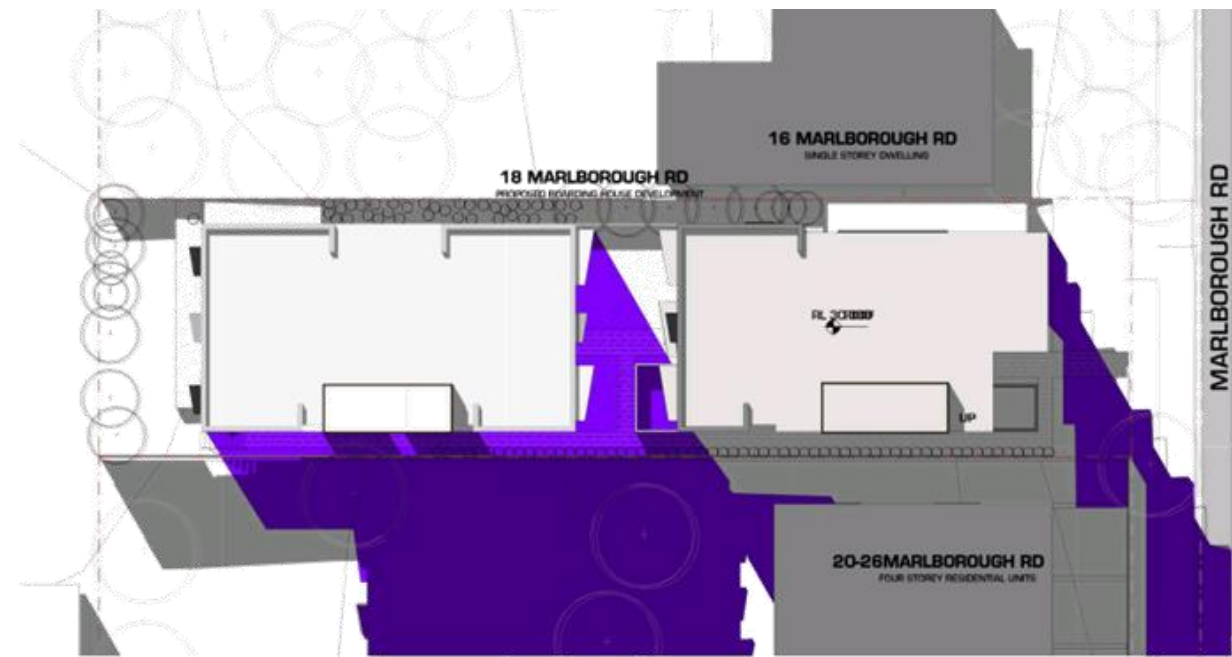


DEVELOPMENT APPLICATION

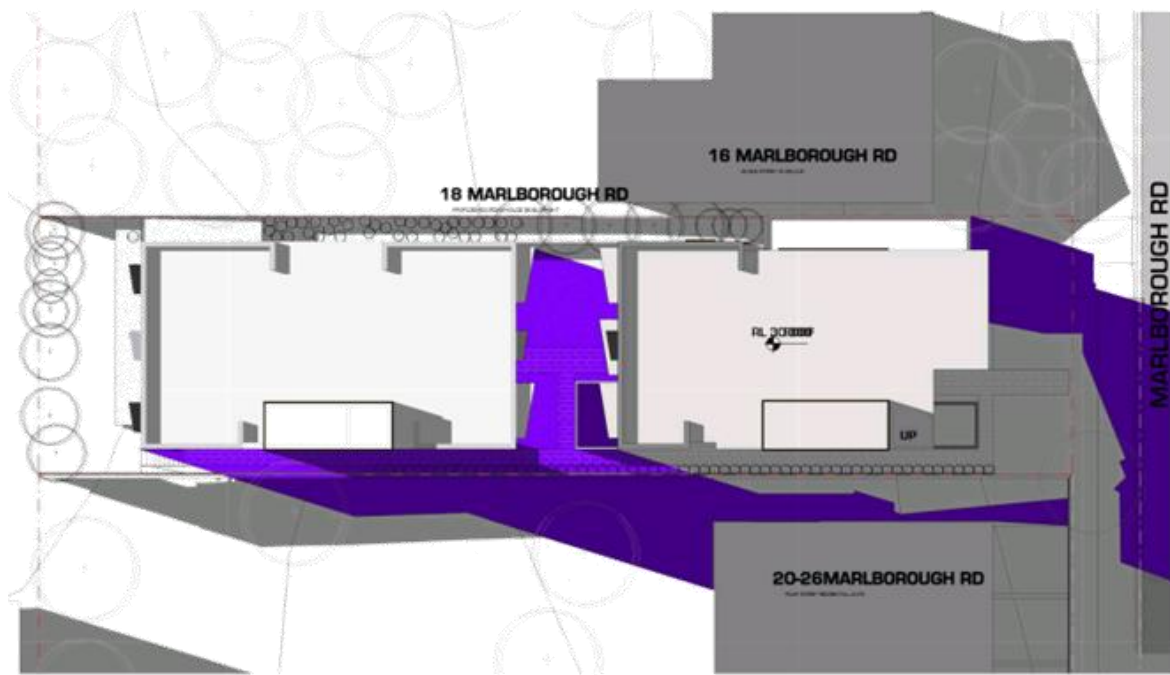
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		PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	FINISHES, NOTES AND DETAILS	27 NOVEMBER 17		3212
				Scale	Issue	Sheet No.
				As indicated		A9100
						Revision
						C



1 SHADOW STUDY 9AM
1:200



2 SHADOW STUDY 12PM
1:200



3 SHADOW STUDY 3PM
1:200



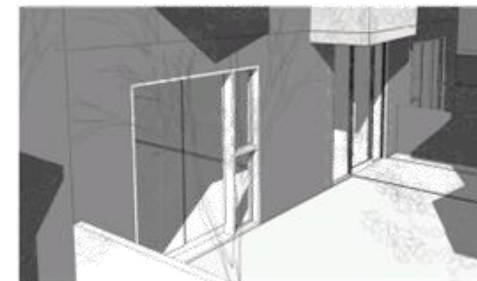
4 SOLAR ACCESS 9AM
LEVEL 3 COMMUNAL ROOM



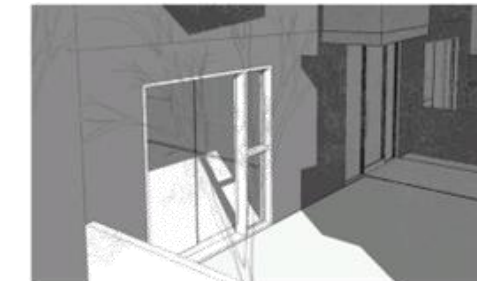
5 SOLAR ACCESS 1030AM
LEVEL 3 COMMUNAL ROOM



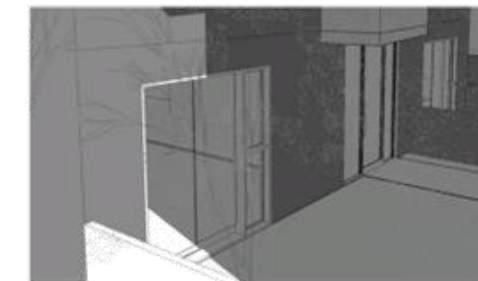
6 SOLAR ACCESS 12PM
LEVEL 3 COMMUNAL ROOM



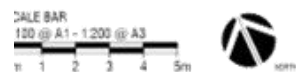
7 SOLAR ACCESS 1200PM
GROUND FLOOR COMMUNAL ROOM



8 SOLAR ACCESS 0130PM
GROUND FLOOR COMMUNAL ROOM



9 SOLAR ACCESS 3PM
GROUND FLOOR COMMUNAL ROOM



NOTE!
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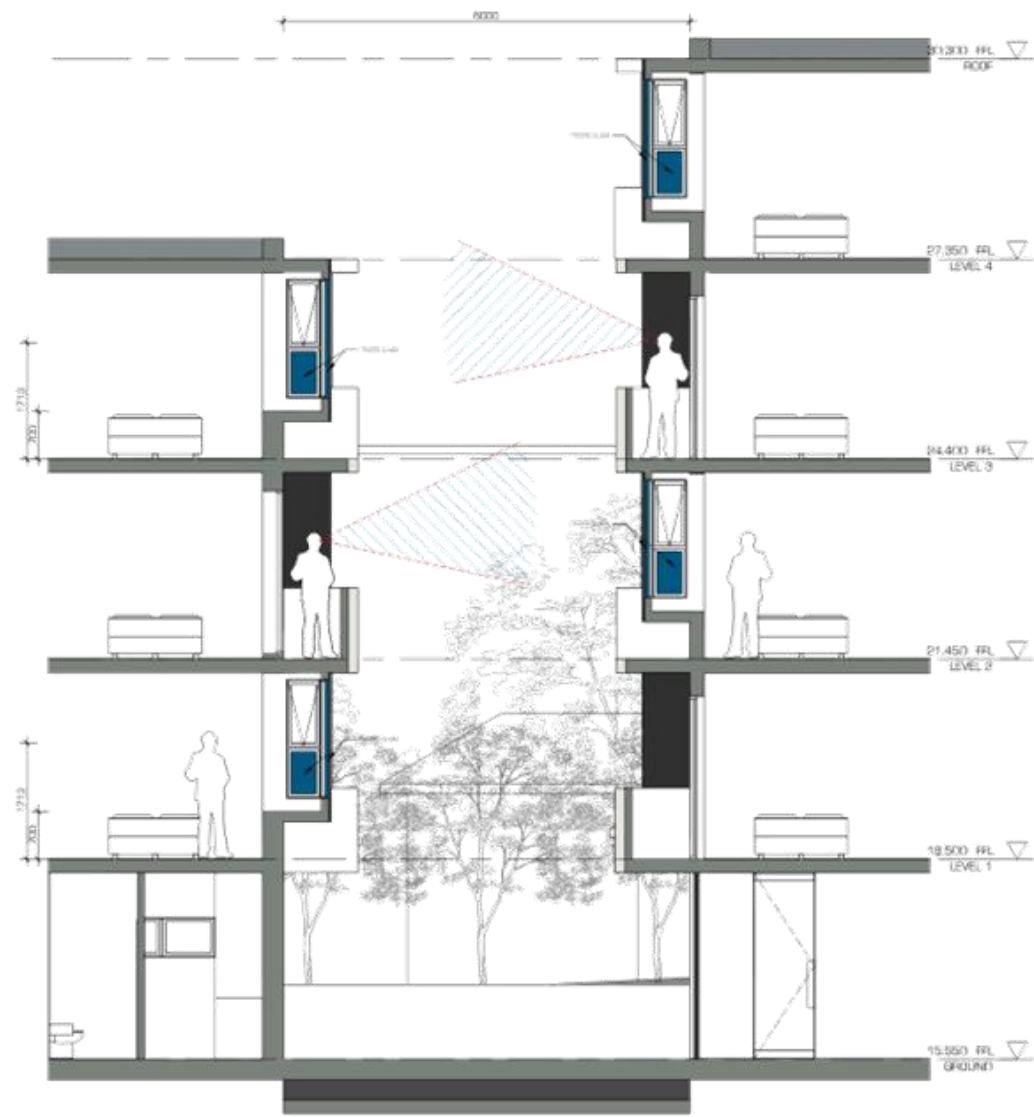
DEVELOPMENT APPLICATION

LIQUID DESIGN	Contractor:	Client:	Project:	Title:	Drawn By:	Checked By:	Project No:
	Liquid Design Pty Ltd Suite 4/17, 45 Miller Street Pyrmont, Sydney, NSW, 2009 T: +61 2 9851 5191			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	SHADOWS & SOLAR ACCESS	DY	CB
					Date:	Sheet No.:	Revision:
					27 NOVEMBER 17	A9200	C
					Scale:	Issue:	
					1:200		

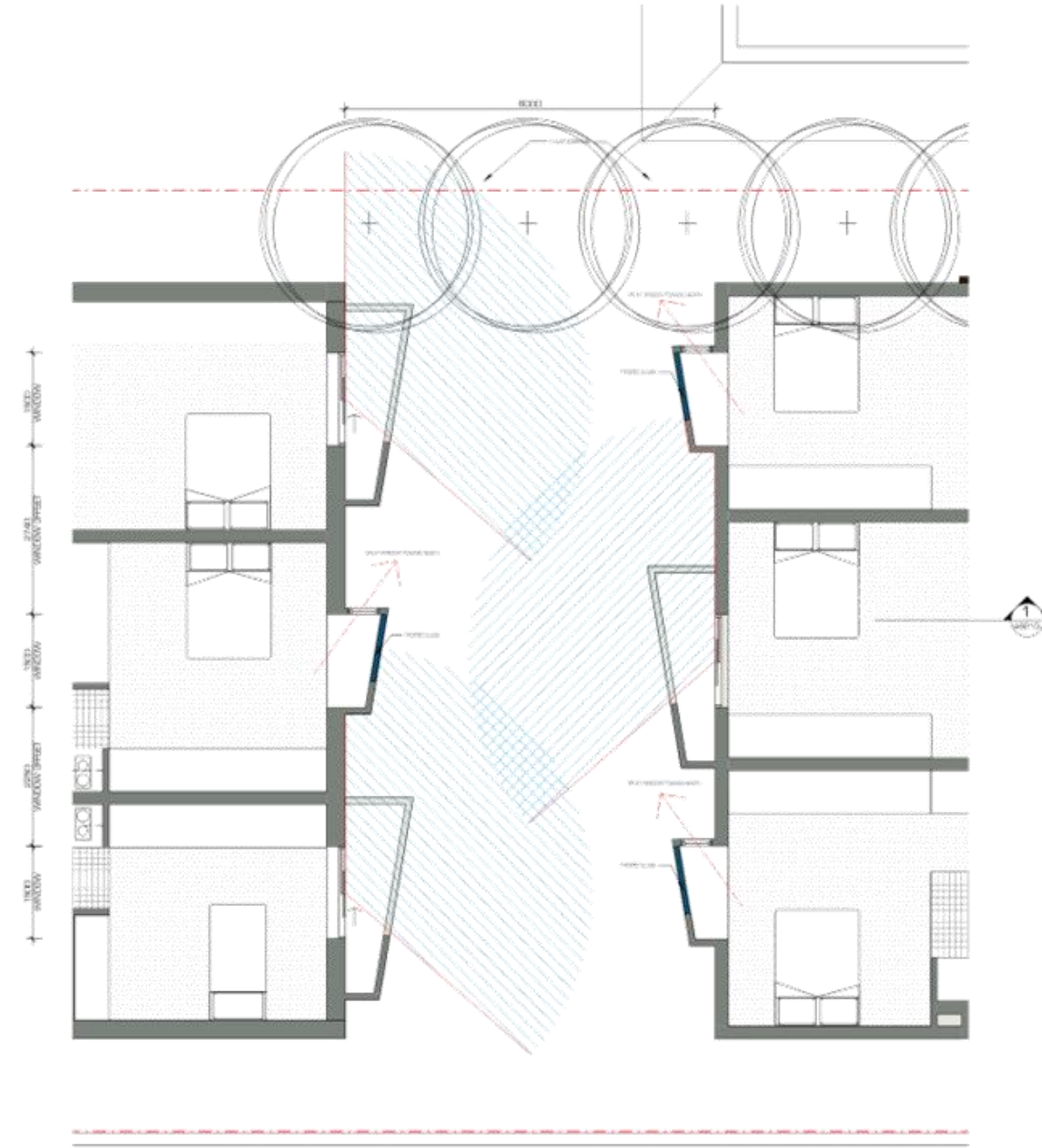
OUR OBJECTIVE OF THIS STUDY IS TO ENSURE THE SETING AND DESIGN OF BUILDINGS PROVIDES VISUAL PRIVACY FOR RESIDENTS AND THEIR NEIGHBOURS IN THEIR DWELLINGS AND OPEN SPACE AREAS. (TOP PART C, 2 B)

AS WINDOWS ARE LESS THAN 5m APART FROM ADJOINING DWELLINGS WE HAVE APPLIED TECHNIQUES SUCH AS BAY WINDOWS, SCREENING AND OFFSET WINDOWS TO RESPECT THE VISUAL PRIVACY RESIDENTS AND THEIR NEIGHBOURS.

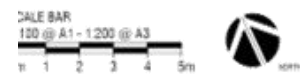
1. ALL BAY WINDOWS HAVE BEEN SPLAVED TOWARDS NORTH TO MAXIMISE SOLAR ACCESS AND TILT ORIENTATION AWAY FROM OPPOSITE DWELLINGS.
2. FROSTED GLASS HAS BEEN APPLIED AT BAY WINDOW GLAZING FACING OPPOSITE DWELLINGS TO INCREASE VISUAL PRIVACY AND SOLAR ACCESS. SILL HEIGHT OF OPENABLE WINDOWS AT LEAST 1700mm ABOVE FLOOR LEVEL. ANYTHING BELOW 1700mm ARE FROSTED GLASS.
3. PLANTER SCREENING HAS BEEN APPLIED ALONG THE NORTHERN BOUNDARY TO ASSIST PRIVACY BUFFER OF NEIGHBOURS ON THE NORTH AS ALL BALCONES AND BAY WINDOWS ARE SPLAVED TOWARDS NORTH.
4. WINDOWS ARE OFFSET FROM ADJOINING DWELLINGS WILL OVER 0.5m TO ENCOURAGE VISUAL PRIVACY BETWEEN ADJACENT AND ADJOINING DWELLINGS. BALCONES AND BAY WINDOWS ALTERNATE SO THAT NO TWO BALCONES EVER LOOK INTO ONE ANOTHER.



1 SECTION DIAGRAM
1:50



2 PLAN DIAGRAM
1:50



LIQUID
DESIGN

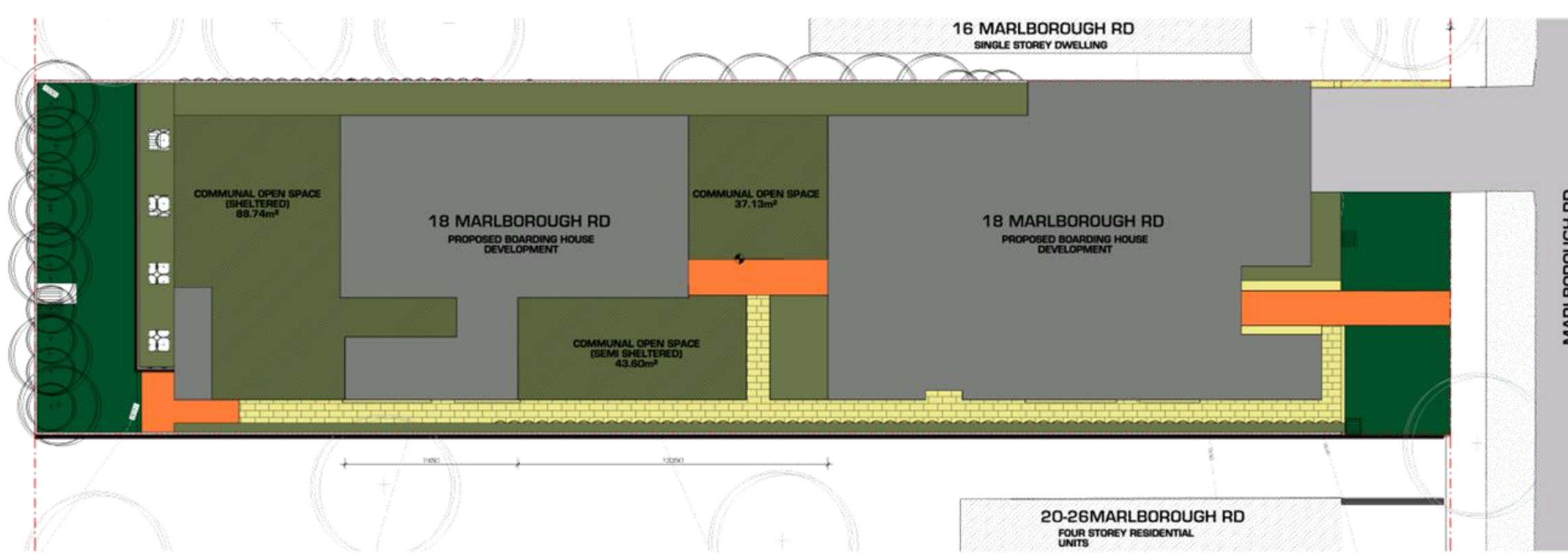
Liquid Design Pty Ltd
200/6, 17, 20 Miller Street, Pyrmont, Sydney, NSW, 2009
T: +61 2 9551 5295

Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
		PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	PRIVACY STUDY	DY	CB	3212
				Date	Sheet No.	
				27 NOVEMBER 17	A9210	
				Scale	Issue	Revision
				1:50		C

NOTE!
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DEVELOPMENT APPLICATION

AS THERE IS NO 'BOARDING HOUSE' DEVELOPMENT AS DESCRIBED IN DCP PART C 2.7, A MAXIMUM LANDSCAPE AIR PERMEABILITY OF 50% (RESIDENTIAL DPT) IS ASSUMED. THE FOLLOWING TABLE INDICATES THE PROPOSED DEVELOPMENT IS BELOW THE 50% REQUIREMENT. AT 47.38% LANDSCAPED AREA AT GROUND LEVEL, HOWEVER, THE DESIGN INTENT IS ALIGNED WITH THE OBJECTIVES AS LISTED IN DCP PART C 2.7. THREE COMMUNAL OPEN SPACES ARE PROVIDED ON GROUND FLOOR, BOTH SHELTERED AND OPEN TO ENCOURAGE VARIOUS GROUP BATHING AND ACTIVITIES AMONGST RESIDENTS AND TO PROVIDE ADEQUATE OPEN SPACE FOR THE RECREATION NEEDS OF RESIDENTS. (DCP PART C 2.7). THESE OPEN SPACES ARE READILY ACCESSIBLE AND DIRECTLY ADJACENT TO THE COMMUNAL AREA AND LOBBIES, SO THEY RELATE WELL TO THE LIVING AREAS OF DWELLINGS. (DCP PART C 2.7)



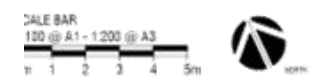
AREAS:

EXISTING BUILDING	95.10m ²
EXISTING SHED	12.78m ²
TOTAL EXISTING GFA	107.88m ²
EXISTING FSR	0.12
PROPOSED BASEMENT	9.36m ²
PROPOSED GROUND FLOOR	264.14m ²
PROPOSED FIRST FLOOR	420.10m ²
PROPOSED SECOND FLOOR	420.10m ²
PROPOSED THIRD FLOOR	420.10m ²
PROPOSED FOURTH FLOOR	201.21m ²
TOTAL PROPOSED GFA	1735.01m ²
SITE AREA	929m ²
ALLOWABLE FSR	1.50
SEPP (AFFORDABLE RENTAL HOUSING 2008) DIV. 3, 2B - 1C	-0.50
TOTAL ALLOWABLE FSR	2.00
PROPOSED FSR	1.87

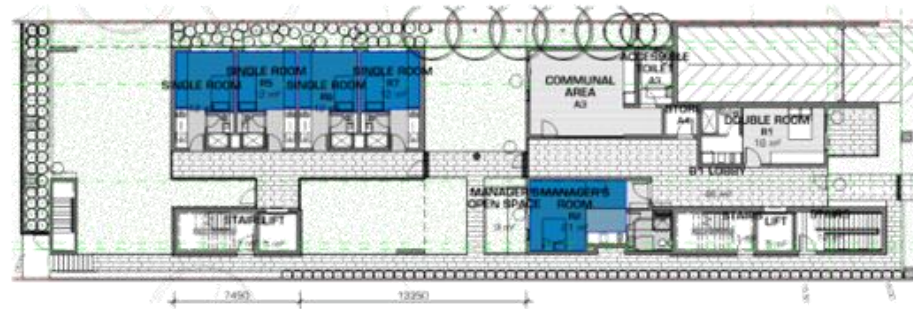
LANDSCAPING:

SITE AREA	929m ²
PERMEABLE LANDSCAPE	61.00m ²
SOFT LANDSCAPE	274.20m ²
DEEP SOIL LANDSCAPE	104.94m ²
TOTAL LANDSCAPE PROVIDED	440.14m ²
(% OF SITE AREA)	47.38%
TOTAL LANDSCAPE REQUIRED	464.5m ²
(% OF SITE AREA)	50.0%
UNPAVED LANDSCAPE PROVIDED	378.14m ²
(% OF LANDSCAPED AREA)	81.60%
UNPAVED LANDSCAPE REQUIRED	278.7m ²
(% OF LANDSCAPED AREA)	60%
DEEP SOIL PROVIDED	104.94m ²
(% OF REQUIRED LANDSCAPED AREA)	22.59%
DEEP SOIL REQUIRED	162.58m ²
(% OF REQUIRED LANDSCAPED AREA)	35%
COMMUNAL OPEN SPACE PROVIDED	168.47m ²
COMMUNAL OPEN SPACE REQUIRED	100m ²

NOTE: READ DRAWINGS IN CONJUNCTION WITH SCHEDULES & SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VARIFIED ON SITE
DEVELOPMENT APPLICATION



LIQUID DESIGN Liquid Design Pty Ltd Suite 117, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T +61 2 9551 5191	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	FSR & LANDSCAPING AREAS	DY	CB	3212
					Date	Sheet No.	
					27 NOVEMBER 17	A9300	
					Scale	Issue	Revision
					As indicated		C



1 GROUND - ROOM
1:200



2 LEVEL 1 - ROOM
1:200



3 LEVEL 2 - ROOM
1:200



4 LEVEL 3 - ROOM
1:200



5 LEVEL 4 - ROOM
1:200

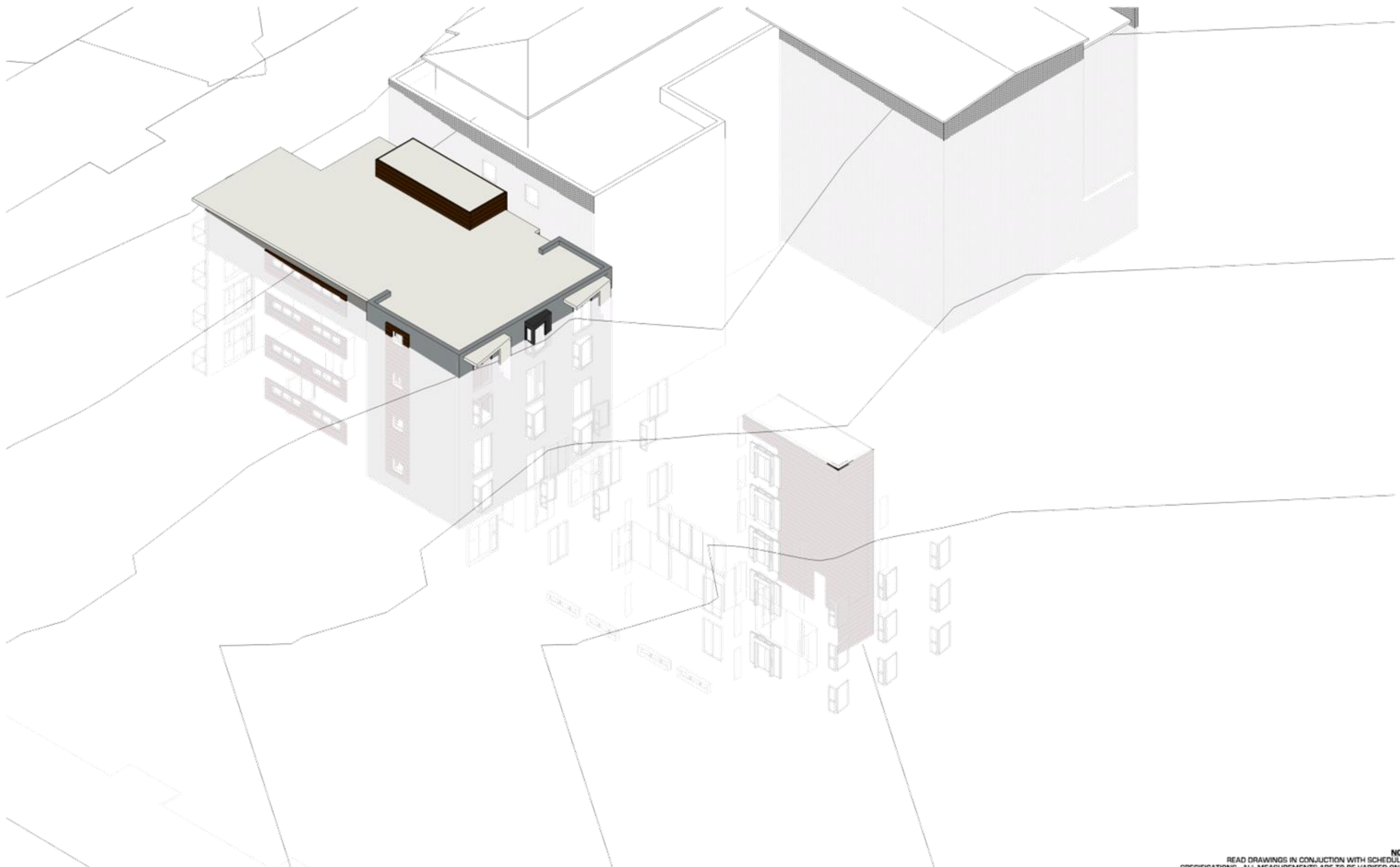
Name	Number	Area
ACCESSIBLE ROOM	R10	21 m
ACCESSIBLE ROOM	R23	21 m
ACCESSIBLE ROOM	R36	21 m
ACCESSIBLE ROOM	R48	21 m
4		
DOUBLE ROOM	R1	18 m
DOUBLE ROOM	R11	18 m
DOUBLE ROOM	R12	18 m
DOUBLE ROOM	R13	18 m
DOUBLE ROOM	R14	16 m
DOUBLE ROOM	R15	16 m
DOUBLE ROOM	R18	16 m
DOUBLE ROOM	R19	17 m
DOUBLE ROOM	R20	18 m
DOUBLE ROOM	R21	17 m
DOUBLE ROOM	R22	16 m
DOUBLE ROOM	R24	18 m
DOUBLE ROOM	R25	18 m
DOUBLE ROOM	R26	16 m
DOUBLE ROOM	R27	16 m
DOUBLE ROOM	R28	16 m
DOUBLE ROOM	R31	16 m
DOUBLE ROOM	R32	17 m
DOUBLE ROOM	R33	18 m
DOUBLE ROOM	R34	17 m
DOUBLE ROOM	R35	16 m
DOUBLE ROOM	R37	18 m
DOUBLE ROOM	R38	18 m
DOUBLE ROOM	R39	16 m
DOUBLE ROOM	R40	16 m
DOUBLE ROOM	R41	16 m
DOUBLE ROOM	R44	16 m
DOUBLE ROOM	R45	16 m
DOUBLE ROOM	R46	17 m
DOUBLE ROOM	R47	17 m
DOUBLE ROOM	R48	18 m
DOUBLE ROOM	R50	18 m
DOUBLE ROOM	R51	16 m
DOUBLE ROOM	R52	16 m
DOUBLE ROOM	R53	16 m
35		
MANAGER'S ROOM	R2	21 m
1		
SINGLE ROOM	R4	12 m
SINGLE ROOM	R5	12 m
SINGLE ROOM	R6	12 m
SINGLE ROOM	R7	12 m
SINGLE ROOM	R16	13 m
SINGLE ROOM	R17	13 m
SINGLE ROOM	R29	13 m
SINGLE ROOM	R30	13 m
SINGLE ROOM	R42	13 m
SINGLE ROOM	R43	13 m
10		
Grand total	50	



NOTE:
READ DRAWINGS IN CONJUNCTION WITH SCHEDULES & SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VARIFIED ON SITE

DEVELOPMENT APPLICATION

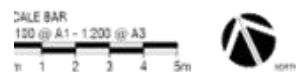
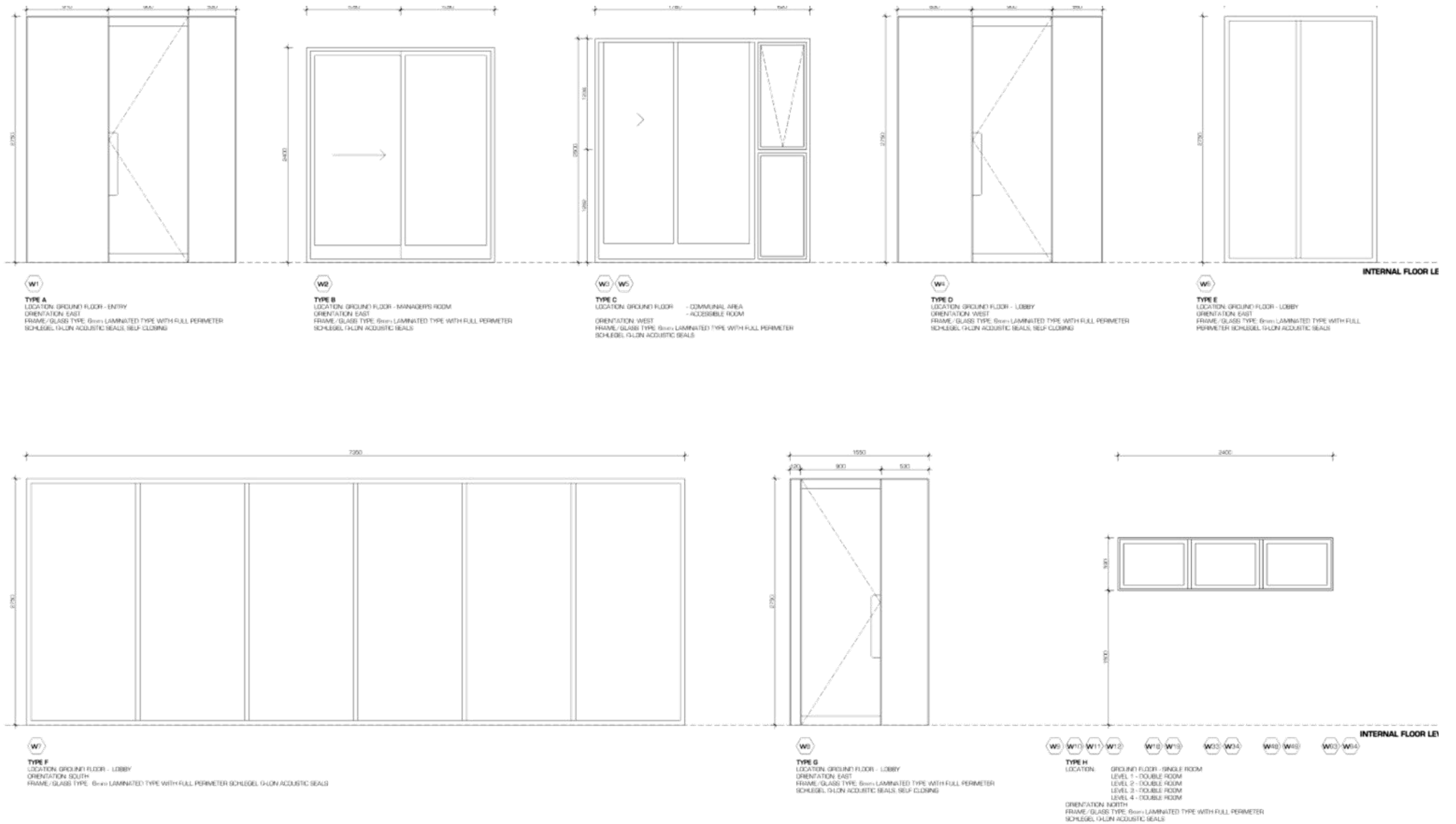
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					Date: 27 NOVEMBER 17	Sheet No: A9310	
					Scale: 1:200	Issue: _____ Revision: C	



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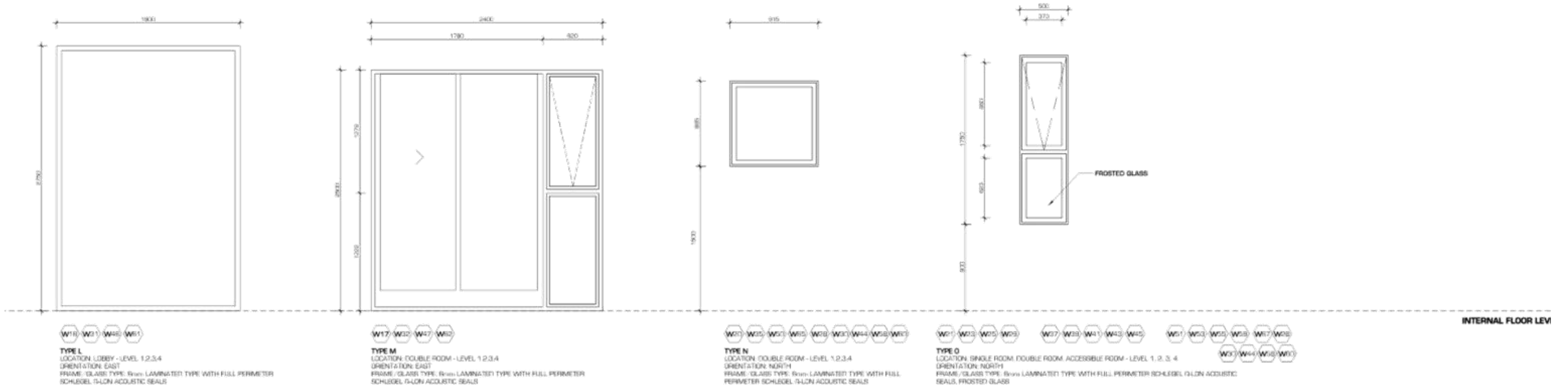
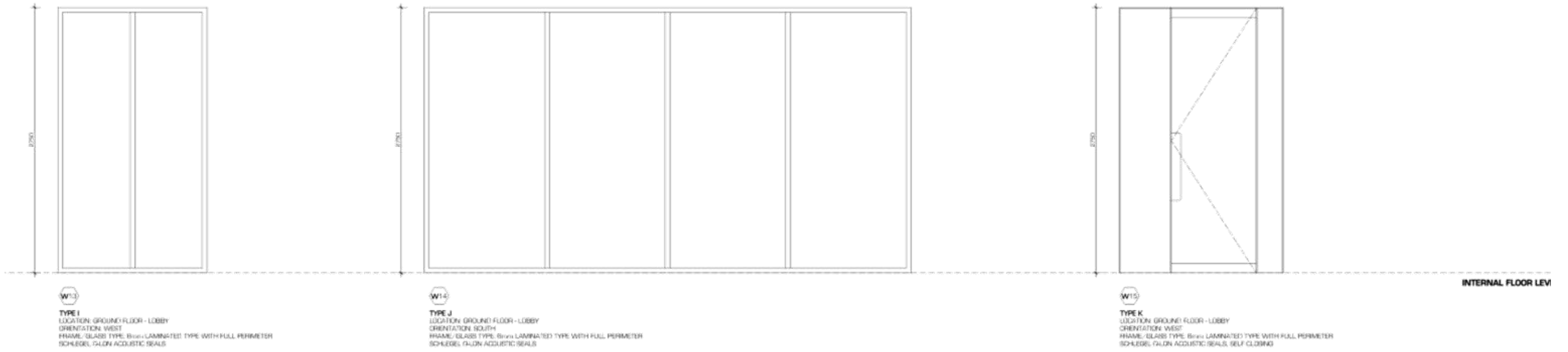
LIQUID DESIGN D <small>Liquid Design Pty Ltd Suite 4, 17, 20 Miller Street, Pyrmont, Sydney, NSW, 2009 T +61 2 9551 5295</small>	Contractor	Client	Project	Title	Drawn By	Checked By	Project No.		
			PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	HEIGHT STUDY	DY	CB	3212		
								Sheet No. A9320	
							Scale	Issue	Revision A



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DEVELOPMENT APPLICATION

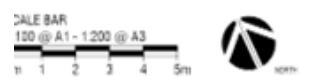
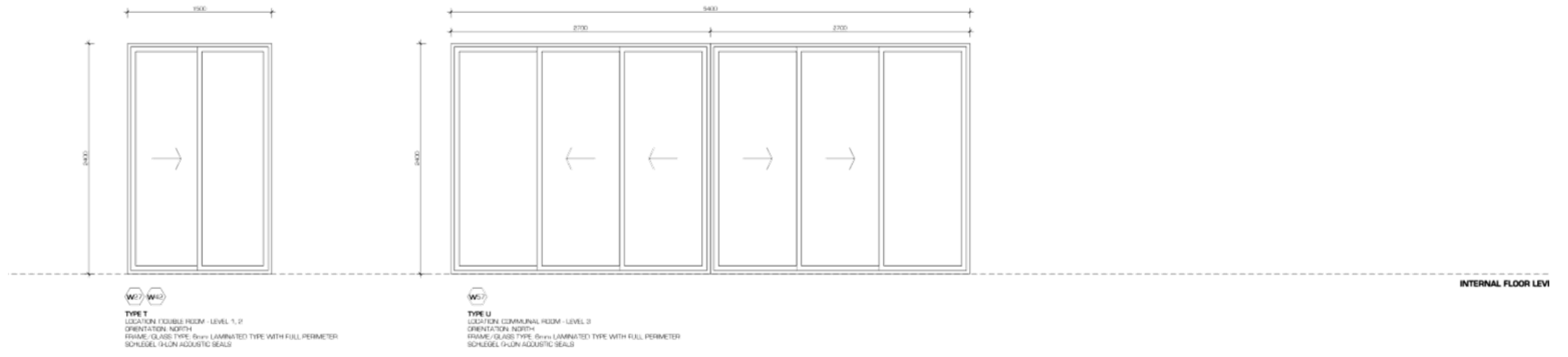
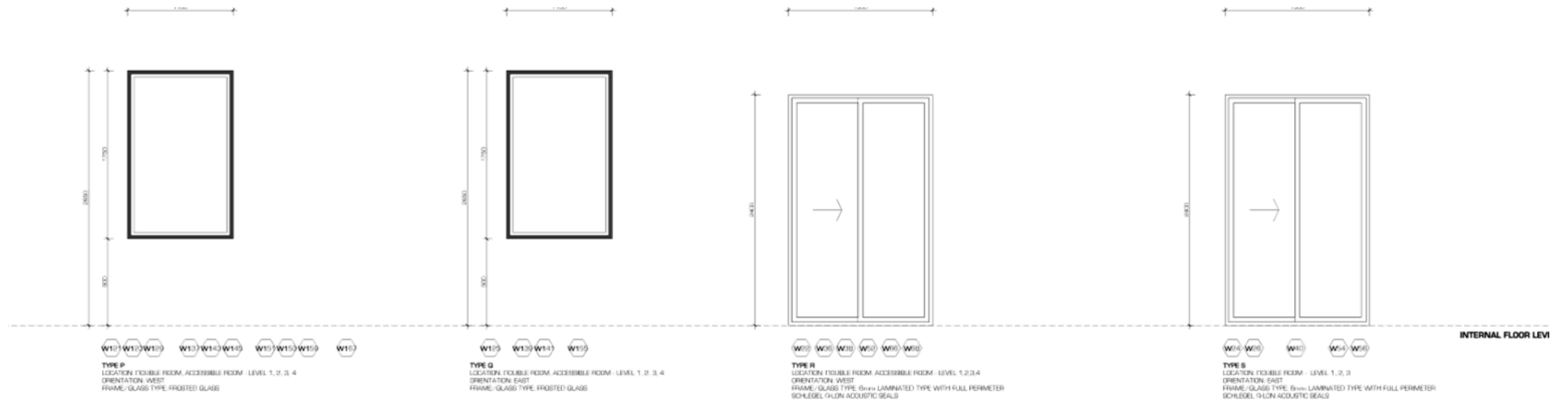
LIQUID DESIGN <small>Liquid Design Pty Ltd Suite 117, 24 Market Street, Fremantle, Western Australia, 6155 T +61 8 9488 5299</small>	Contractor	Client	Project PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title WINDOW SCHEDULE	Drawn By DY	Checked By CB	Project No. 3212
					Date 27 NOVEMBER 17	Sheet No. A9400	Revision C
					Scale 1:20	Issue	



NOTE:
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 SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

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<p>LIQUID DESIGN</p> <p>Liquid Design Pty Ltd Suite 117, 25 Market Street, Pyrmont, Sydney, NSW, 2009 T +61 2 9551 5293</p>	Contractor -	Client -	Project PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title WINDOW SCHEDULE 2	Drawn By DY	Checked By CB	Project No 3212
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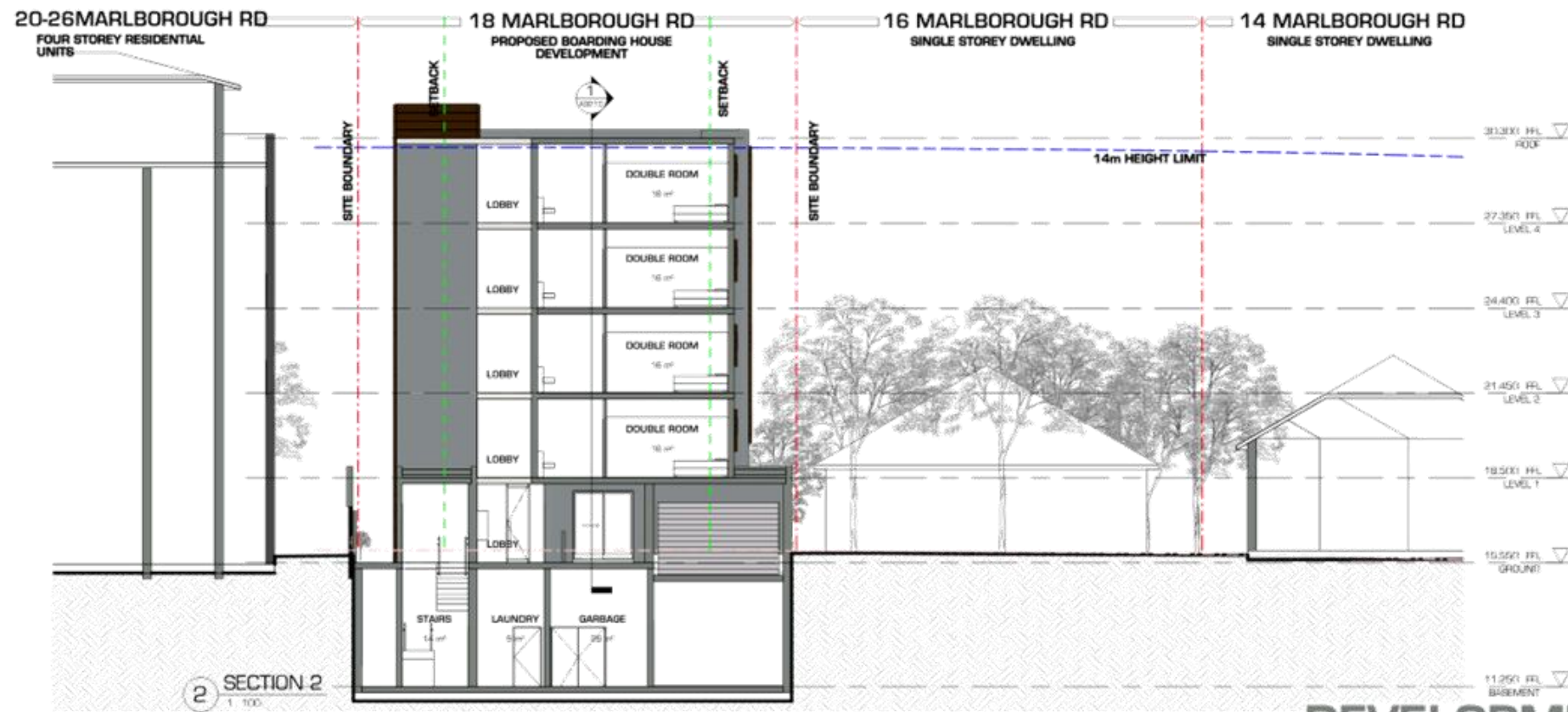
NOTE:
 READ DRAWINGS IN CONJUNCTION WITH SCHEDULES I SPECIFICATIONS - ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE

DEVELOPMENT APPLICATION

LIQUID DESIGN <small>Liquid Design Pty Ltd Suite 4/17, 25 Miller Street, Pyrmont, Sydney, NSW, 2009 T +61 2 9551 6293</small>	Contractor	Client	Project PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title WINDOW SCHEDULE 3	Drawn By DY	Checked CB	Project No 3212
					Date 27 NOVEMBER 17		Sheet No A9402
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1 SECTION 1
1:100



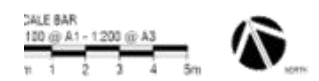
2 SECTION 2
1:100

GENERAL LEGEND

- PROPOSED BUILDING
- EXISTING BUILDING
- TO BE DEMOLISHED
- SITE BOUNDARY
- DCP LIMITS
- SETBACK
- EXISTING HOUSE TO BE DEMOLISH

NOTE:
READ DRAWINGS IN CONJUNCTION WITH SCHEDULES & SPECIFICATIONS. ALL MEASUREMENTS ARE TO BE VERIFIED ON SITE.

DEVELOPMENT APPLICATION



LIQUID DESIGN

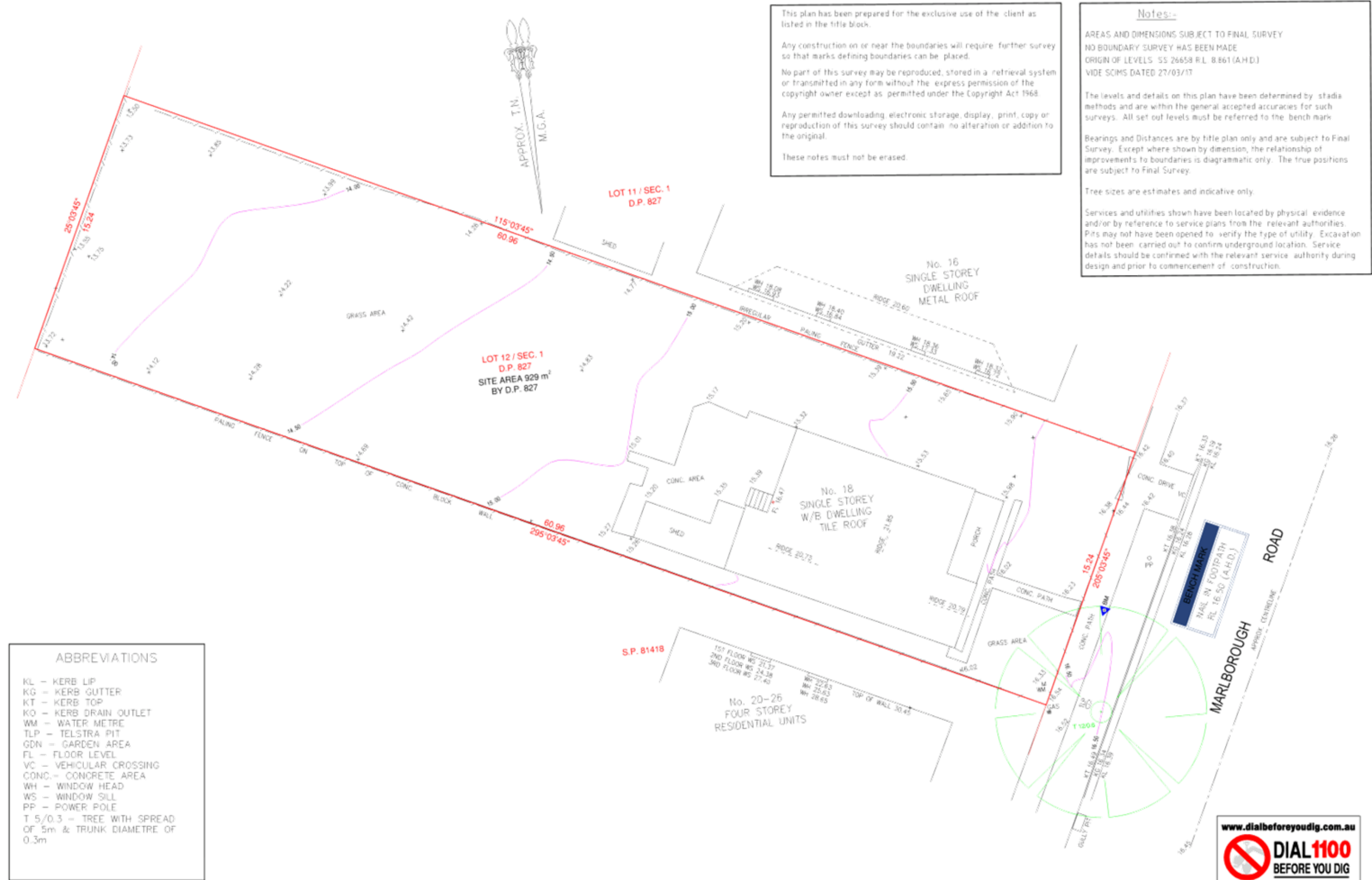
Liquid Design Pty Ltd
Suite 117, 25 Miller Street, Pyrmont, Sydney, NSW, 2009
T: +61 2 9551 5215

Contractor:	Client:	Project: PROPOSED BOARDING HOUSE 18 MARLBOROUGH RD HOMEBUSH WEST	Title: CROSS SECTIONS	Drawn By: DY	Checked By: CB	Project No: 3212
				Date: 27 NOVEMBER 17	Sheet No.:	A4000
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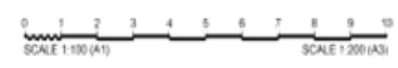
Attachment 2

Reduced copy of the site survey





REDUCTION RATIO	
AN 1:200 @ A3	1:500 @ A1
SURVEY RL	SURVEY DATE 15/03/17



Disclaimer and Copyright:
 ALL DIMENSIONS TO BE CHECKED ON SITE BY SUPERINTENDANT PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



CLIENT :
 Pass Go and Collect Pty Ltd

PLAN SHOWING SELECTED FEATURES & LEVELS OVER LOT 12, SEC. 1 IN D.P. 827 BEING No. 18 MARLBOROUGH ROAD HOMEBUSH WEST NSW 2148

CONTOUR INTERVAL	ORIGIN OF LEVELS	DATUM
0.5m	SS 26658	A.H.D.
DRAWING No.	DATE	
170327A	



Attachment 3
Plan of Management

PLAN OF MANAGEMENT
BOARDING HOUSE
No.18 MARLBOROUGH ROAD
HOMEBUSH WEST



PLAN OF MANAGEMENT

BOARDING HOUSE

No.18 MARLBOROUGH ROAD

HOME BUSH WEST

11 December 2017

Prepared by:
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Tel: (02) 9736 1313
Fax: (02) 9736 1306
Email: kennan@ozemail.com.au

B3283

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1. INTRODUCTION

Nexus Environmental Planning Pty Ltd has been requested to prepare a Plan of Management to accompany a development application to Strathfield Council (the **Council**) for the establishment of a boarding house at No.18 Marlborough Road, Homebush West.

2. THE SITE

The site of the proposed boarding house is:

Lot 12, Section 1, DP 827
No.18 Marlborough Road
HOME BUSH WEST

3. THE BOARDING HOUSE DEVELOPMENT

The boarding house comprises the following:

- 49 boarding rooms
- 1 manager's room
- 20 car parking spaces including 1 disabled car parking space
- 12 bicycle parking spaces
- 11 motorcycle parking spaces
- storage areas
- indoor communal area including:
 - kitchen facilities
 - lounge area
- an outdoor communal area including:
 - outdoor tables and chairs in a landscaped setting.

Table 1 provides a summary of the boarding rooms.

Table 1: Summary of Boarding Rooms

	Single Rooms	Double Rooms	Total Rooms	Total Occupants
Manager	-	1	1	2
Ground floor	4	1	5	6
Level 1	2	11	13	24
Level 2	2	11	13	24
Level 3	2	10	12	22
Level 4	-	6	6	12
TOTAL	10	40	50	90

4. PLAN OF MANAGEMENT

4.1 Purpose of the Plan of Management

The purpose of this Plan of Management (**PoM**) is to outline the operational management controls which will apply to the boarding house at the Site to:

- Ensure an acceptable level of resident amenity, safety and privacy to meet the needs of residents.
- Minimise the adverse impacts to adjoining properties and the locality.
- Maintain the internal and external appearance of the boarding house.
- Identify a procedure for reporting, processing and resolving complaints.
- Make provision for the PoM to be amended, as necessary over time, with the approval of Council, in order to facilitate timely and responsive operational changes to improve and maintain residential amenity both within and external to the Site.

4.2 Registration of Boarding House

The Boarding House will be registered with the relevant State government authority and the Council.

4.3 Access to Plan of Management

A copy of the PoM will be provided to each boarding house occupant and will be made available

Nexus Environmental Planning Pty Ltd

to all persons involved in the operation and management of the boarding house.

The PoM will be available for viewing within either the communal living area or kitchen area of the boarding house and will be made available on request to the Site Manager.

4.4 Management and Supervision

The boarding house is to be managed by a Site Manager who will be contactable 24 hours a day, 7 days a week.

The contact details for the Site Manager will be placed on each of the community notice boards required to be installed. The Manager's details are as follows:

Name:

Contact phone number:

The name and contact details of the Site Manager will be provided to Council. Any changes must be notified to Council immediately.

A clearly visible sign with the name and telephone number of the Site Manager will be displayed externally at the front entrance of the boarding house and internally in the common area.

The Site Manager will be responsible for the operation, administration, cleanliness and fire safety of the premises, including compliance with the conditions of both the PoM and the Development Consent for the boarding house.

4.5 Site Manager's Responsibilities

The Site Manager will monitor and supervise the following aspects of the boarding house:

House Rules

A sample of the House Rules is contained in **Attachment A**.

The House Rules will be prominently displayed in the common areas and entry point of the boarding house.

The House Rules will be attached to the Lease Agreement of each tenant and will require mandatory compliance.

The Site Manager will ensure that the occupants comply with the House Rules. If the House Rules are broken, the Site Manager will deal with the non-

compliance within 24 hours and issue a notice in writing of the breach of the rules with a requirement that the breach ceases immediately.

The resident may request a meeting with the Site Manager to discuss the issue.

The Site Manager will keep a Register containing details of any breach of the House Rules and the measures employed to remedy that breach.

The Site Manager will keep minutes of meetings and attach these minutes to the Register.

Occupancy Rate

The maximum guest number for each room will be documented in the Lease Agreement between the landlord and the tenant. There will be bi-monthly inspection of each room to ensure compliance with the Lease Agreement and House Rules.

Impact to adjoining premises

This will be managed through the House Rules as well as any complaints received from neighbouring residents.

A 24 hour contact number will be displayed on the outside of the building to ensure any complaints are promptly addressed.

The Site Manager will ensure that noise from the boarding house does not unreasonably impact upon surrounding residents and neighbours. This includes ensuring occupants adhere to the House Rules in relation to noise emanating from the boarding house (including common living areas and outdoor communal areas).

Complaint Register

A complaint register will be maintained by the Site Manager. All complaints logged will be recorded in this register and be available for Council inspection (refer Part 4.11).

Waste minimisation and recycling

The Site Manager will ensure that a cleaner attends the boarding house twice weekly to ensure that the common areas, private open space, car parking and general outside areas of the boarding house are kept clean, tidy and disinfected to a professional standard.

Each room will be provided with a waste disposal container.

The Site Manager will ensure that occupants place all

non-recyclable waste in the garbage bins and that all recyclable waste is placed in the recycling bins provided.

Safety and security

Internal signage will be prominently displayed to provide the Site Manager's contact details, as well as emergency contact numbers for essential services such as fire, ambulance, police, and utilities such as gas, electricity, plumbing, locksmith, security and cleaning services.

The Site Manager will provide occupants with a key to their room and the common areas once they have entered into a Lease Agreement.

The Site Manager will check equipment, fittings and furnishings and maintain them in safe working order. If equipment is identified as unusable, these items will be tagged appropriately and a replacement or repair organised within a reasonable period.

The Site Manager will ensure laundry facilities are maintained in safe working order within each room or within common laundry areas.

Tenant Selection

The Site Manager will ensure that all tenants submit a tenancy application, together with appropriate identification and verification checks prior to entering into a Lease Agreement.

All tenants will be screened through the National Tenancy Database, criminal record, employment and reference checks.

The Manager will allocate boarding rooms on a first come basis with the accessible rooms to be allocated last. Priority for the accessible rooms will be given to those in need of accessible facilities. If all rooms are occupied when a boarder needing accessible facilities seeks accommodation at the boarding house, they will be placed at the top of a waiting list. If a person not in need of accessible facilities occupies an accessible room and another non-accessible room becomes available, they will be asked to move to allow those on a waiting list who are in need of accessible facilities to be allocated the accessible room.

Car parking

Car parking on site will be available on a first come basis except for the disabled space which must remain vacant for use by boarders with a disability where

there is a boarded with a disability.

4.6 Access to Boarding House

The boarding house is to be accessible 24 hours a day, 7 days a week and, where necessary, through the use of a security card to access particular areas of the boarding house (i.e. underground parking if provided). Alternatively, access is to be provided by appointment with the Site Manager.

The opening hours of the communal areas shall be as follows, unless separately agreed with the Site Manager.

Outdoor communal areas	The outdoor communal areas will be available for use of the occupants, at all times, between 7:30am and 9:00pm, 7 days a week.
Indoor communal areas	The indoor communal areas will be available for use of occupants at all times between 6:00am and 10:00pm, 7 days a week.
Communal kitchen	The communal kitchen will be available for use of the occupants, at all times, between the hours of 5:00am and 12 midnight, 7 days per week.
Communal laundry areas	If communal laundry areas are provided they will be available for use at all times between 6:00am and 10:00pm, 7 days a week.

4.7 Occupation of Boarding House

A maximum of one (1) occupant is permitted in each single bed boarding room and two (2) occupants in each double bed boarding room which will be nominated on the Lease Agreement.

Occupants will be provided with the following:

- A copy of this Plan of Management.
- A copy of their Lease Agreement.
- One (1) key per occupant to access their bedroom and designated communal areas as deemed necessary by the Site Manager.
- Access to all nominated communal areas deemed necessary by the Site Manager except basement vehicle parking (if provided) unless specified as part of the occupant's Lease Agreement.

- Working door locks to individual rooms.
- A waste disposal container.
- Adequate furniture to ensure that the amenity of the residents is maintained.
- Working laundry facilities in the form of a washing machine and dryer or communal laundry facilities if individual facilities are not available.
- A copy of the Fire Safety Plan.
- Fittings, equipment and furnishings which are maintained in safe working order.

4.8 Visitors

Any visitors will be accompanied at all times by an occupant of the boarding house.

Visitors are only permitted on-site between 7:30am and 10:00pm, 7 days a week.

Visitors will conduct themselves in a responsible and courteous manner while on the premises so as not to negatively impact the amenity of other occupants and surrounding residents.

Occupants are responsible for ensuring all visitors comply with the House Rules outlined in **Attachment A**. Failure to do so may result in visitors, and in certain cases occupants, being evicted from the boarding house.

4.9 Fire Safety

The boarding house will comply with essential fire safety measures outlined in the *Environmental Planning and Assessment Regulation 2000*, including but not limited to the following:

- a. A copy of the annual fire safety statement and current fire safety schedule for the boarding house will be prominently displayed in the boarding house entry area.
- b. A floor plan will be permanently fixed to the inside of the door of each room to indicate the available emergency egress routes.
- c. The Site Manager will be trained in relation to the operation of the approved Emergency Management and Evacuation Plan.
- d. The boarding house will obtain annual certification for the essential fire safety measures to comply with the *Environmental Planning and Assessment Regulation 2000*.

4.10 Notice Board

Appropriate notice boards will be placed around the boarding house to provide information to occupants. The notice boards are to be placed at the following locations to ensure equitable access to all residents:

- a. Within the entrance foyer and outside the Site Manager's Office, and/or in the communal lounge room of the boarding house.
- b. On the ground floor opposite the lift.

4.11 Complaint Register

The Site Manager is to maintain a complaints register of both public (external) and occupant (internal) complaints.

The register will contain forms to be completed by the Site Manager, occupants and/or complainants. The form is to record the name, address, phone number and date of any person making a complaint and the details of the complaint. Only complaints where all the above information is given are to be recorded in the register.

The Site Manager will respond to a complaint whether written or oral within 24 hours and provide the reference number of the complaint.

The Site Manager will respond within 7 days to a complaint in writing. Should more than 7 days be required to respond to the complaint, the Site Manager will advise the complainant of why additional time is required to address the issue and provide an approximate time frame to enable a response.

The complainant may request a meeting with the Site Manager to discuss the issue. The Site Manager will keep minutes of any such meeting and attach these minutes to the Complaint Register.

Incident Reports can be lodged by any person relating to an incident, crime, or nuisance associated with the premises. An Incident Report form will be made available by the Site Manager upon request. Incident Reports will be lodged with the Site Manager and actioned in accordance with the procedure outlined above.

4.12 Pets

No pets are allowed within the boarding house without the prior approval of the Site Manager.

4.13 Review of Plan of Management

The PoM will be reviewed on an annual basis and completed prior to 30 June of each year.

The Site Manager is responsible for overseeing each annual review and amending the PoM as necessary.

Modification to the PoM must be consistent with the conditions of consent and any modified PoM will be forwarded to the Council.

The PoM (including House Rules) may be varied from time to time by the Council, on the application of the owner/Site Manager, without the need for formal modification of the development consent.

Once modified, the Site Manager will provide an updated copy of the PoM to all occupants.

Attachment A

House Rules

Resident and guest behaviour	Residents and their guests must not interfere with the reasonable peace, comfort and privacy of other residents and neighbouring properties.
Smoking	Smoking is not permitted within any part of the boarding house or in the street in front of the boarding house.
Amplified and Live Music	All residents are to ensure that music is to be of a volume which does not unreasonably impact on the amenity of other residents.
Maintenance of rooms	<p>Residents must maintain their rooms:</p> <ul style="list-style-type: none">- in a clean manner- in a way which does not interfere with the reasonable comfort of other residents- in a way which does not create a fire or health hazard. <p>Residents must not intentionally or recklessly damage or destroy any part of their rooms or a facility of the boarding house.</p>
Guests	Residents must make sure their guests are aware of, and follow, the House Rules. No guests are allowed into the boarding house before 7:00am and after 10:00pm.
Pets	Pets must not be kept on the premises without the permission of the Site Manager.
Garbage	Garbage is to be enclosed in a plastic bag (tied at the top) and placed in the bins in the garbage area. No domestic rubbish, food scraps, food wrappers, goods or materials are to be left in the hallways, common areas or outside the boarding house.
Fire Safety	Occupants are to familiarise themselves with the fire safety and evacuation procedures located in the hallway and back of room doors, location of fire blankets and fire extinguishers.
Noise	Noise is to be kept to a minimum at all times. Please enter and leave the premises quietly.
Security	The front door of the premises is to be locked at all times. Please do not let anyone in the premises who has no legitimate reason to be there.
Outdoor communal areas	The outdoor communal areas will be available for use of the occupants, at all times, between 7:30am and 9:00pm, 7 days a week.
Indoor communal areas	The indoor communal areas will be available for use of occupants at all times between 6:00am and 10:00pm, 7 days a week.

Communal kitchen	The communal kitchen will be available for use of the occupants, at all times, between the hours of 5:00am and 12 midnight, 7 days per week.
Communal laundry areas	If communal laundry areas are provided they will be available for use at all times between 6:00am and 10:00pm, 7 days a week.
Alcohol / Drugs	Alcohol and drugs are strictly prohibited from being consumed in the boarding house or in the public areas fronting the boarding house.